

DESIGN REVIEW APPLICATION

NEW TWO STORY HOUSE

PIEKARZ RESIDENCE

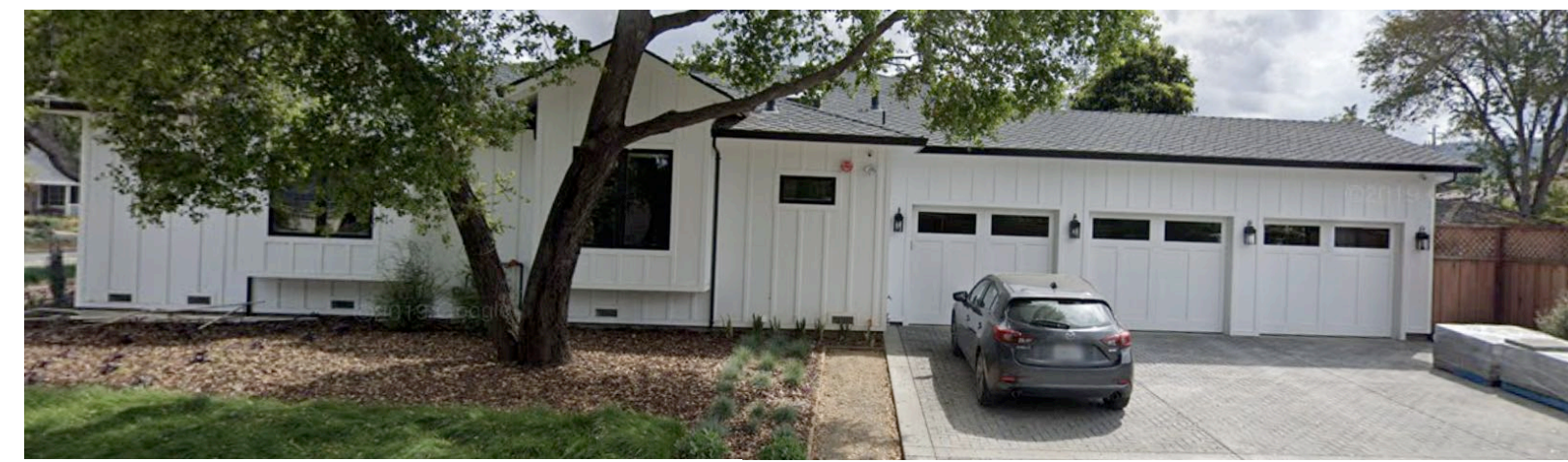
1400 RICHARDSON AVE LOS ALTOS, CA 94024

360 design studio
ARCHITECTURE

1491 BEN ROE DRIVE
LOS ALTOS, CA 94024
phone 650.360.2905

info@360designstudio.net

Piekarz Residence
 1400 RICHARDSON AVE LOS ALTOS CA
 94024



1668 AUSTIN AVE. - RICHARDSON AVE STREET VIEW



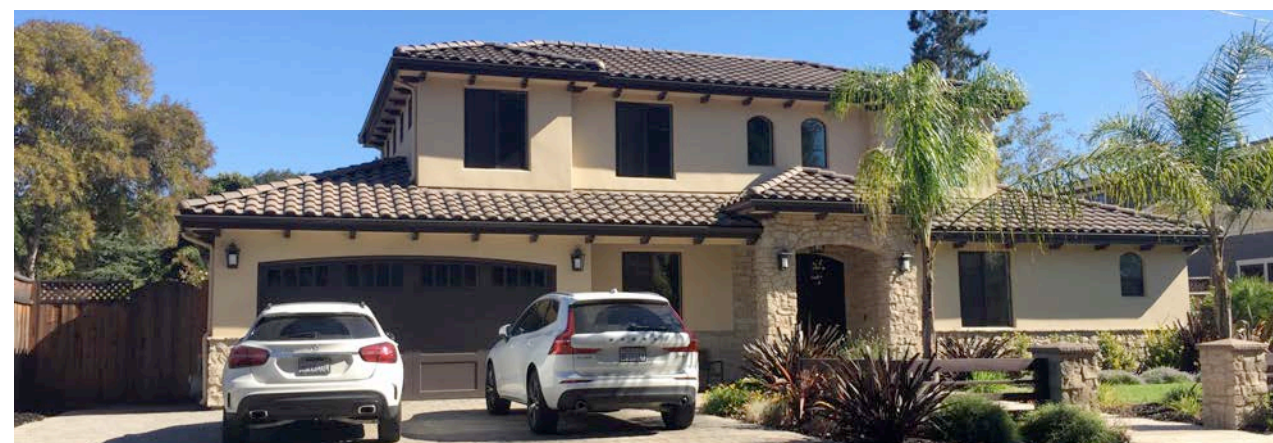
1695 JUAREZ AVE.



1668 AUSTIN AVE. - AUSTIN AVE STREET VIEW



1672 JUAREZ AVE.



1675 JUAREZ AVE.



1345 ENSENADA WAY



1336 RICHARDSON AVE.



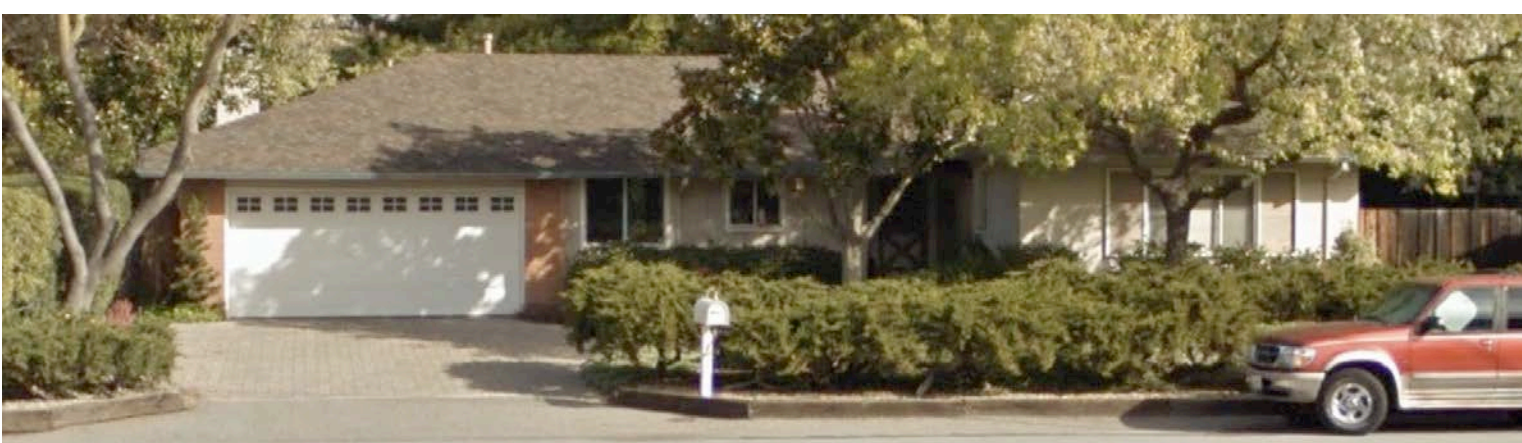
1685 JUAREZ AVE.



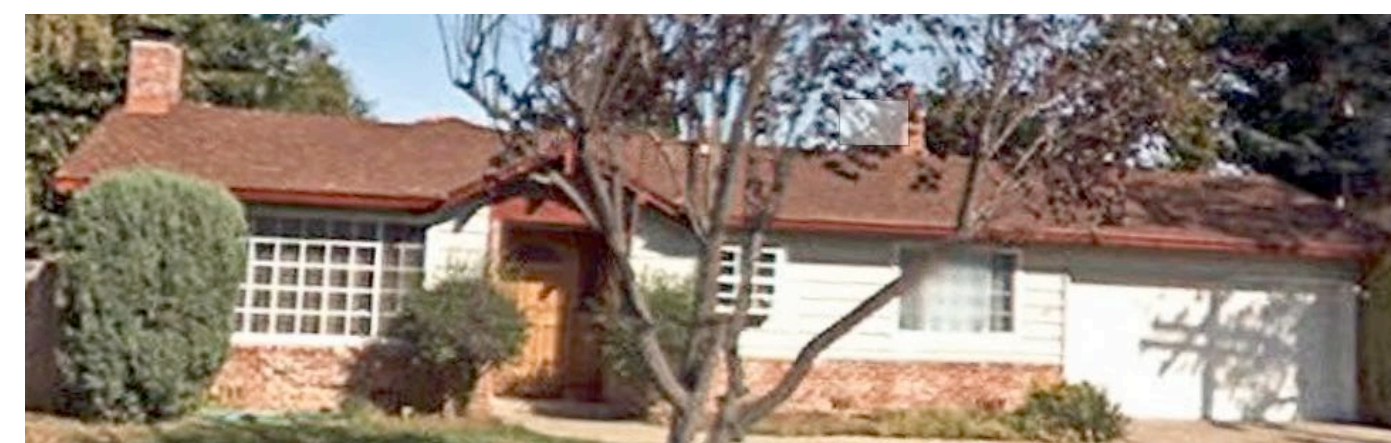
1650 AUSTIN AVE.



1403 RICHARDSON AVE.



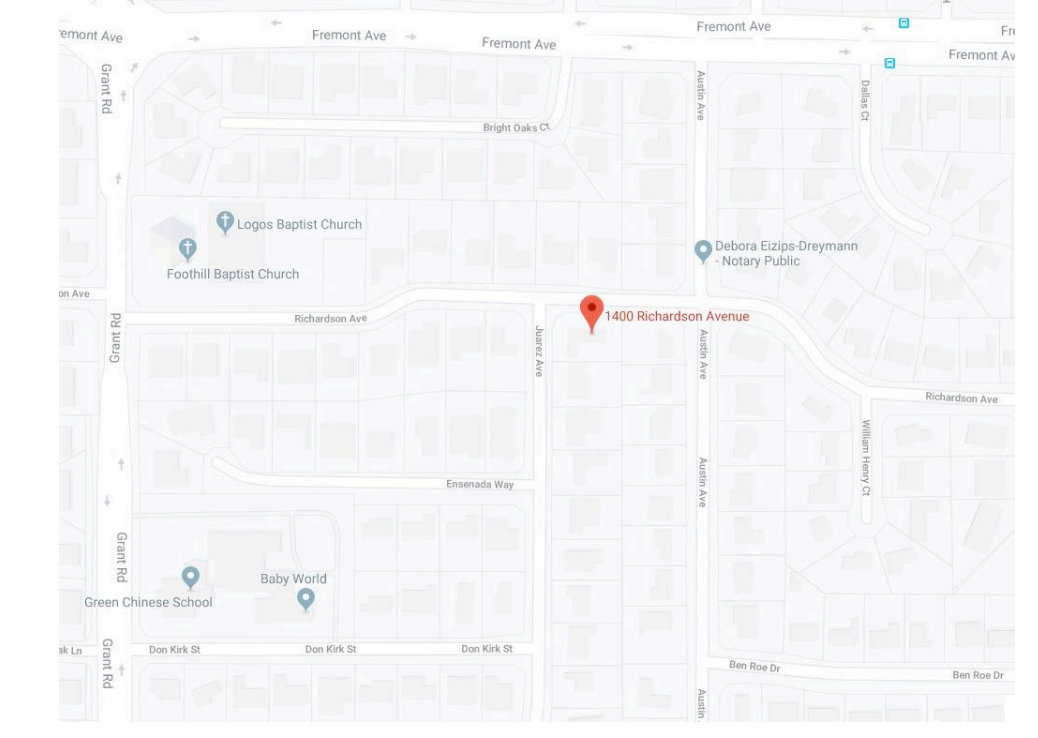
1395 RICHARDSON AVE.



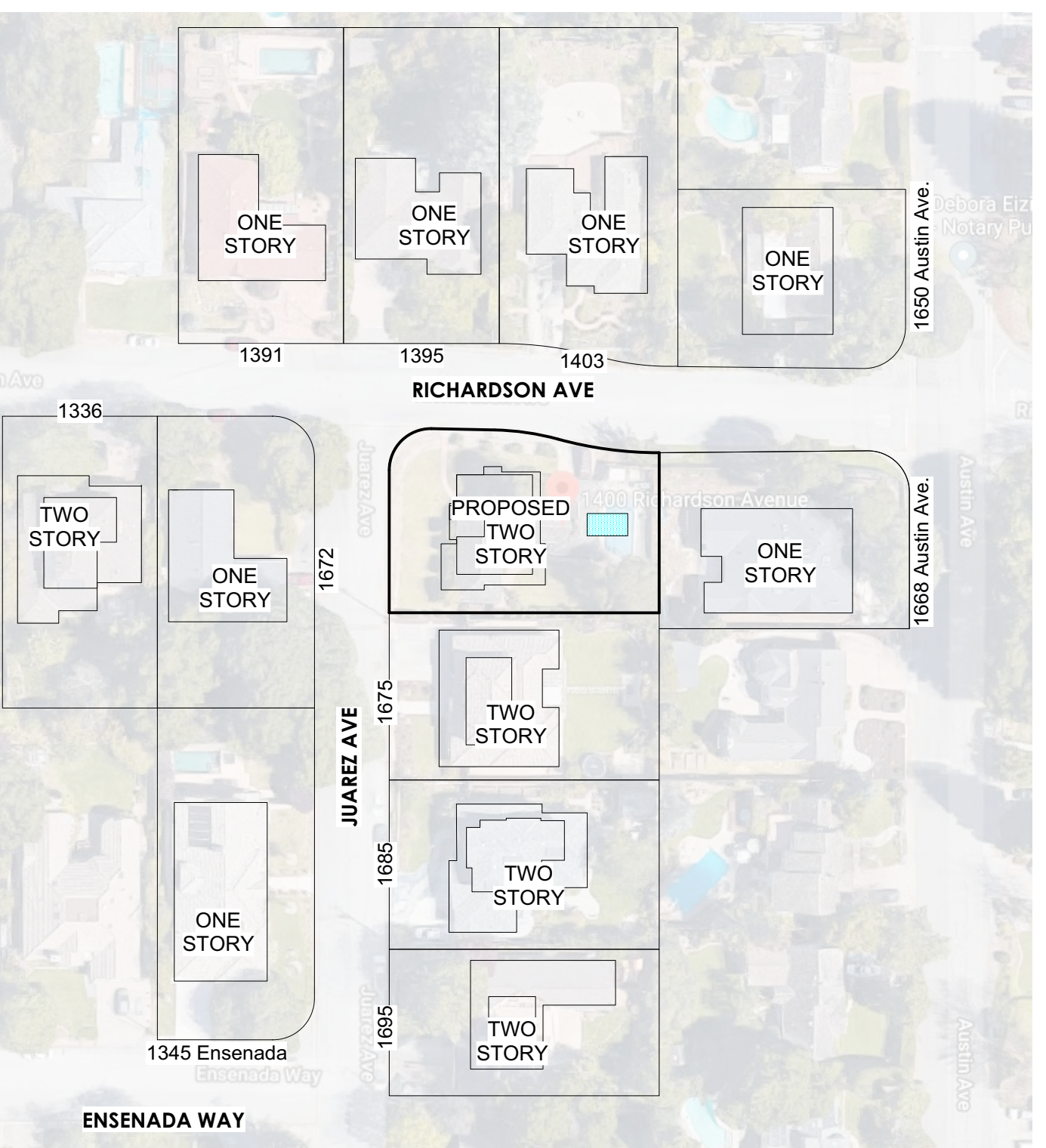
1391 RICHARDSON AVE.

PROJECT CONSISTS OF A NEW TWO STORY HOME WITH A FULL BASEMENT WITH THREE LIGHTWELLS

PROJECT DESCRIPTION 1



VICINITY MAP 7



NEIGHBORHOOD CONTEXT MAP 8

NEIGHBORHOOD PHOTOS 9

OWNERS:
GUY & IFAT PIEKARZ
1400 RICHARDSON AVE.
LOS ALTOS CA 94024
ipiekarz@gmail.com
408-505-5860

ARCHITECT/ APPLICANT:
BAHI OREIZY
360 DESIGN STUDIO
1491 BEN ROE DRIVE
LOS ALTOS, CA 94024
bahi@360designstudio.net
650-360-2905

CIVIL SURVEY:
TKM LAND SURVEYORS
2250 BOHANNON DR
SANTA CLARA, CA 95050
408-615-8855

CIVIL ENGINEERS:
KEMBCON ENGINEERS
1003 EDWARDS ROAD
BURLINGAME, CA 94010
650-343-8310

LANDSCAPE DESIGNER:
WILLOW GLEN DESIGNS
MICHAELNE EDWARDS
408-803-0440

PROJECT DIRECTORY 2

- A0 COVER SHEET
- EC1 EXISTING CONDITIONS
- A1.1 PROPOSED SITE PLAN
- A1.2 AREA CALCULATION DIAGRAM
- A2.1 PROPOSED GROUND FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
- A2.3 PROPOSED BASEMENT FLOOR PLAN
- A2.4 PROPOSED ROOF PLAN
- A3.1 PROPOSED FRONT AND REAR ELEVATIONS
- A3.2 PROPOSED SIDE ELEVATIONS
- A3.3 NEIGHBORHOOD ELEVATIONS
- A4 PROPOSED SECTIONS
- A5.1 3D IMAGES
- A5.2 3D IMAGES
- L1 LANDSCAPE PLAN
- L2 PLANT LIST
- C1 GRADING AND DRAINAGE PLAN
- T1 SITE SURVEY MAP

SHEET INDEX 3

1400 Richardson Ave.
Los Altos CA 94024

APN: 318-09-022
ZONE: R1-10
Lot size: 10,903 SF

PROPOSED ADDITION:
GROUND FLOOR AREA: 2011 SF
SECOND FLOOR AREA: 1,290 SF
BASEMENT FLOOR AREA: 2011 SF
GARAGE: 445 SF
COVERED PORCH: 430 SF
ACCESSORY STRUCTURE: 48 SF

GENERAL PROJECT INFORMATION 4

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
Lot Coverage:	2,090 SF (19.2%)	2,934 SF (26.0%)	3,271 SF (30%)
Floor Area:	2,090 SF (19.2%)	3,794 SF (34.8%)	3,816 SF (35%)
Setbacks:			
Front (Juarez Ave.)	28'-6"	25'-0"	25'-0"
Rear	30'-5"	43'-0"	25'-0"
Ext. Side (Richardson Ave.) (1st / 2nd)	11'-5" / 9'-10"	17'-5" / 11'-6" / 19'-6"	17'-5" / 10'-0" / 17'-6"
Height:	+/- 13.9 FT	25'-1"	27'-0"
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
Habitable Living Area	1,576 SF	+ 3,784 SF	5,360 SF
Non-Habitable Floor area	514 SF	-69 SF	445 SF
LOT CALCULATIONS			
Net Lot Area:	10,903 SF		
Front Yard Area Total	2,175 SF		
Front Yard Hardscape area	875 SF (40%)		
Landscaping breakdown			
Total Hardscape area (e. and proposed):			6,000 SF
Existing Softscape (undisturbed) area:			0 SF
New Softscape area:			4,903 SF

*SEE 1/A1.2 AVERAGE LOT WIDTH CALCULATION FOR CORNER LOT

PROJECT SUMMARY TABLE 5



Date	06/01/20
Rev	2 07/27/20
Rev	1 04/29/20 Planning Comment

Sheet Title
COVER SHEET

Sheet No.
A0

DESIGN REVIEW SUBMITTAL_REV2



DESIGN REVIEW SUBMITTAL_REV1

Date	123019
Rev	1 04/10/20 Planning Comments

Sheet Title
EXISTING CONDITIONS

Sheet No.
EC1

TABLE OF EXISTING TREES SCHEDULE

TREE #	TREE SPECIES	DIA. (IN.)	HEIGHT	CONDITION	TO BE REMOVED
1	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
2	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
3	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
4	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
5	JUNIPER TREE	8"	APPROX. 20 FT TALL	GOOD	NO
6	LAWN TREE	6"	APPROX. 20 FT TALL	FAIR	YES
7	LAWN TREE	6"	APPROX. 10 FT TALL	FAIR	YES
8	ORANGE TREE	6"	APPROX. 120 FT TALL	FAIR	YES
9	JUNIPER TREE	6"	APPROX. 9 FT TALL	FAIR	YES
10	JUNIPER TREE	6"	APPROX. 9 FT TALL	FAIR	YES
11	JUNIPER TREE	6"	APPROX. 9 FT TALL	FAIR	YES
12	JUNIPER TREE	4"	APPROX. 9 FT TALL	FAIR	YES
13	LAWN TREE	4"	APPROX. 20 FT TALL	FAIR	YES
14	JUNIPER TREE	4"	APPROX. 7 FT TALL	FAIR	YES

DEMO SHEET NOTES

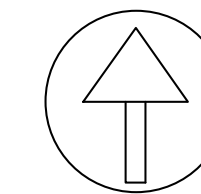
- A** REMOVE ENTIRE EXISTING HOUSE, GARAGE AND ROOF. REFER TO PROPOSE FLOOR PLAN.
- B** REMOVE ENTIRE EXISTING STRUCTURE AND CRAWL SPACE. REFER TO PROPOSED SITE PLAN AND FLOOR PLAN FOR NEW HOUSE LOCATION.
- C** REMOVE EXISTING POOL AND INFILL REFER TO PROPOSED SITE AND GRADING PLAN.
- D** EXISTING SHED TO BE REMOVED.
- E** TREE # 5 TO REMAIN . ALL OTHER EXISTING TREES TO BE REMOVED. REFER TO TREES SCHEDULE
- F** ALL PAVED OUTDOORS SURFACES AND ENTRY PATH ARE TO BE REMOVED. REFER TO PROPOSED SITE PLAN.
- G** EXISTING FENCE ON SOUTH AND EAST SIDE ARE TO REMAIN.
- H** EXISTING CONCRETE PATH TO BE REMOVED

GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION DRAWINGS TO DETERMINE DIMENSIONS AND TO ENSURE THAT NO SERVICES WHICH ARE TO REMAIN ARE DISTURBED.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION, CONDITIONS PRIOR T COMMENCEMENT OF DEMOLITION OPERATIONS.
3. THE SCOPE OF WORK SHALL INCLUDE ALL REMOVALS AS REQUIRED BY THE DRAWINGS AS WELL AS ALL REMOVALS NOT SPECIALLY INDICATED ON DRAWINGS BUT NECESSARY FOR THE COMPLETION OF THE WORK.
4. UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL LEAVE AREAS BROOM CLEAN.
5. TREES #1-4, #6-7, TO BE REPLACED WITH LARGER SCALE TREES TO PROVIDE BETTER SCREENING & SHADE.
6. TREE #5 - CREATE TREE PROTECTIVE FENCE AROUND EXISTING TREE TO REMAIN AS REQUIRED
7. TREES #8-14 TO BE REMOVED DUE TO PROPOSED HOUSE LOCATION ON SITE.



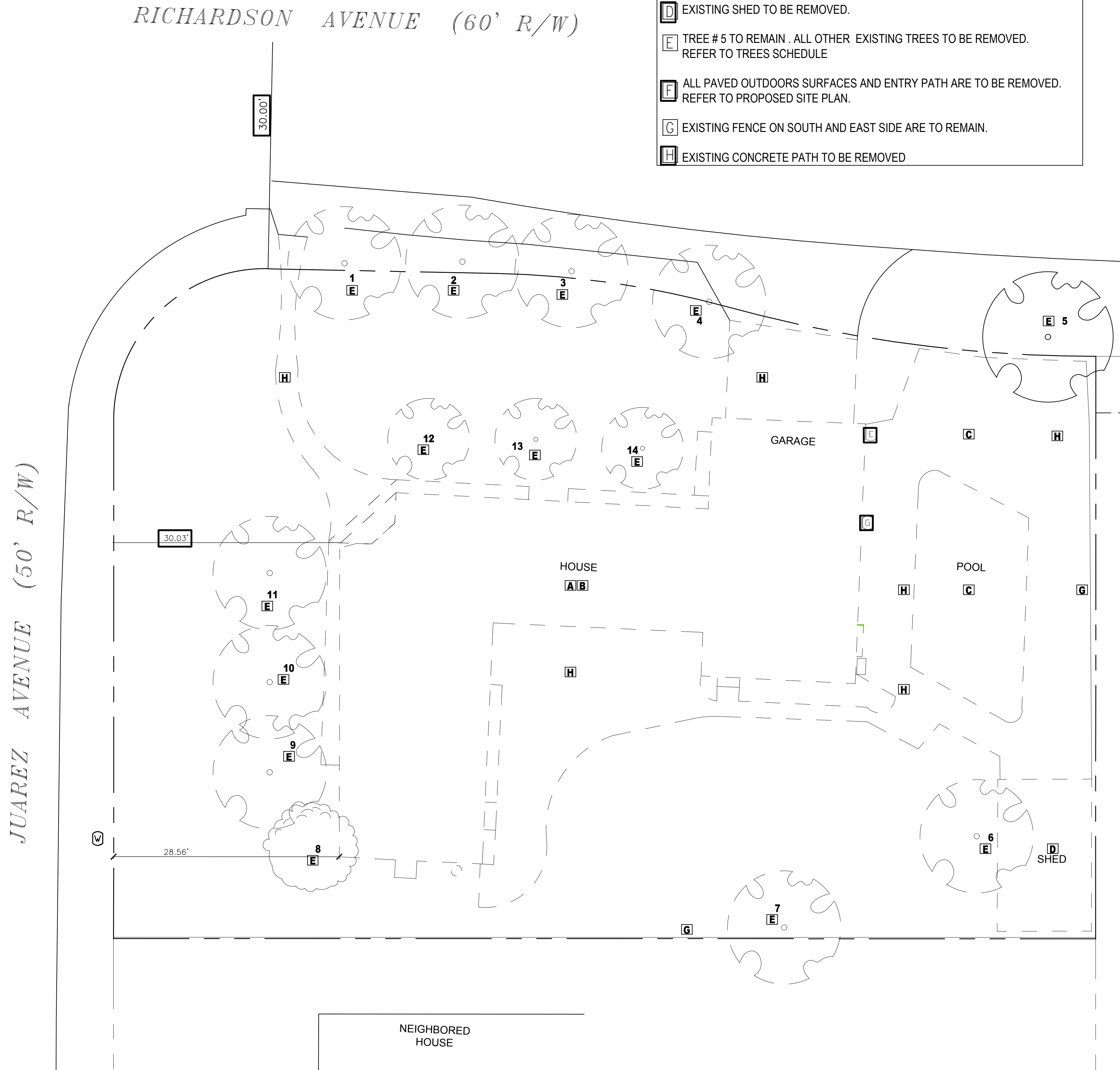
AERIAL VIEW
NTS



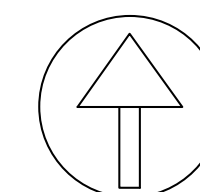
VIEW OF EXISTING FROM JUAREZ AVE.



VIEW OF EXISTING FROM RICHARDSON AVE.



EXISTING HOUSE AND DEMO PLAN
SCALE 1/16" = 1'-0"





Date: 06/01/20
2 Rev 07/27/20
1 Rev 04/29/20

Sheet Title

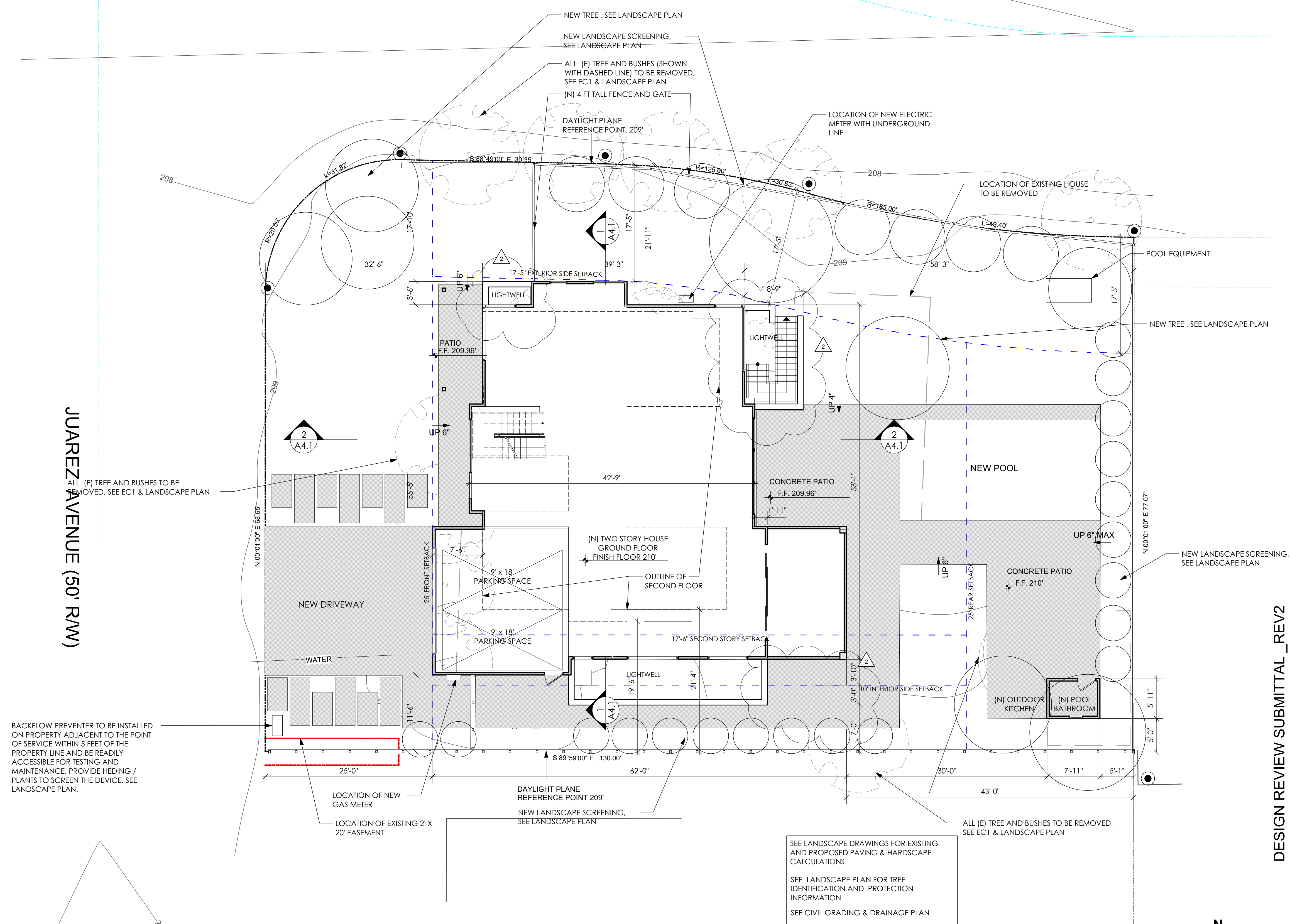
SITE PLAN

Sheet No.

A1

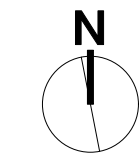
RICHARDSON AVENUE (60' R/W)

JUAREZ AVENUE (50' R/W)



SEE LANDSCAPE DRAWINGS FOR EXISTING AND PROPOSED PAVING & HARDSCAPE CALCULATIONS
SEE LANDSCAPE PLAN FOR TREE IDENTIFICATION AND PROTECTION INFORMATION
SEE CIVIL GRADING & DRAINAGE PLAN

SITE PLAN
Scale: 1/8" = 1'-0"



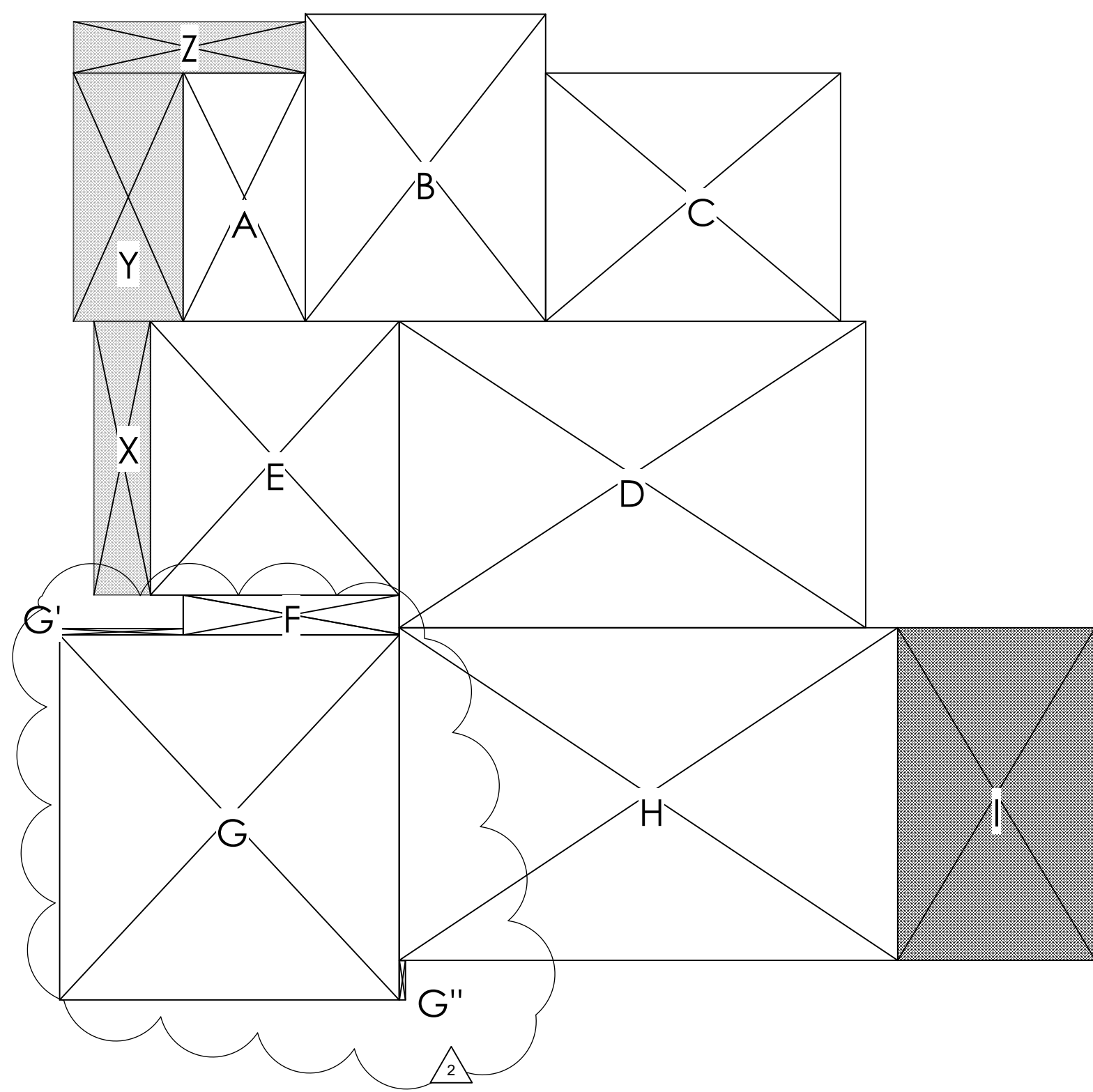
DESIGN REVIEW SUBMITTAL_REV2

Piekarz Residence

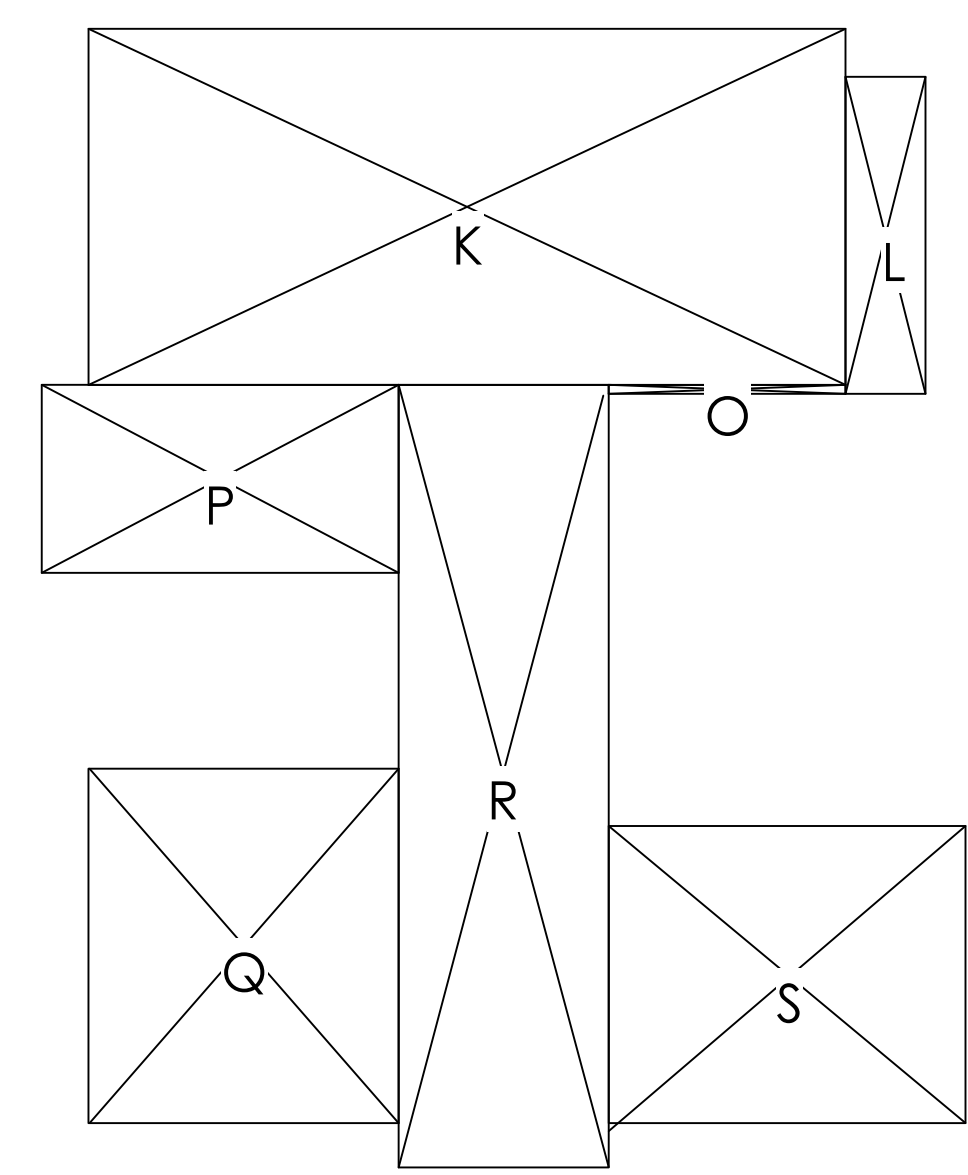
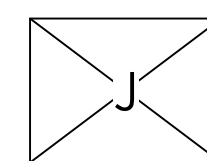
1400 RICHARDSON AVE LOS ALTOS CA
94024



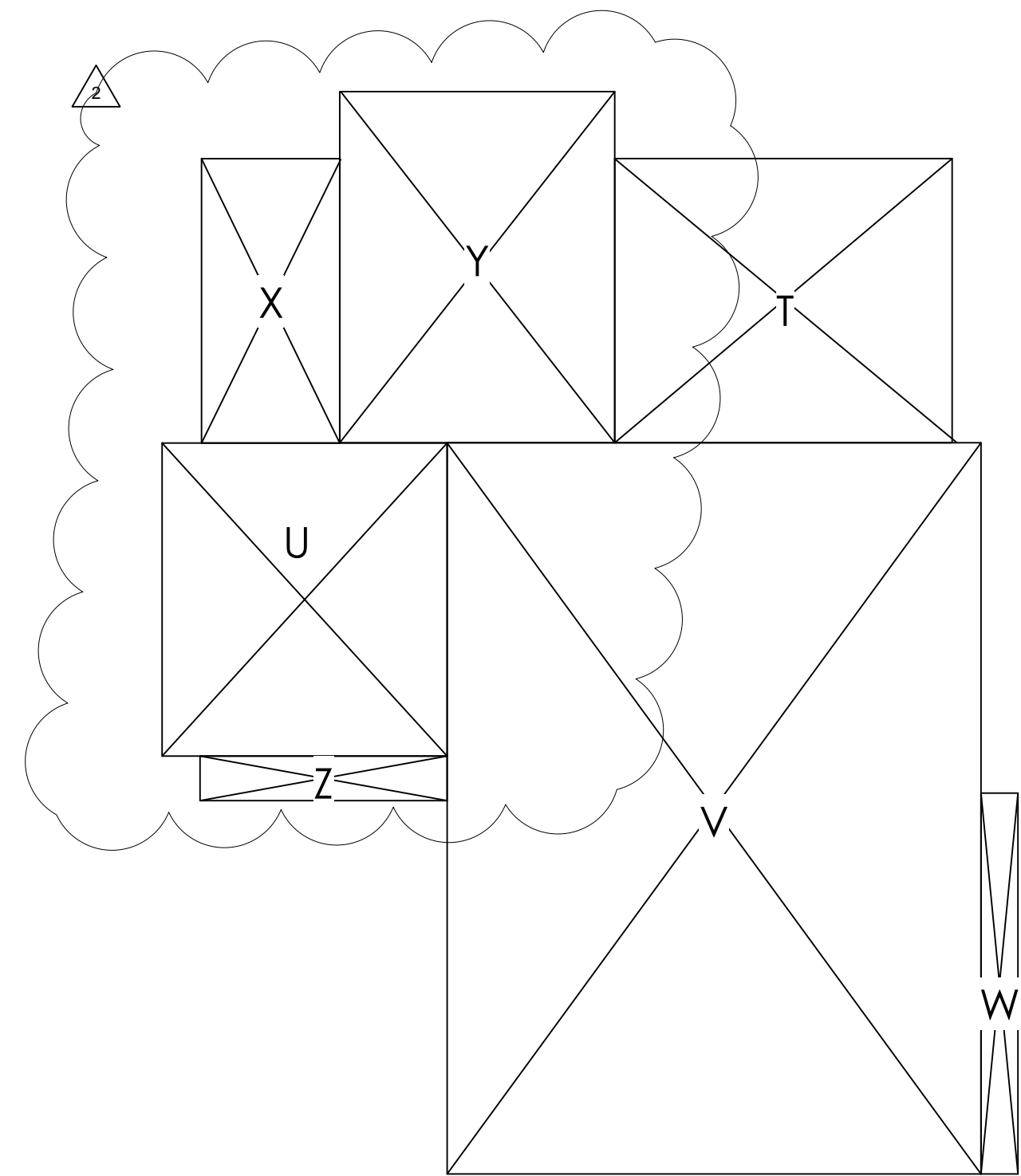
SUMMARY TABLE		
Section	Dimensions	Area
First Floor		
A	7'-4" X 14'-10"	108 SF
B	14'-4" X 18'-4"	260 SF
C	17'-8" X 14'-10"	262 SF
D	27'-11" X 18'-4"	512 SF
E	14'-11" X 16'-4"	243 SF
F	12'-11" X 2'-5"	31 SF
H	29'-10" X 19'-11"	594 SF
G - Garage	20'-4" X 21'-9"	442 SF
G' - Garage	7'-6" X 5"	3 SF
G'' - Garage	5' X 2'-4"	1 SF
J - Outdoor Restroom	8'-0" X 6'-0"	48 SF
First Floor Area		2,504 SF
Second Floor		
K	31'-6" X 14'-10"	467 SF
L	3'-4" X 13'-3"	44 SF
O	9'-10" X 0'-4"	3 SF
P	14'-10" X 7'-10"	116 SF
Q	12'-11" X 14'-9"	191 SF
R	8'-9" X 32'-7"	285 SF
S	14'-10" X 12'-5"	184 SF
Second Floor Area		1,290 SF
TOTAL FLOOR AREA		3,794 SF
Covered Porch		
I	11'-10" X 19'-11"	235 SF
X	3'-4" X 16'-4"	53 SF
Y	6'-7" X 14'-10"	98 SF
Z	13'-10" X 3'-11"	44 SF
TOTAL LOT COVERAGE		2,934 SF
Basement		
T	17'-8" X 14'-10"	262 SF
U	14'-11" X 16'-4"	244 SF
V	27'-11" X 38'-3"	1068 SF
W	1'-11" X 19'-11"	38 SF
X	7'-2" X 14'-10"	106 SF
Y	14'-4" X 18'-4"	263 SF
Z	12'-11" X 2'-4"	30 SF
TOTAL BASEMENT		2,011 SF



AREA CALCULATIONS GROUND FLOOR
Scale: 1/8" = 1'-0" 5



AREA CALCULATIONS SECOND FLOOR
Scale: 1/8" = 1'-0" 4



AREA CALCULATIONS BASEMENT
Scale: 1/8" = 1'-0" 2

DESIGN REVIEW SUBMITTAL_REV2

Date: 06/12/20
Rev 2: 07/27/20
Rev 1: 04/29/20

Sheet Title: AREA CALC'S

Sheet No.: A1.2

Piekarz Residence
1400 RICHARDSON AVE LOS ALTOS CA
94024

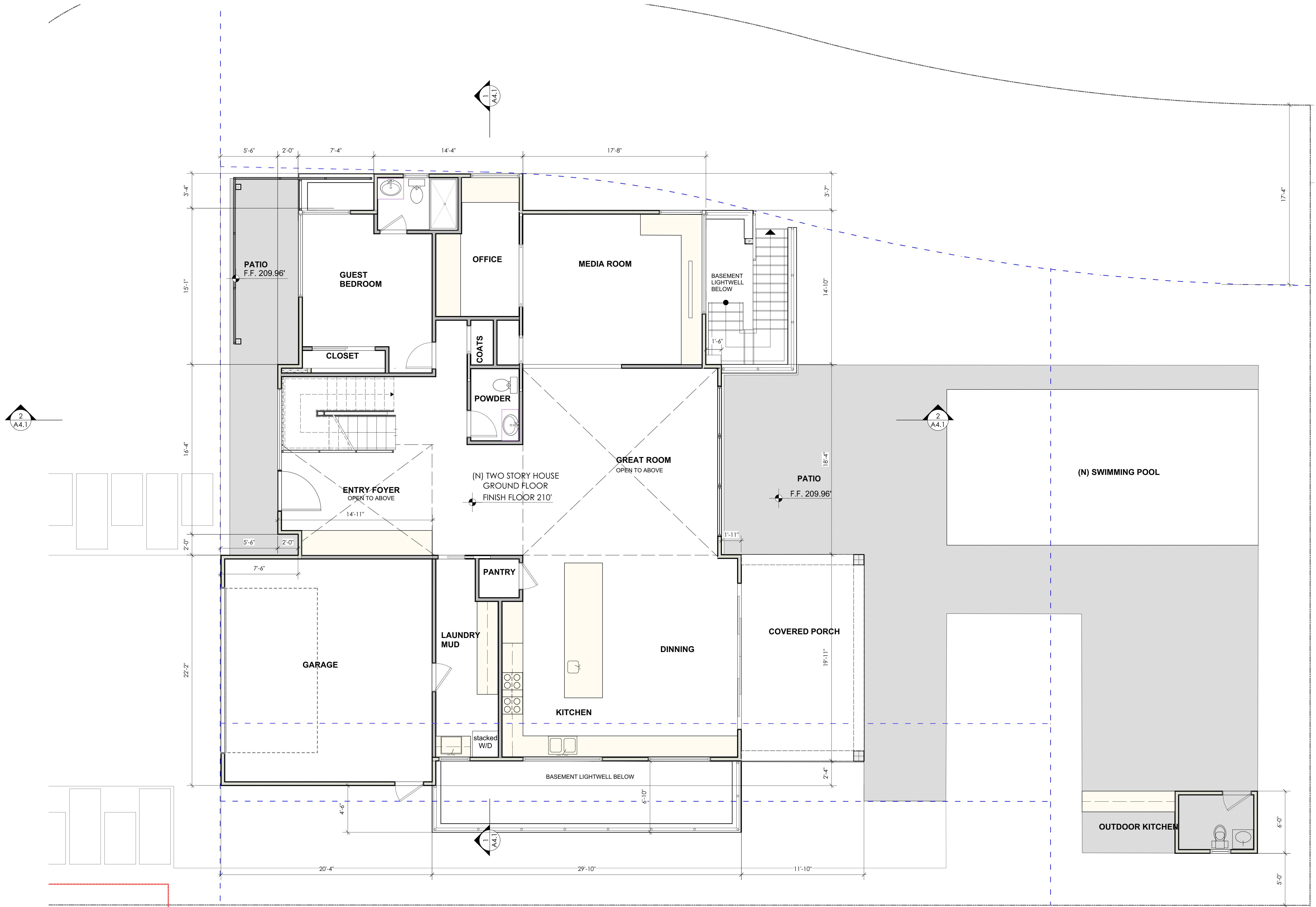


DESIGN REVIEW SUBMITTAL_REV2

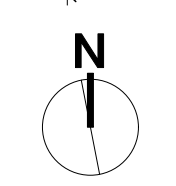
Date: 06/12/20
Rev 2: 07/27/20
Rev 1: 04/29/20

Sheet Title
Ground Floor Plan

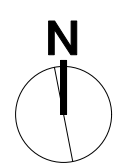
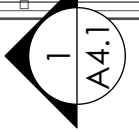
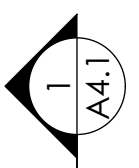
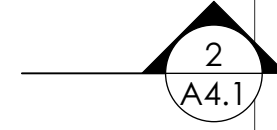
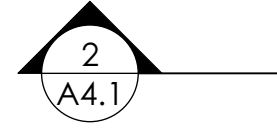
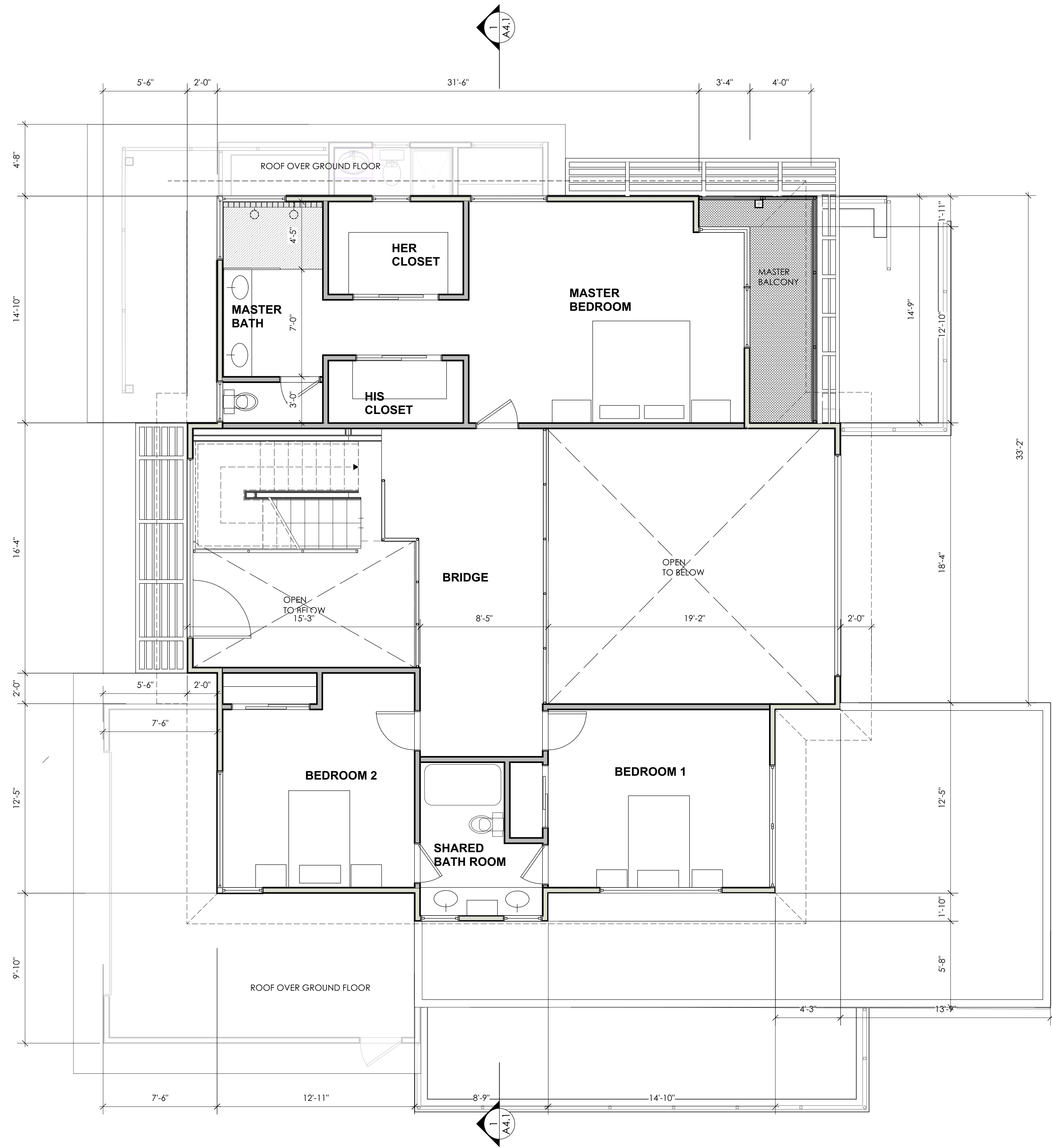
Sheet No.
A2.1



GROUND FLOOR PLAN 1
Scale: 1/4" = 1'-0"



Piekarz Residence
1400 RICHARDSON AVE LOS ALTOS CA
94024



SECOND FLOOR PLAN
Scale: 1/4" = 1'-0" 1

DESIGN REVIEW SUBMITTAL_REV2

Date 060120

Rev 1 04/29/20

Sheet Title
Second Floor plan

Sheet No.
A2.2

Piekarz Residence
1400 RICHARDSON AVE LOS ALTOS CA
94024

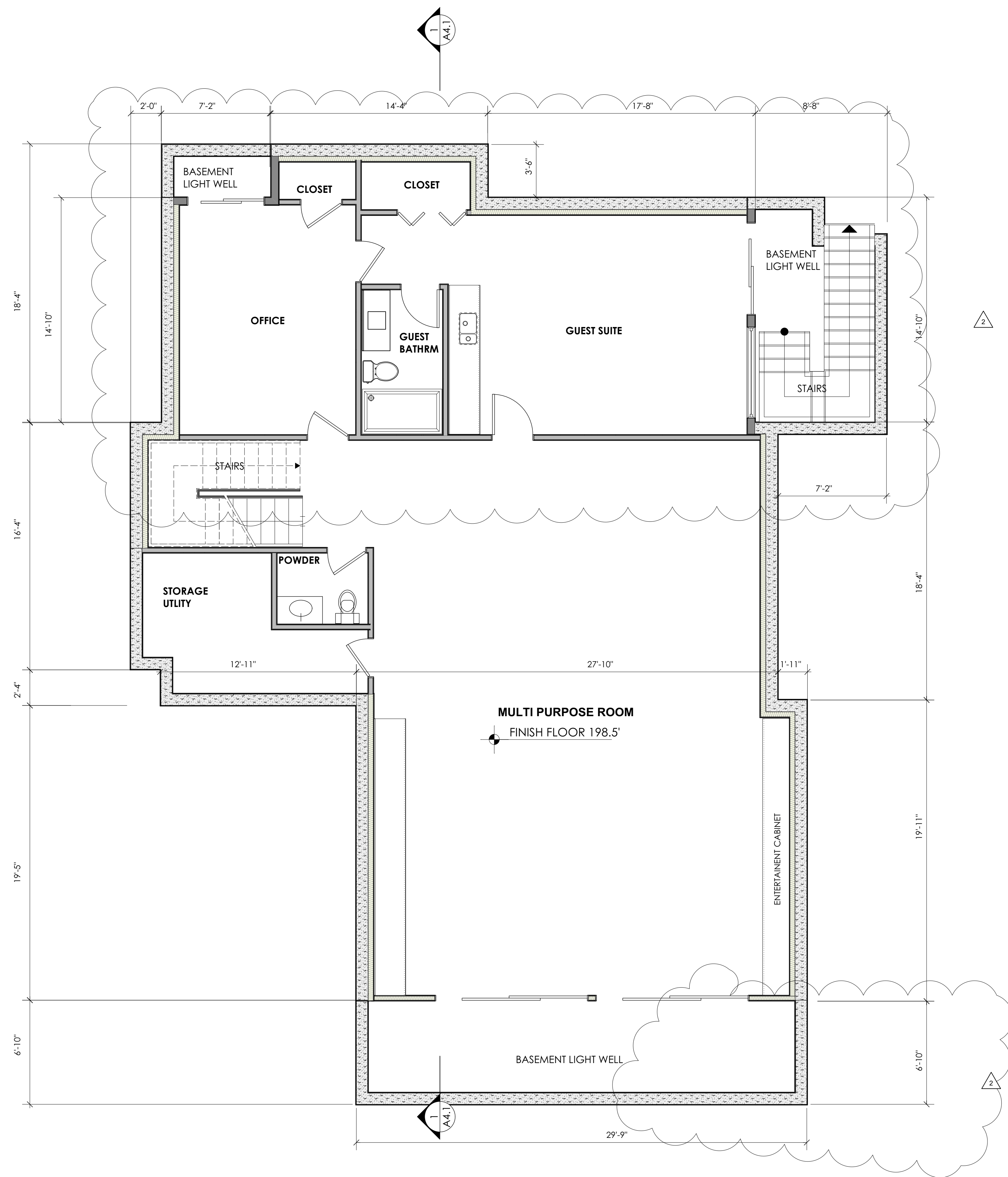


DESIGN REVIEW SUBMITTAL_REV2

Date
060120
Rev
2 07/27/20
1 04/29/20

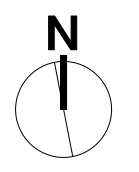
Sheet Title
Basement Level

Sheet No.
A2.3



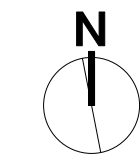
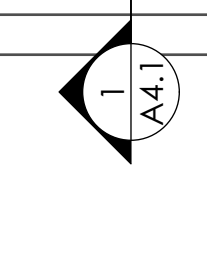
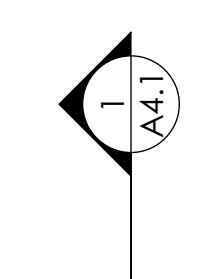
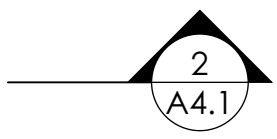
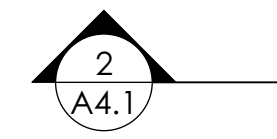
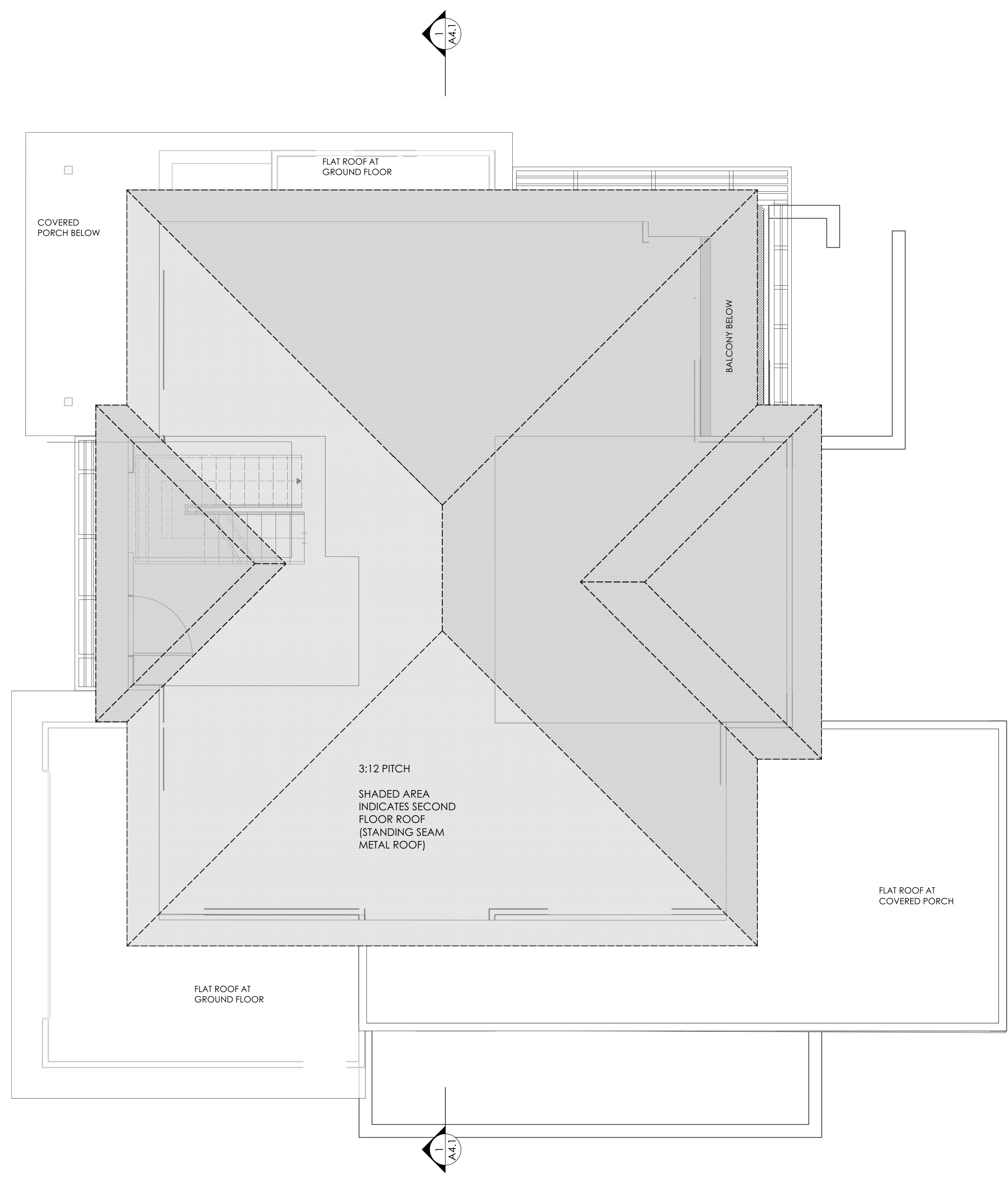
BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

1



Piekarz Residence

1400 RICHARDSON AVE LOS ALTOS CA
94024



PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

1

DESIGN REVIEW SUBMITTAL_REV2

Date
06/12/20

Rev
1 04/29/20

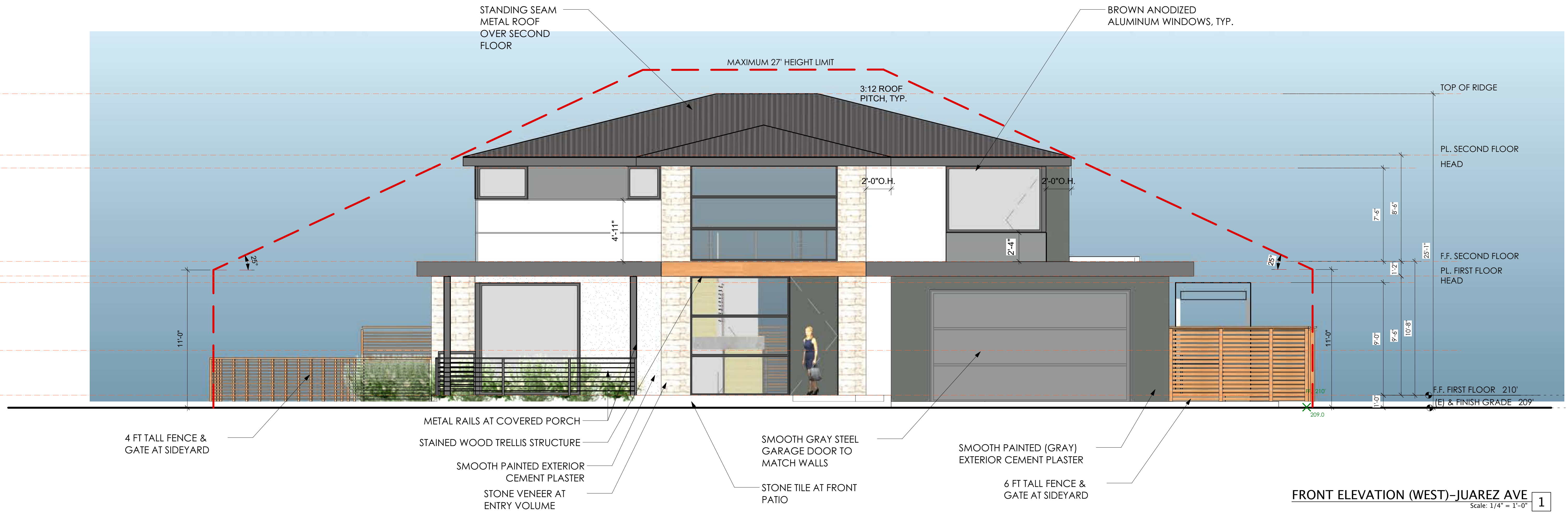
Sheet Title

Roof plan

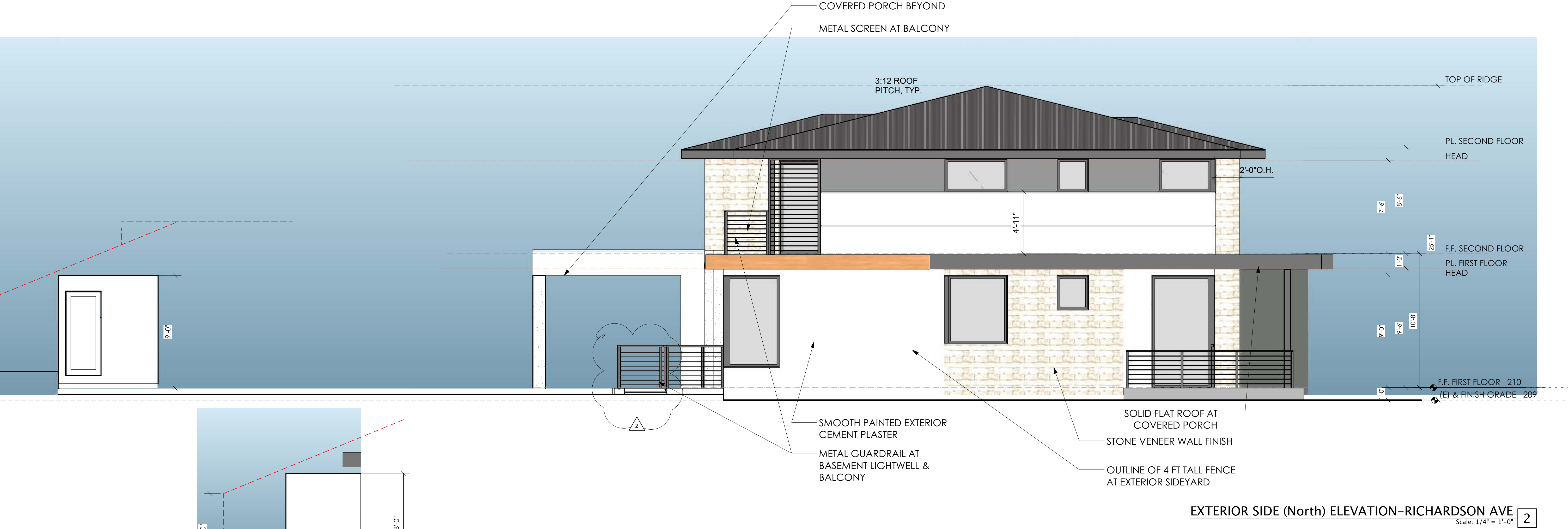
Sheet No.

A2.4

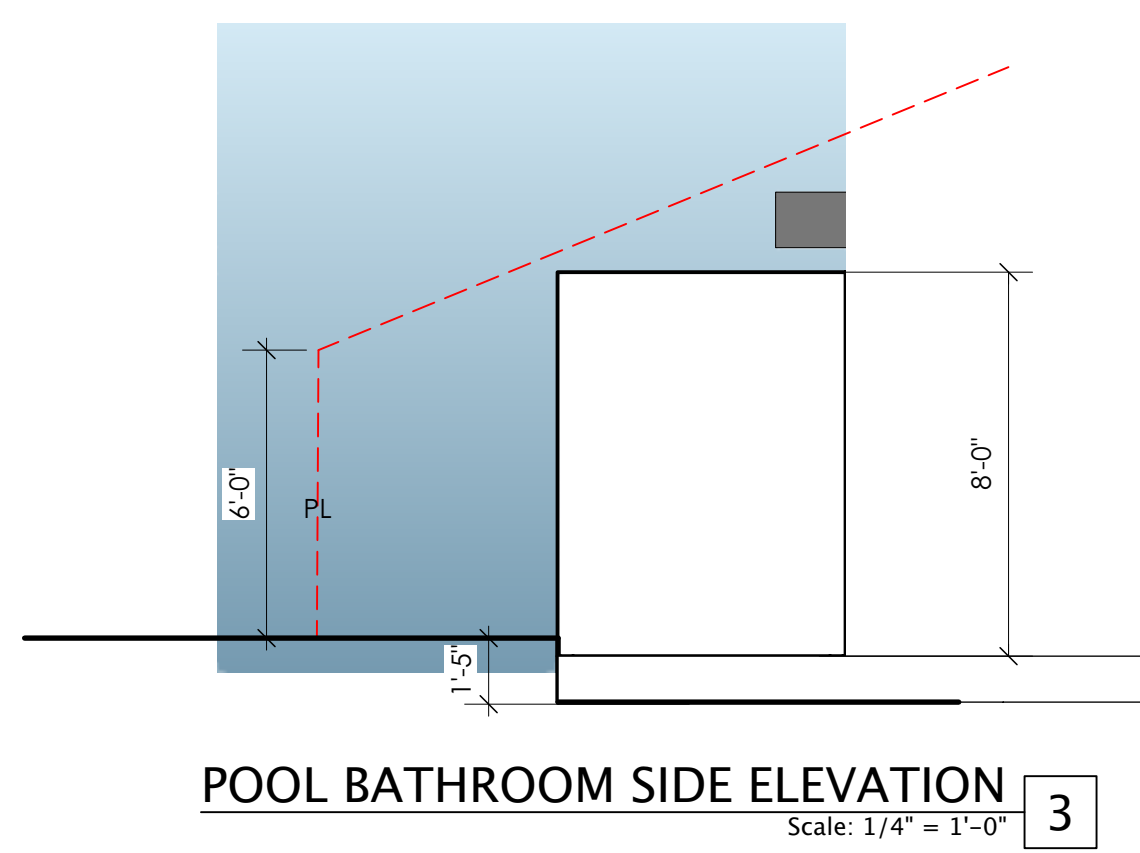
Piekarz Residence
1400 RICHARDSON AVE LOS ALTOS CA
94024



FRONT ELEVATION (WEST)-JUAREZ AVE
Scale: 1/4" = 1'-0" 1



EXTERIOR SIDE (North) ELEVATION-RICHARDSON AVE
Scale: 1/4" = 1'-0" 2



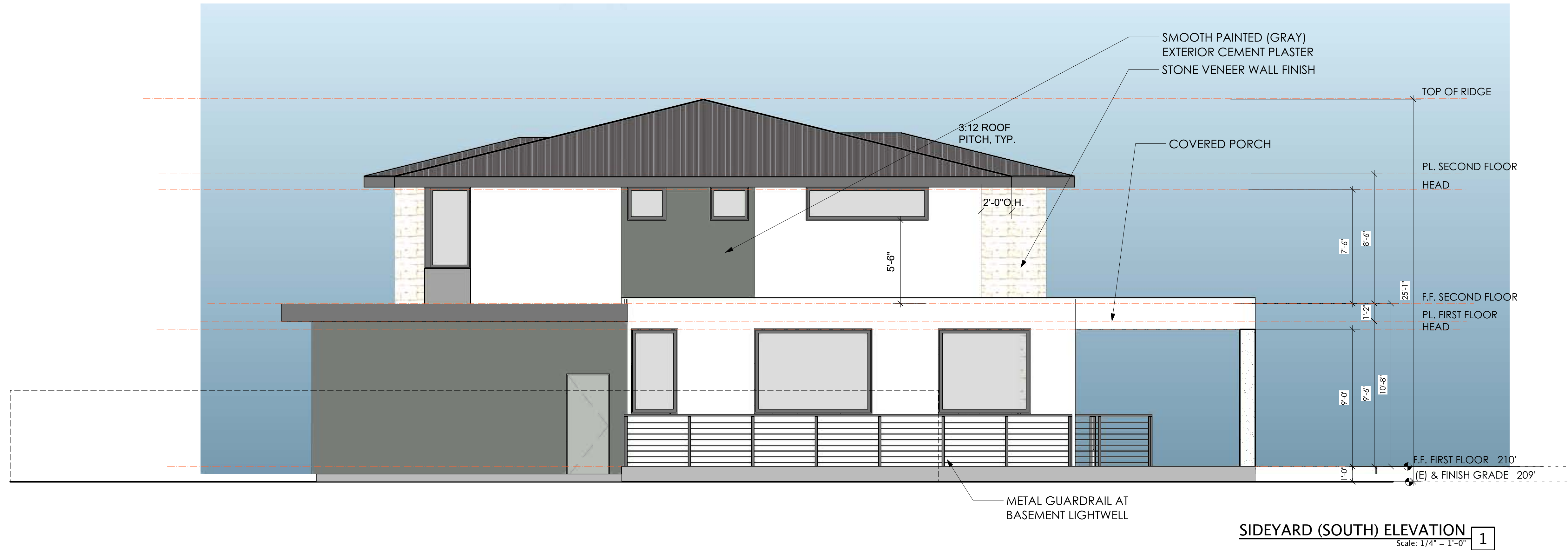
POOL BATHROOM SIDE ELEVATION
Scale: 1/4" = 1'-0" 3

DESIGN REVIEW SUBMITTAL_REV2

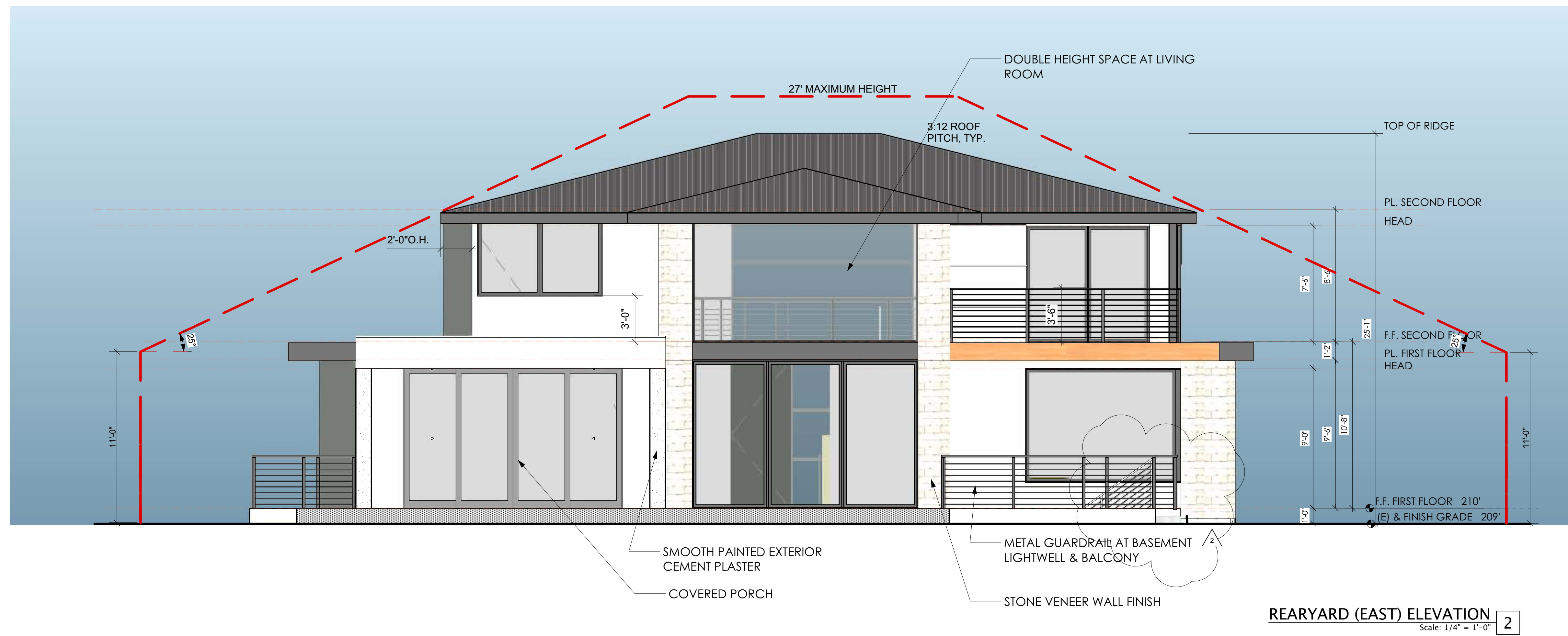
Date	06/01/20
Rev 2	07/27/20
Rev 1	04/29/20

Sheet Title
Elevations

Sheet No.
A3.1



SIDEYARD (SOUTH) ELEVATION 1
Scale: 1/4" = 1'-0"



REARYARD (EAST) ELEVATION 2
Scale: 1/4" = 1'-0"

Piekarz Residence
1400 RICHARDSON AVE LOS ALTOS CA
94024



DESIGN REVIEW SUBMITTAL_REV2

Date	06/12/20
Rev 2	07/16/20
Rev 1	04/29/20

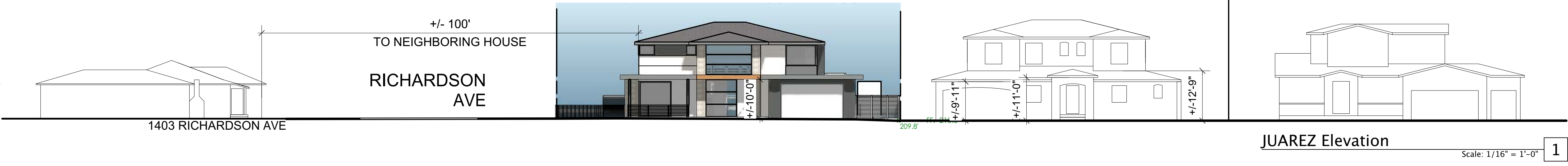
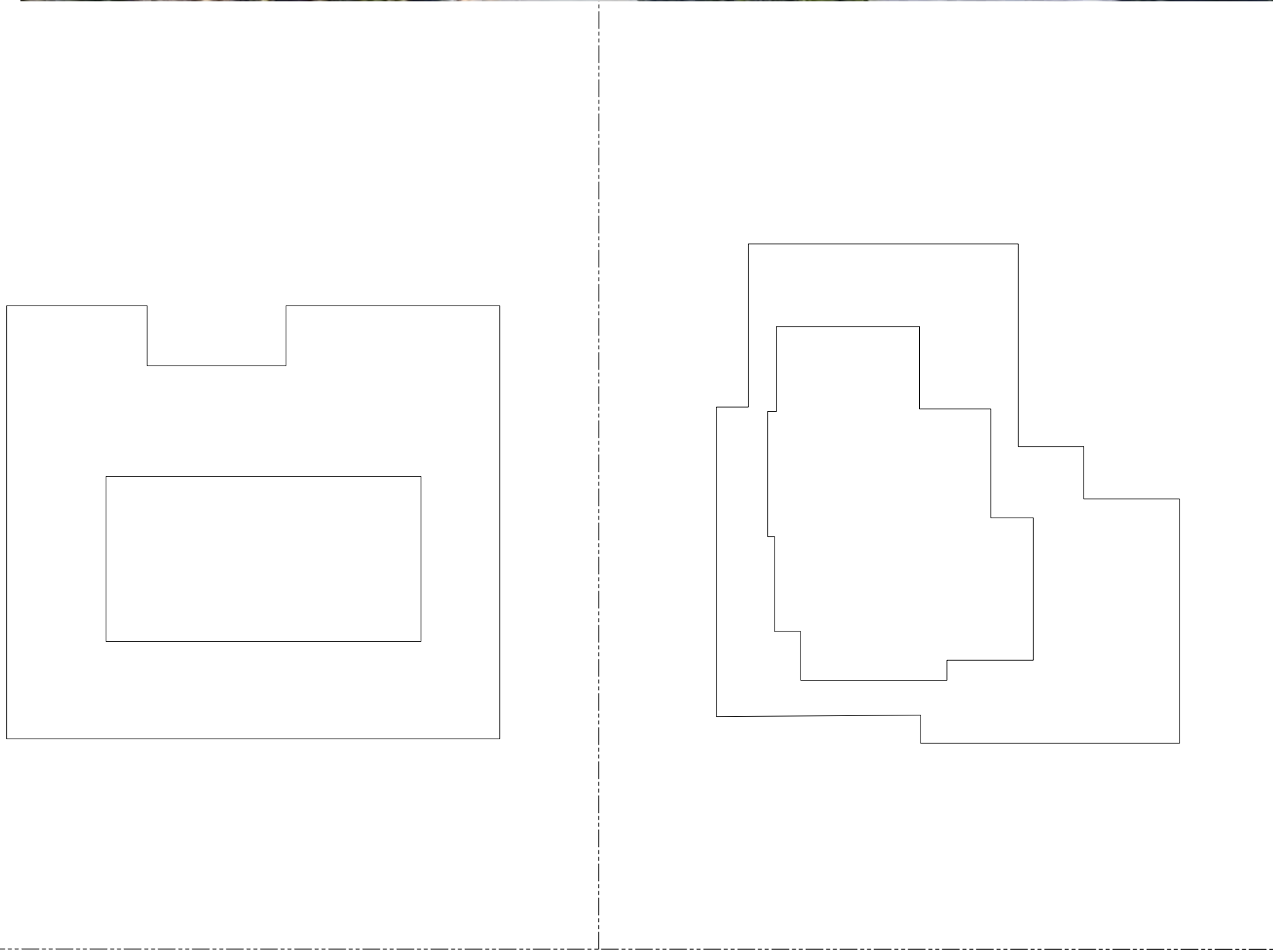
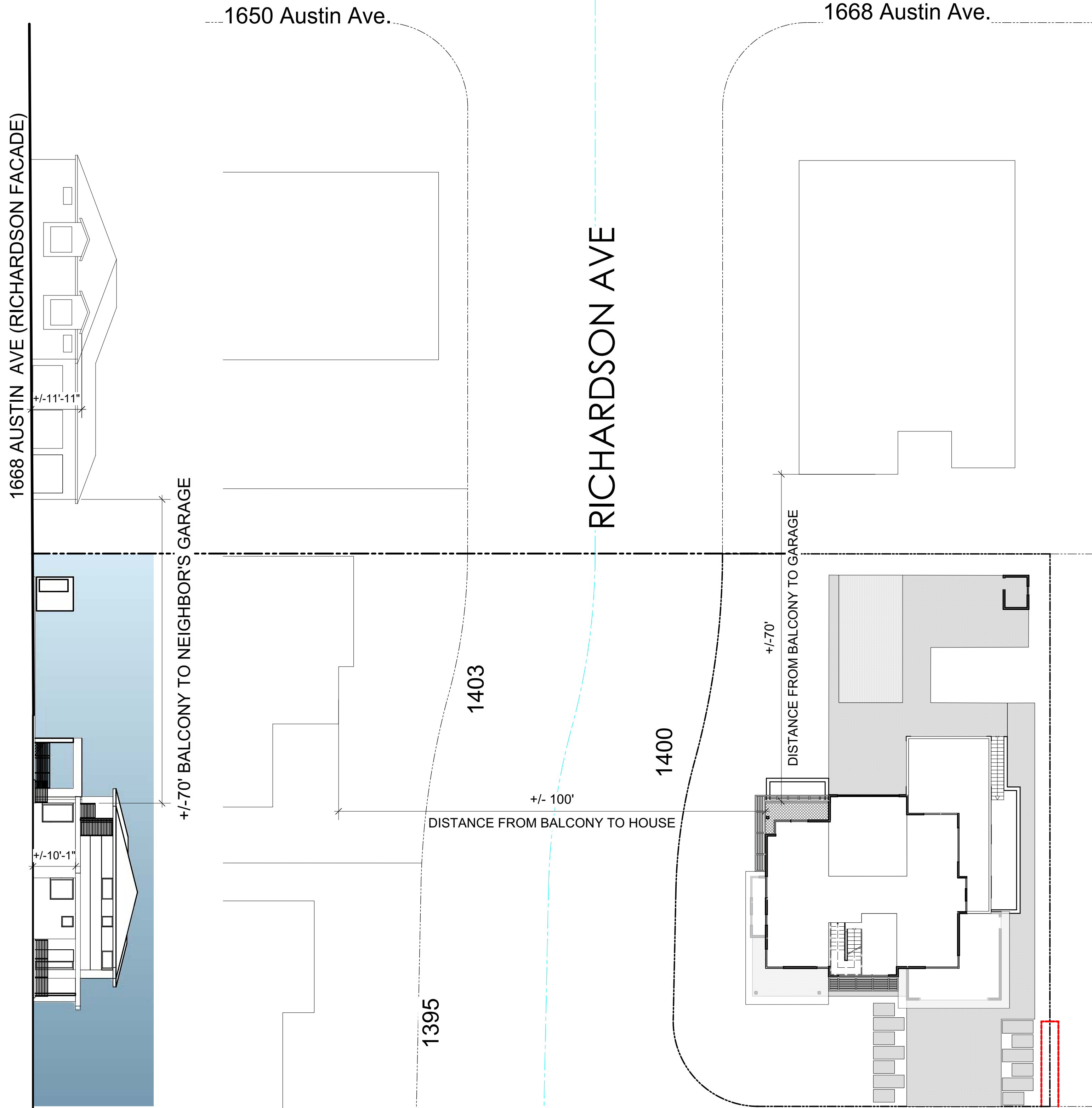
Sheet Title

Elevations

Sheet No.

A3.2

Piekarz Residence
 1400 RICHARDSON AVE LOS ALTOS CA
 94024



DESIGN REVIEW SUBMITTAL _ REV1

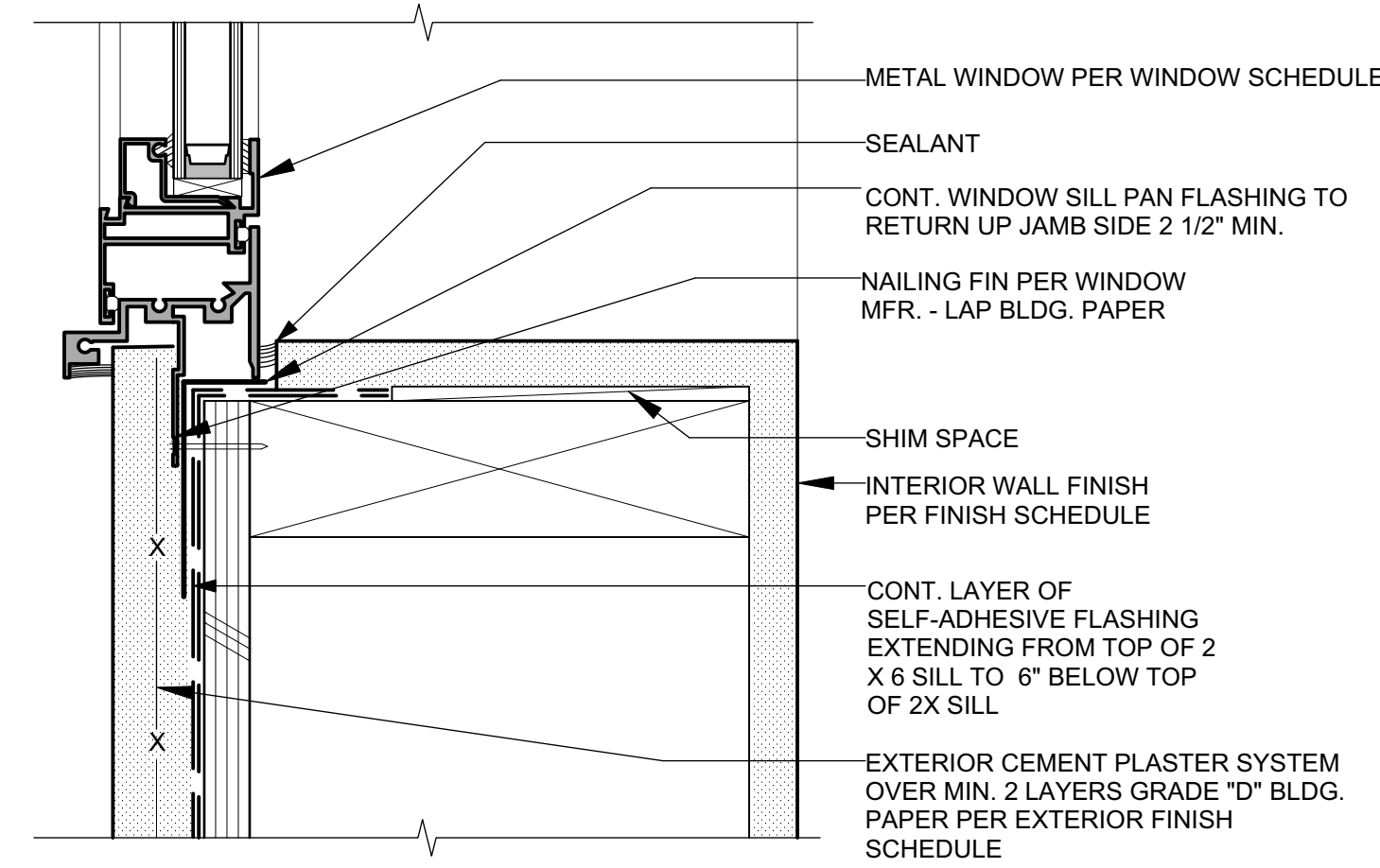
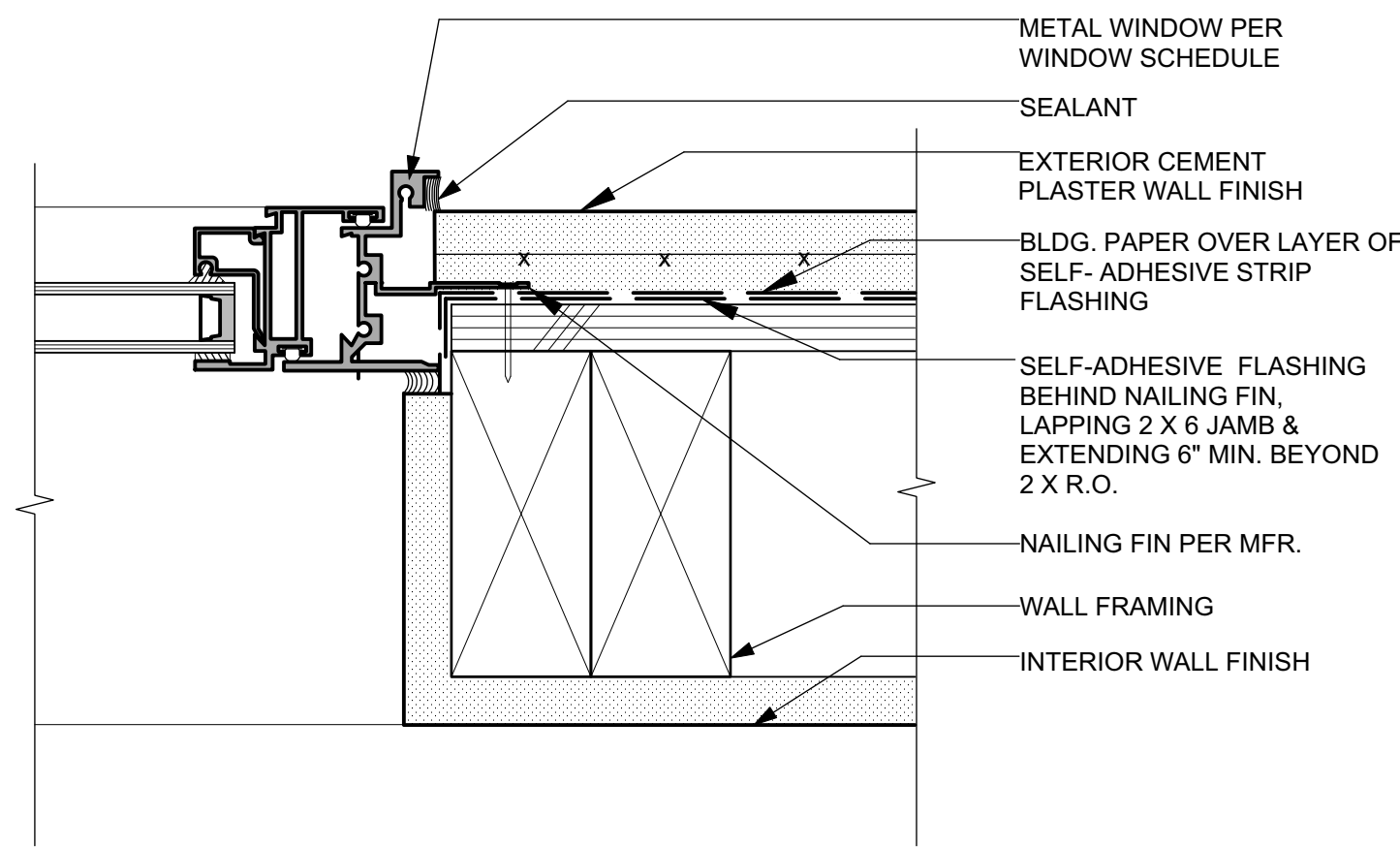
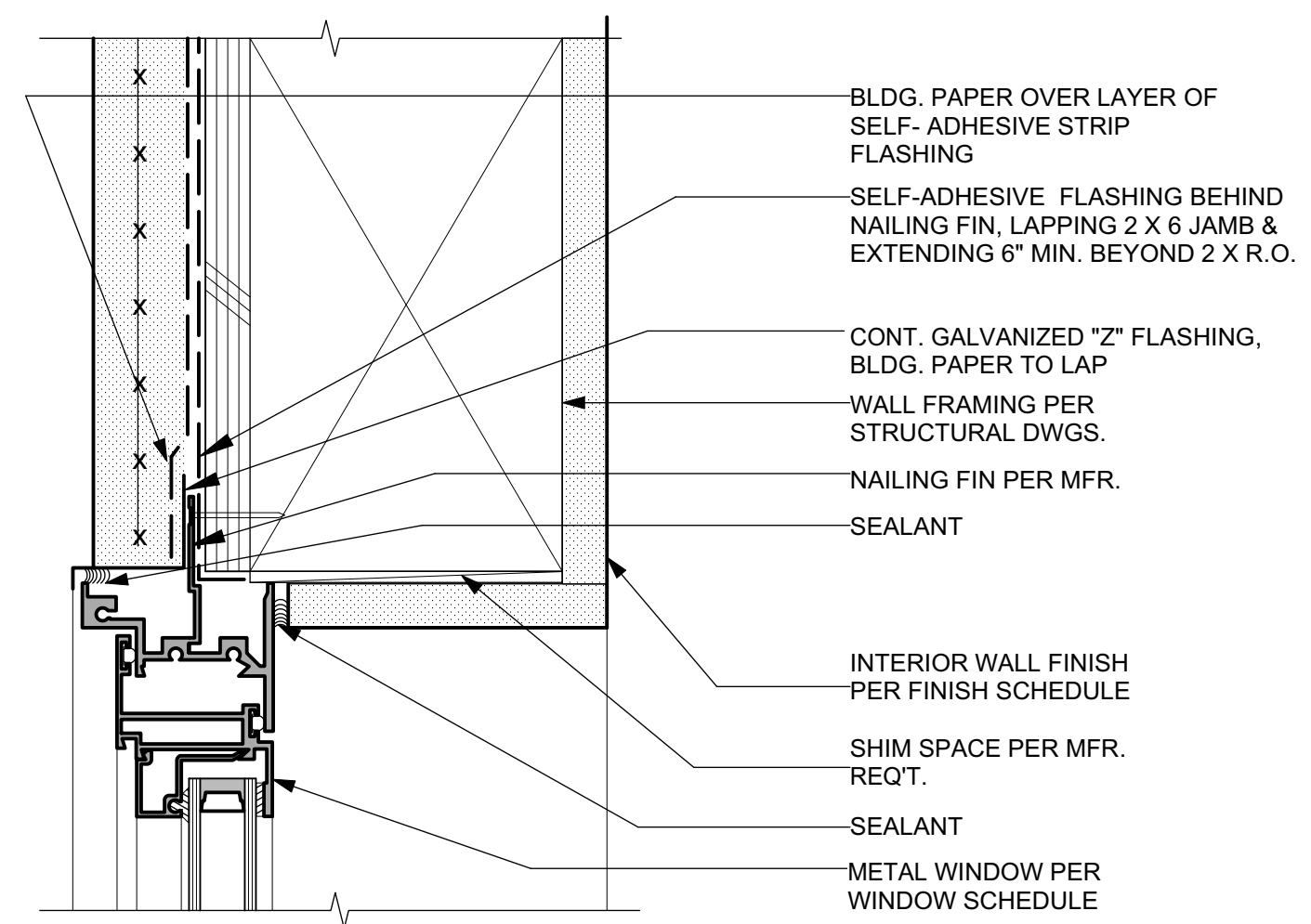
Date	02/25/2020
Rev	1 04/10/20 Planning comments

Sheet Title
 Neighborhood Elevations

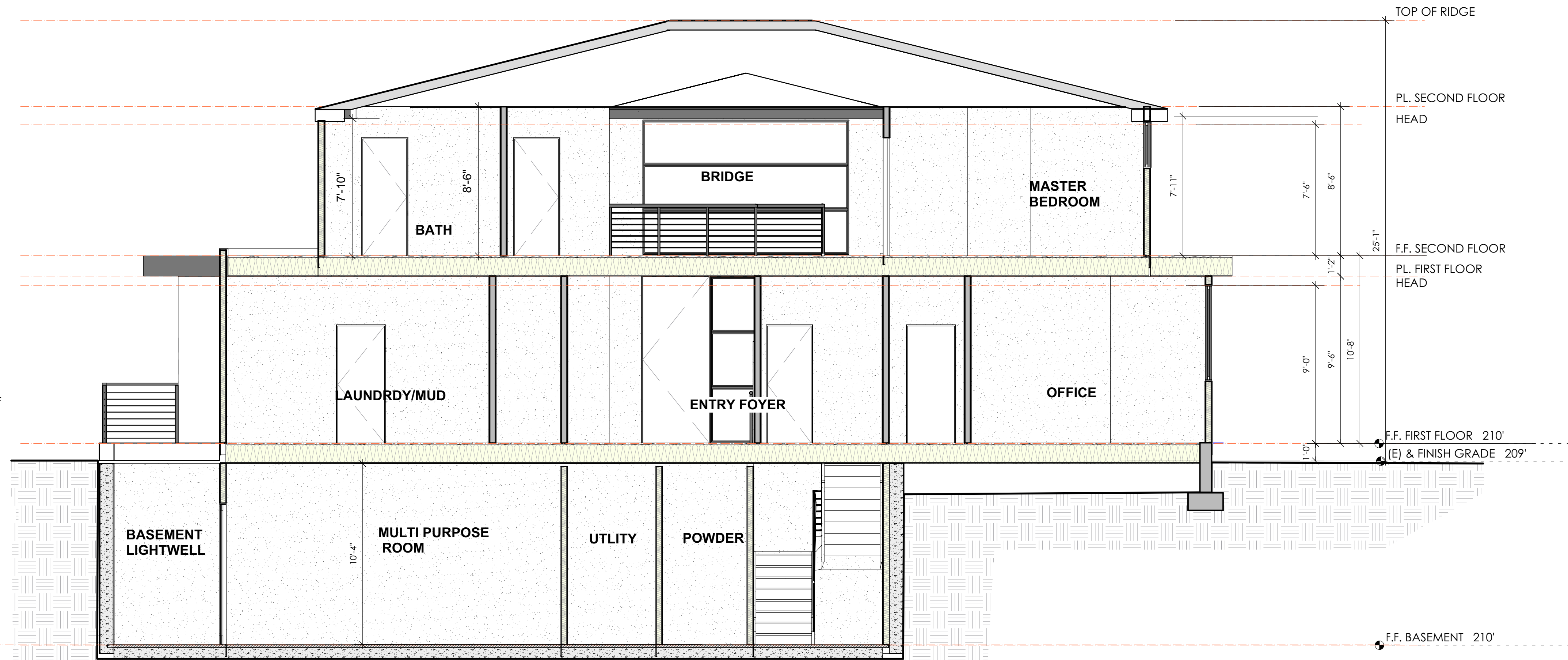
Sheet No.
A3.3

Piekarz Residence

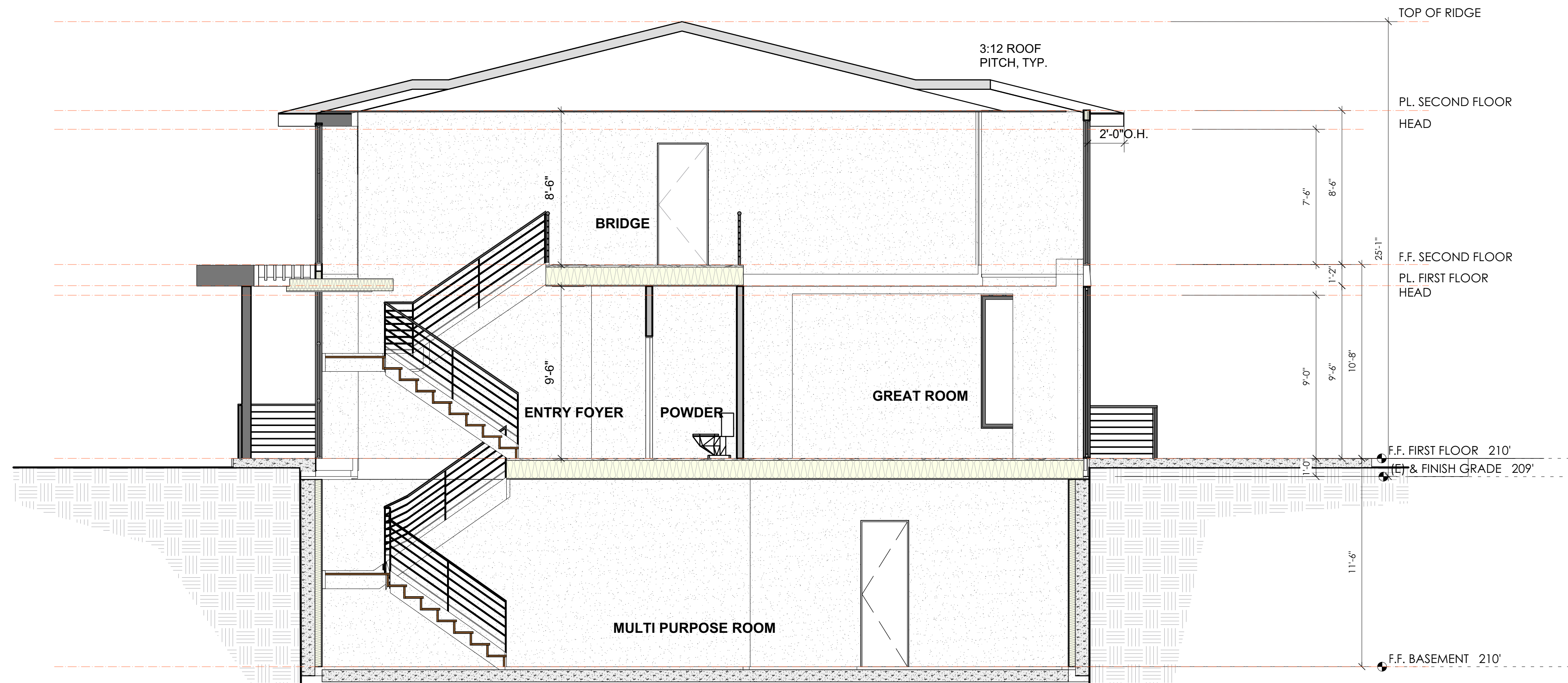
1400 RICHARDSON AVE LOS ALTOS CA
94024



Window Details 3



Section 1 - 1
Scale: 1/4" = 1'-0" 1



Section 2 - 2
Scale: 1/4" = 1'-0" 2

DESIGN REVIEW SUBMITTAL _ REV1

Date	02/25/2020
Rev	1 04/10/20 Planning comments

Sheet Title	Building Sections
Sheet No.	A4.1



VIEW FROM JUAREZ
Scale: 3/4" = 1'-0" 1



VIEW FROM CORNER
Scale: 3/4" = 1'-0" 2

Piekarz Residence

1400 RICHARDSON AVE LOS ALTOS CA
94024



DESIGN REVIEW SUBMITTAL_REV2

Date: 06/01/20
Rev: 1 04/29/20

Sheet Title
3D MODEL

Sheet No.
A5.1



INTERIOR SIDYARD 1
Scale: 1" = 1'-0"



REAR YARD 2

Piekarz Residence

1400 RICHARDSON AVE LOS ALTOS CA
94024

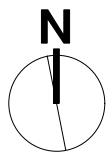
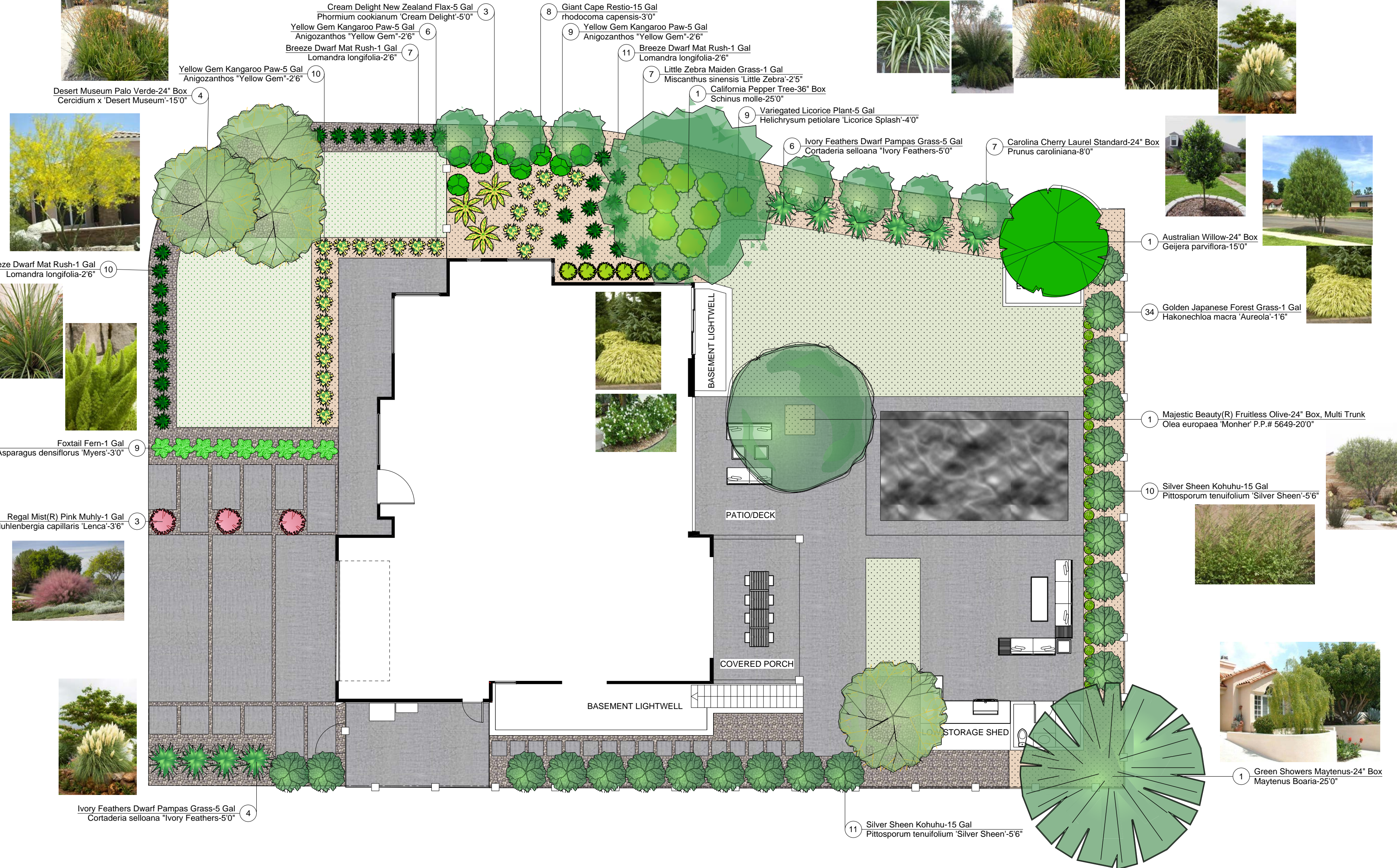


DESIGN REVIEW SUBMITTAL _REV2

Date: 06/01/20
Rev: 1 04/29/20

Sheet Title
3D MODEL

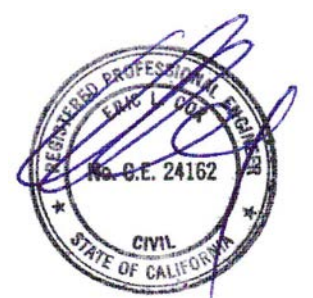
Sheet No.
A5.2



Plant List - Piekarz				
ID	Qty	Latin Name	Common Name	Scheduled Size
Afern	9	Asparagus densiflorus 'Myers'	Foxtail Fern	1 Gal
Aniyel	25	Anigozanthos "Yellow Gem"	Yellow Gem Kangaroo Paw	5 Gal
Cerdes	4	Cercidium x 'Desert Museum'	Desert Museum Palo Verde	24" Box
Cortivo	10	Cortaderia selloana "Ivory Feathers"	Ivory Feathers Dwarf Pampas Grass	5 Gal
Geiaus	1	Geijera parviflora	Australian Willow	24" Box
Hakgol	34	Hakonechloa macra 'Aureola'	Golden Japanese Forest Grass	1 Gal
Helvar	9	Helichrysum petiolare 'Licorice Splash'	Variiegated Licorice Plant	5 Gal
Lombre	28	Lomandra longifolia	Breeze Dwarf Mat Rush	1 Gal
Maygre	1	Maytenus Boaria	Green Showers Maytenus	24" Box
Misliit	7	Miscanthus sinensis 'Little Zebra'	Little Zebra Maiden Grass	1 Gal
Muhreg	3	Muhlenbergia capillaris 'Lenca'	Regal Mist(R) Pink Muhly	1 Gal
Olemaj	1	Olea europaea 'Monher' P.P.# 5649	Majestic Beauty(R) Fruitless Olive	24" Box, Multi Trunk
Phocre	3	Phormium cookianum 'Cream Delight'	Cream Delight New Zealand Flax	5 Gal
Pitsil	21	Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	15 Gal
Prycar	7	Prunus caroliniana	Carolina Cherry Laurel Standard	24" Box
Rhogia	8	rhodocoma capensis	Giant Cape Restio	15 Gal
Schcap	1	Schinus molle	California Pepper Tree	36" Box

REVISIONS	BY

KEMCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 1400 RICHARDSON AVE., SUITE 200
 LOS ALTOS, CA 94030
 650-343-8310
 engineers@kemcon.com



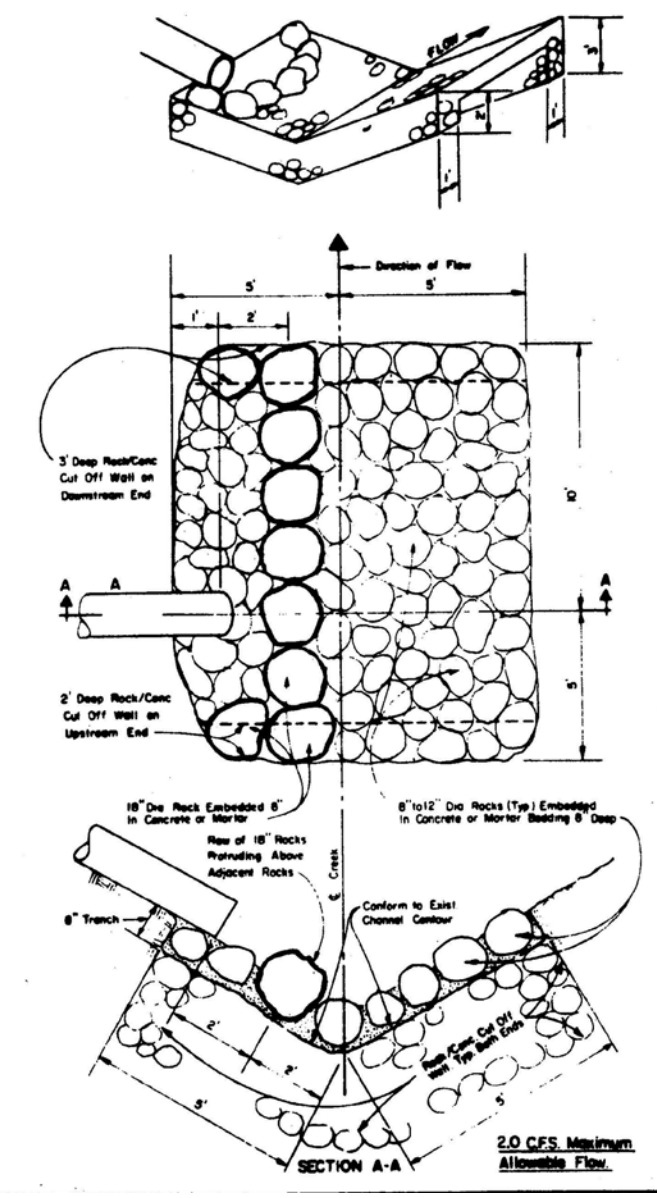
12/24/2019

ADD A PROJECT TITLE
 1400 Richardson Ave
 Los Altos, CA. 94024

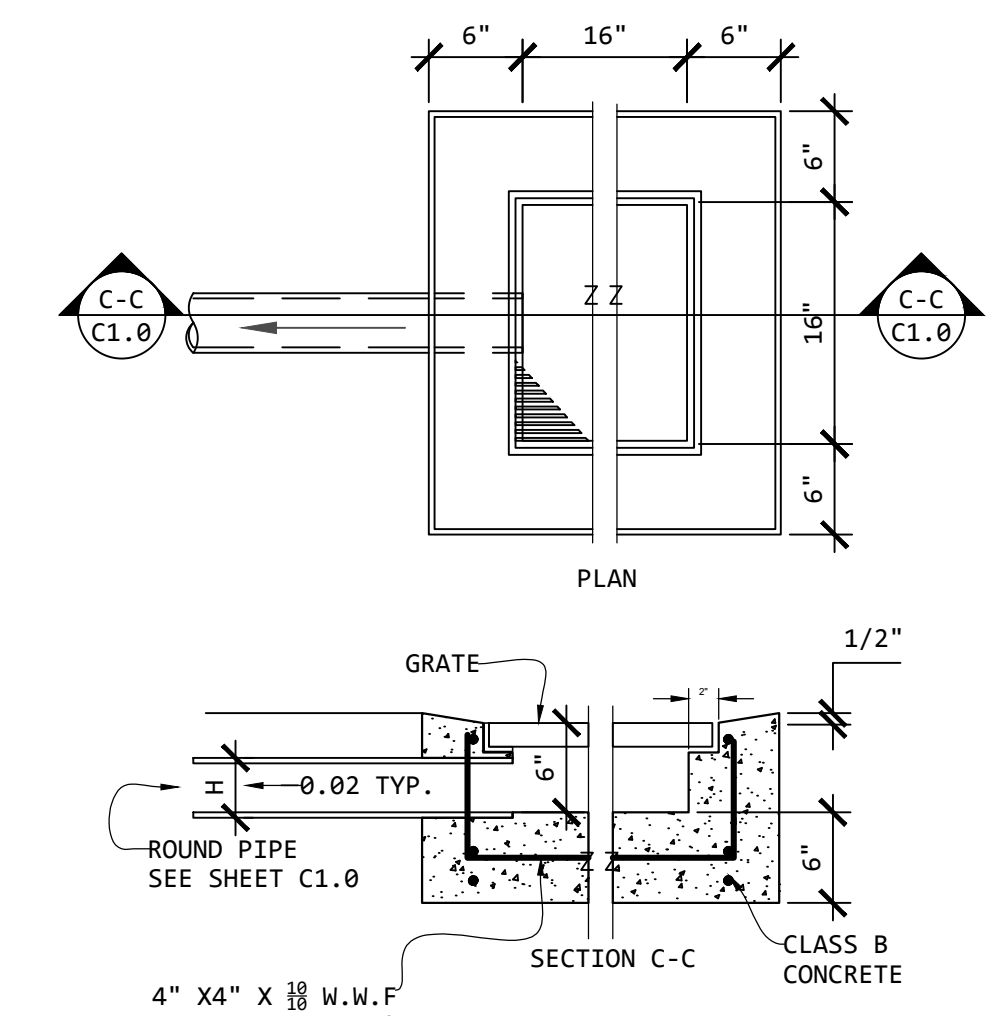
FOUNDATION PLAN

DATE: *add date
 SCALE: AS SHOWN
 DRAWN: *add drafter
 PAGE: PROP*

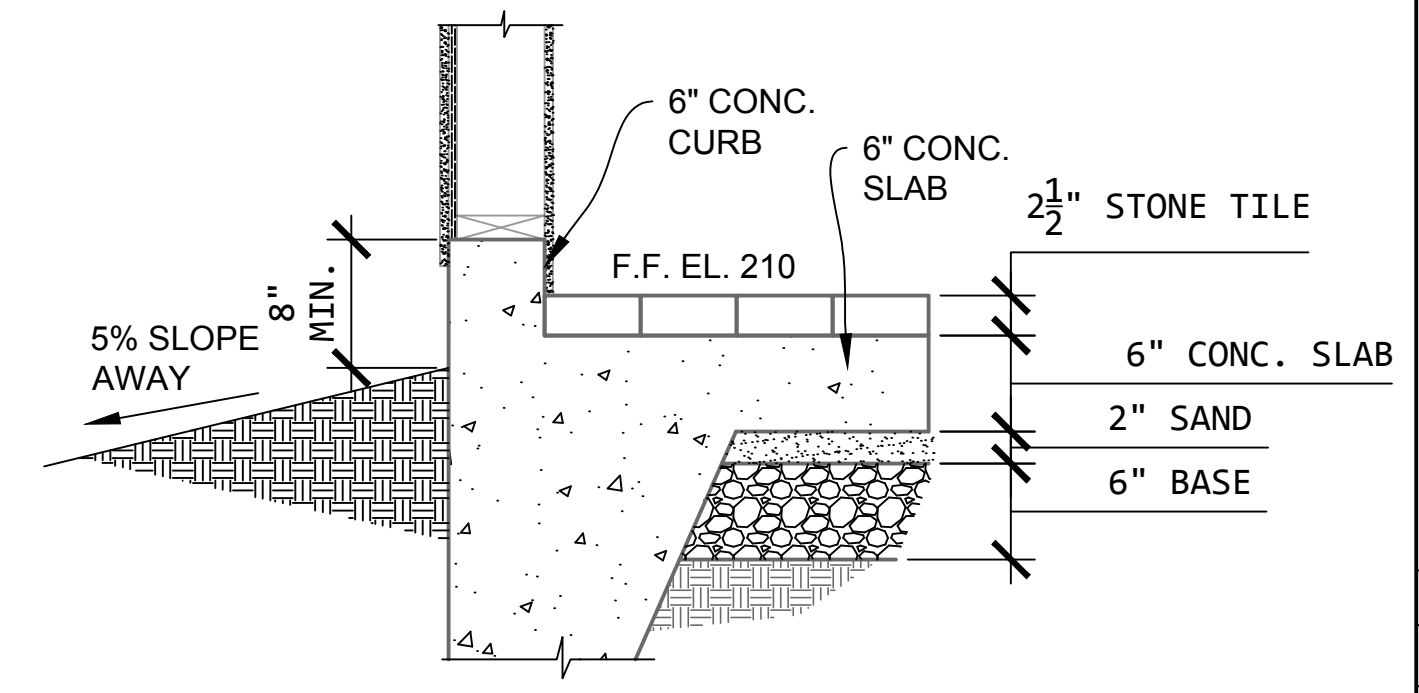
C1.0



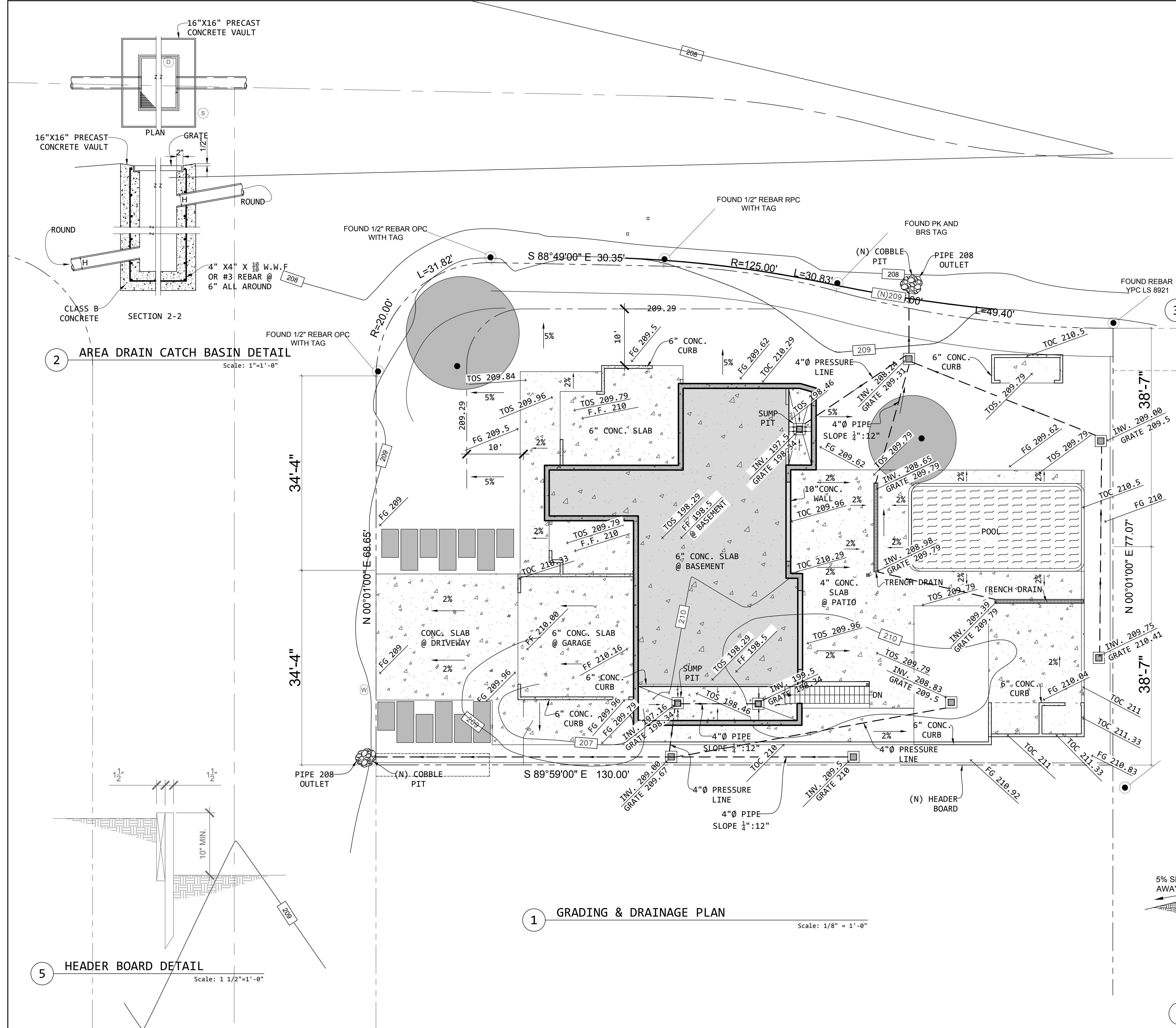
3 SMALL FLOWS ENERGY DISSIPATER DETAIL (COBBLE PIT) Scale: NTS.



4 ON SITE AREA DRAIN NOT TO SCALE



6 EDGE OF SLAB DETAIL Scale: 1 1/2"=1'-0"



1 GRADING & DRAINAGE PLAN Scale: 1/8" = 1'-0"

2 AREA DRAIN CATCH BASIN DETAIL Scale: 1"=1'-0"

5 HEADER BOARD DETAIL Scale: 1 1/2"=1'-0"

3 SMALL FLOWS ENERGY DISSIPATER DETAIL (COBBLE PIT) Scale: NTS.

4 ON SITE AREA DRAIN NOT TO SCALE

6 EDGE OF SLAB DETAIL Scale: 1 1/2"=1'-0"

LEGEND

BOUNDARY	---
PROPERTY LINE	---
CENTER LINE	---
SETBACK LINE	---
EASEMENT LINE	---
FACE OF BUILDING LINE	---
WOODEN FENCE	□
CHAINLINK FENCE	○
BARBED WIRE FENCE	x
EDGE OF CREEK	---
GAS METER	⊗
WATER METER	⊕
LANDSCAPE LIGHT	☆
SANITARY SEWER CLEANOUT	⊙
SANITARY SEWER MANHOLE	⊕
STORMDRAIN MANHOLE	⊙
WATER VALVE	⊕
FIRE HYDRANT	⊙
JOINT POLE	○
CATCH BASIN	⊕
FOUND IRON PIPE AS NOTED	⊕
FOUND MONUMENT AS NOTED	●

ABBREVIATIONS

FL	FLOWLINE
TC	TOP OF CURB
C	CONCRETE
L	LIP OF GUTTER
G	GROUND
AC	ASPHALTIC CONCRETE
TS	TOP OF STEP
TW	TOP OF WALL
P.U.E.	PUBLIC UTILITY EASEMENT
P.S.E.	PUBLIC SERVICE EASEMENT
B.S.L.	BUILDING SETBACK LINE

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 318-09-22
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.
- OWNER SHOULD CONSULT WITH CITY PLANNER TO CONFIRM CURRENT ZONING AND SETBACK REQUIREMENTS.
- CITY OF LOS ALTOS DOES NOT HAVE A ZONING MAP ON-LINE FOR REVIEW. WE WERE UNABLE TO DETERMINE THE ZONING DISTRICT FOR THIS PROPERTY AND THE SETBACK LINE REQUIREMENTS.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON ARE BASED ON TRACT MAP NO. 1102 RECORDED IN BOOK 41 OF MAPS, AT PAGE 51, SANTA CLARA COUNTY RECORDS.

PROJECT BENCHMARK

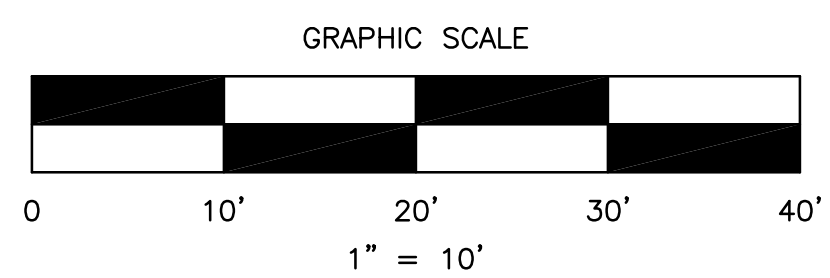
TOP OF REBAR WITH CAP, NEAR THE NORTH EAST PROPERTY CORNER. ASSUMED ELEVATION OF 208.84 FEET.

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

TOM H. MILO
L.S. 6438

DATE



DRAWN BY THM
CKD. BY THM
DATE 7/10/2018
SCALE 1" = 10'

BOUNDARY & TOPOGRAPHIC SURVEY
APN: 318-09-022
1400 RICHARDSON AVENUE
LOS ALTOS CALIFORNIA

T.K.M.
Land Surveyors
2250 Bohannon Drive
Santa Clara, CA 95050
408.615.8855 phone
408.615.1556 fax

JOB NO. 1
SHEET 1 OF 1
FILE NO.

