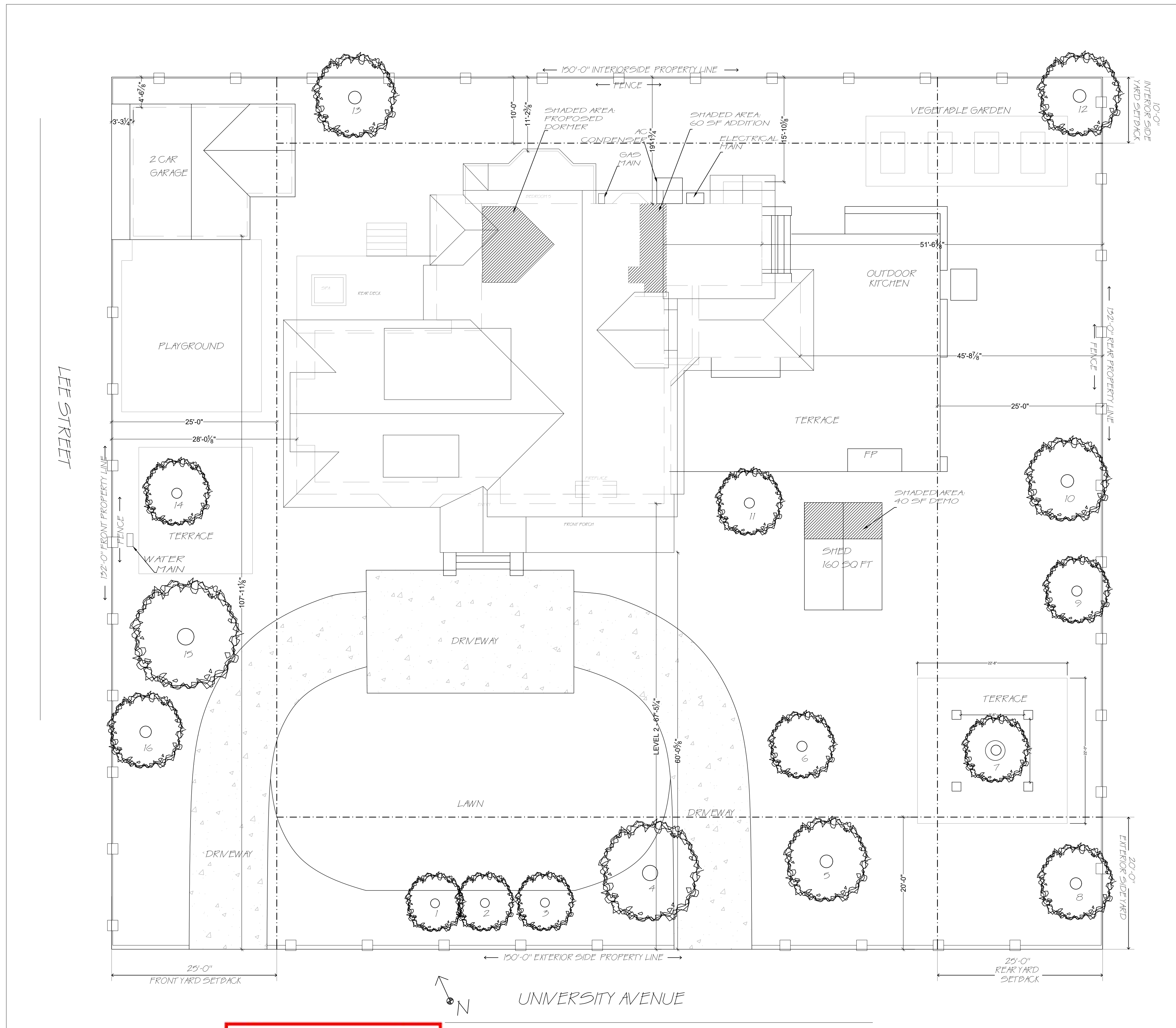


SITE PLAN



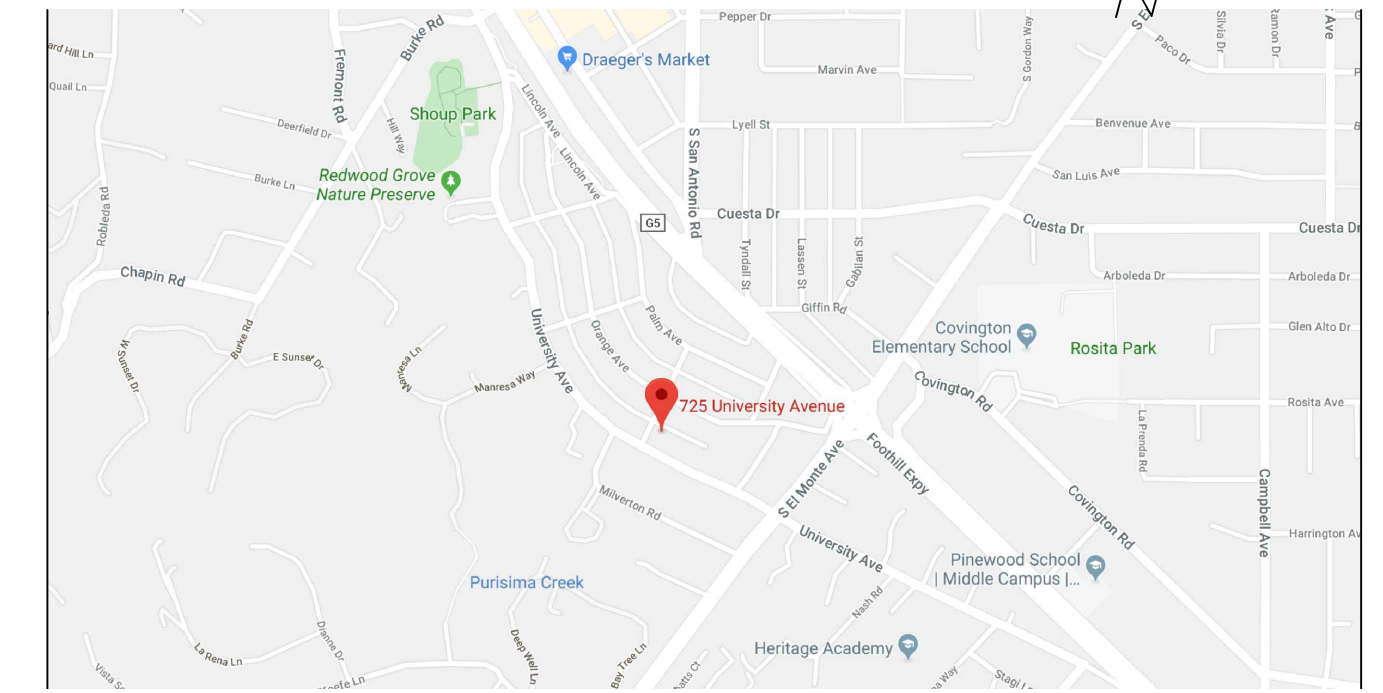
RECEIVED
Date: **4/13/20**
CITY OF LOS ALTOS
PLANNING

CAL GREEN CODE NOTES

CAL Green Environmental Quality Requirements:

- ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGSBC SECTION 4.204.2.4
- PRIOR TO FINAL INSPECTION, A LETTER DESIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR AN OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS ALTOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGSBC SECTION 4.204.

VICINITY MAP



SHEET INDEX

SA.1	SITE PLAN
A1.1	EXISTING FLOOR PLAN - LEVEL 1
A1.2	EXISTING FLOOR PLAN - LEVEL 2
A1.3	PROPOSED FLOOR PLAN - LEVEL 1
A1.4	PROPOSED FLOOR PLAN - LEVEL 2
A1.5	PROPOSED SCHEDULES
A1.6	PROPOSED SCHEDULES
A1.7	EXISTING ROOF PLAN
A1.8	PROPOSED ROOF PLAN
A1.9	EXISTING ELEVATIONS
A1.10	EXISTING ELEVATIONS
A1.11	PROPOSED ELEVATIONS
A1.12	PROPOSED ELEVATIONS
A1.13	AREA OF WORK SECTIONS
E1	PROPOSED ELECTRICAL
GB-1	CA GREEN CODE 2019

PROJECT TEAM

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PROJECT NOTES

SCOPE OF WORK:
ADDITION OF 60 SQ. FT. ON LEVEL 1 REMOVAL OF 3 INTERIOR WALLS TO OPEN BEDROOMS AND CREATE NEW FAMILY ROOM. REPLACE AND RESIZE 1 WINDOW IN NEW FAMILY ROOM AND REPLACE WINDOW WITH FRENCH DOORS OF SAME WIDTH. ON LEVEL 2 - 2 NEW BEDROOMS AND 2 NEW BATHROOMS, NEW LAUNDRY ROOM ON LEVEL 2 AND OFFICE, REMODEL OF EXISTING MASTER BATHROOM, NEW FURNACE AND REPAIR DAMAGED HVAC WHERE NEEDED, NEW ROOF MATERIAL TO MATCH EXISTING. ONLY CHANGE TO LANDSCAPE OR YARD - DEMO 40 SQ. FT. OF SHED.

ZONING R-110 LOT #57 APN #175-18-057 - YEAR BUILT: 1911 HISTORIC RESOURCE
LOT SIZE: 19,800 SF.
BUILDING AREA: LEVEL 1: 2415 LEVEL 2: 1707 SF.
EXISTING HOUSE: 4,122 SF.
EXISTING GARAGE: 420 SF.
EXISTING SHED: 160 SF. ----- DEMO 40 SQ. FT. OF SHED IF NEEDED FOR FLOOR AREA
NEW ADDITION: 60 SF. TO LEVEL 2

EXISTING TOTAL BUILDING COVERAGE: 4721 SF
FLOOR AREA RATIO: 4721/19800 = 23.8%

OCCUPANCY - R-3; TYPE OF CONSTRUCTION - VB

NOTE
THE FOLLOWING CODES AND REGULATIONS AS MENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT.
CEC 2019 CALIFORNIA ELECTRICAL CODE
CBC 2019 CALIFORNIA BUILDING CODE
CFC 2019 CALIFORNIA PLUMBING CODE
CMC 2019 CALIFORNIA MECHANICAL CODE
CEC 2019 CALIFORNIA ENERGY CODE
CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

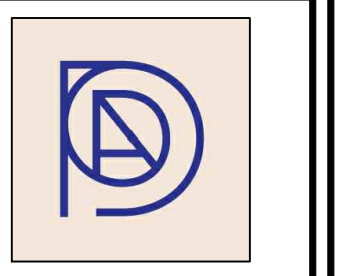
ZONING COMPLIANCE			
	EXISTING	PROPOSED	ALLOWED/REQ.
Lot Coverage: Land area over 6' in height	3260 sq.ft. 16.5%	3220 sq.ft. 16.3%	5940 sq.ft. 30%
Floor Area: Measured to outside surface of exterior walls	4707 sq.ft. %	4727 sq.ft. %	4730 sq.ft. 35%
SETBACKS:			
Front	28 ft.	28 ft.	25 ft.
Rear	45 ft. 8 in.	45 ft. 8 in.	25 ft.
Right Side (1st/2nd) EXTERIOR	60 ft./ 67.5 ft.	60 ft./ 67.5 ft.	20 ft./ 20 ft.
Left Side (1st/2nd) INTERIOR	11 ft./ 19 ft.	11 ft./ 19 ft.	10 ft./ 17.5 ft.
HEIGHT	26 ft. 3 in.	26 ft. 3 in.	27 ft.

SQUARE FOOTAGE BREAKDOWN			
	EXISTING	CHANGE IN	TOTAL PROP.
HABITABLE LIVING AREA: <i>Includes habitable basement</i>	4122 sq.ft.	+60 sq.ft.	4182 sq.ft.
NON-HABITABLE AREA: <i>Covered porches/open structures not included</i>	585 sq.ft.	-40 sq.ft.	545 sq.ft.

LOT CALCULATIONS	
NET LOT AREA:	19800 sq.ft.
FRONT YARD HARDSCAPE AREA: <i>Shall not exceed 50% of setback</i>	(garage, playground floor, driveway) 1471 sq.ft. 44%
LANDSCAPE BREAKDOWN:	Total hardscape area (existing and prop) 6435 sq. ft. Existing softscape (undisturbed) area 13365 sq. ft. (N) softscape (new or replaced landscape) area 0 sq. ft. <i>Sum of all three should equal the site's net lot area</i>

SITE PLAN AND COVER SHEET

REVISIONS	BY



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PROPOSED REMODEL TO:
ALBERT RESIDENCE
ERIC AND LAUREN ALBERT
725 UNIVERSITY AVENUE
LOS ALTOS, CA 94022

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LOS ALTOS, CA 94022

DRAWN BY: DANIELLE DIVITTORIO

CHECKED BY:

SCALE: 1/8" = 1'

DATE: MAY 12, 2020

SHEET NO. **SA.1**

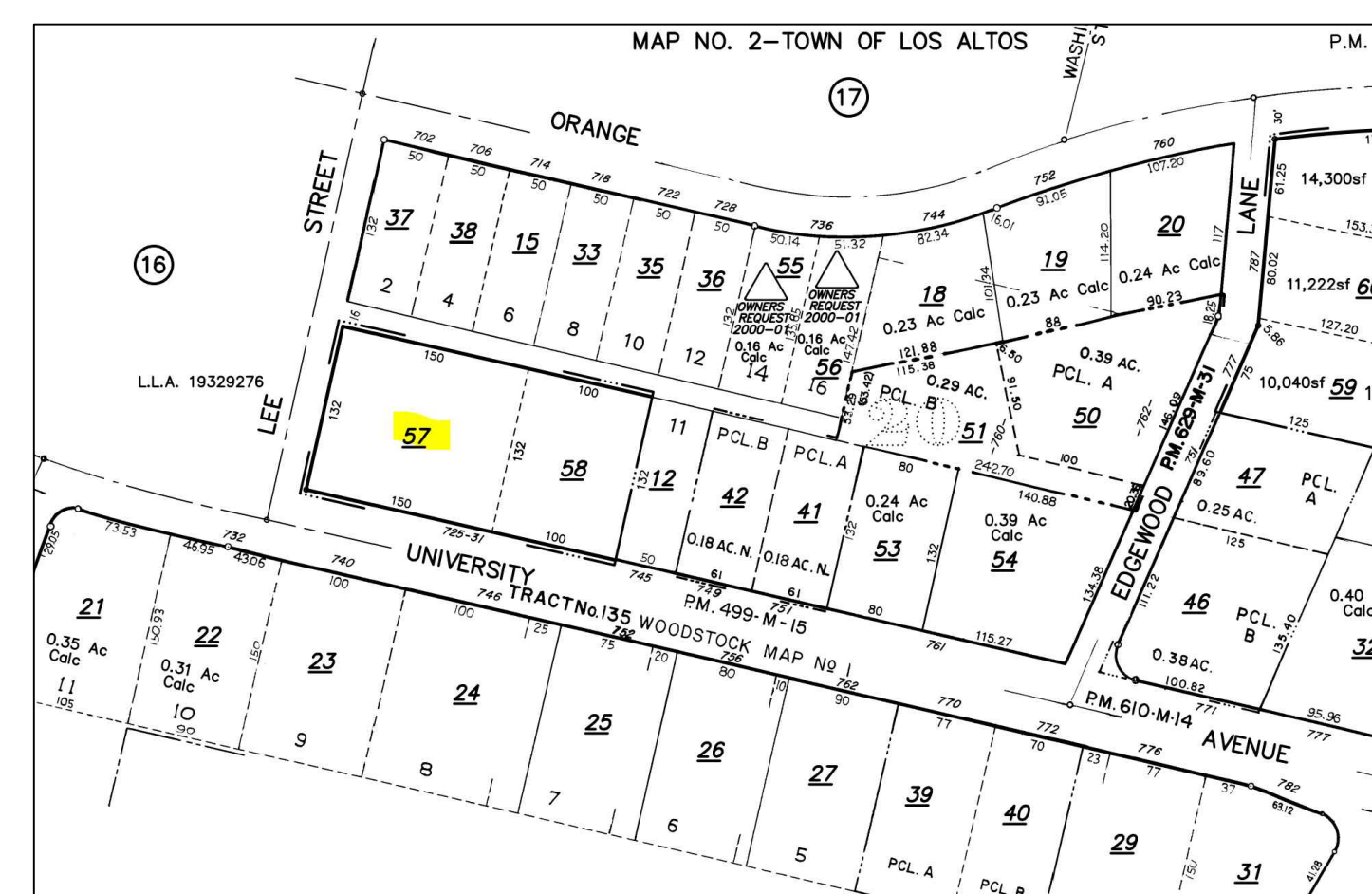
GENERAL CONSTRUCTION NOTES

- DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IF DISCREPANCIES ARE FOUND. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY.
- ALL CONSTRUCTION TECHNIQUES, MATERIALS AND FINISHES SHALL BE AS REQUIRED BY THE APPROPRIATE GOVERNING AGENCY. INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO THE ARCHITECT'S PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE REQUIREMENTS OF REFERENCED CODES AND ALL APPLICABLE LOCAL ORDINANCES. WHERE CONTRACT DOCUMENTS EXCEED WITHOUT VIOLATING CODE AND REGULATION REQUIREMENTS, CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE. WHERE CODES CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL APPLY.
- SHOULD A CONDITION ARISE THAT IS IN CONFLICT WITH THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- MECHANICAL, ELECTRICAL, AND STRUCTURAL DRAWINGS ARE COMPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS PRIOR TO THE COMMENCEMENT OF THE CONSULTANTS PORTION OF THE WORK. DISCREPANCIES BETWEEN THE ARCHITECTURAL AND THE CONSULTING ENGINEERS/ARCHITECTS DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY FOR CLARIFICATION. CONSTRUCTION INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER LOCATION AND SIZE OF OPENINGS, CLEARANCES, AND ACCESS FOR ALL TRADES. COORDINATE ALL CONSTRUCTION AS INDICATED BY THE CONTRACT DOCUMENTS AS WELL AS THE APPROVED SHOP DRAWINGS/SUBMITTALS.
- ALL DIMENSION ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- WHEN A DETAIL IS NOTED AS TYPICAL, THE CONTRACTOR SHALL APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- THE CONTRACTOR SHALL LOCATE BACKING PLATES OR BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT, CASEWORK AND ACCESSORIES TO ENSURE POSITIVE ATTACHMENT TO STRUCTURE.
- THE CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF WATER, VENT, AND DRAIN INSTALLATION AND ALL OTHER REQUIRED SERVICES WITH EQUIPMENT MANUFACTURERS. THE CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR A COMPLETE LIST OF GENERAL AND SUPPLEMENTARY CONDITIONS AND OTHER CRITERIA. CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY AND PRIOR TO COMMENCEMENT OF THE WORK.
- GRADING, DRAINAGE, AND ROAD IMPROVEMENTS, ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- ALL PIPES, DUCTS, AND CONDUITS, SHALL BE SUPPORTED AND BRACED PER THE SMACNA GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PIPING SYSTEMS.

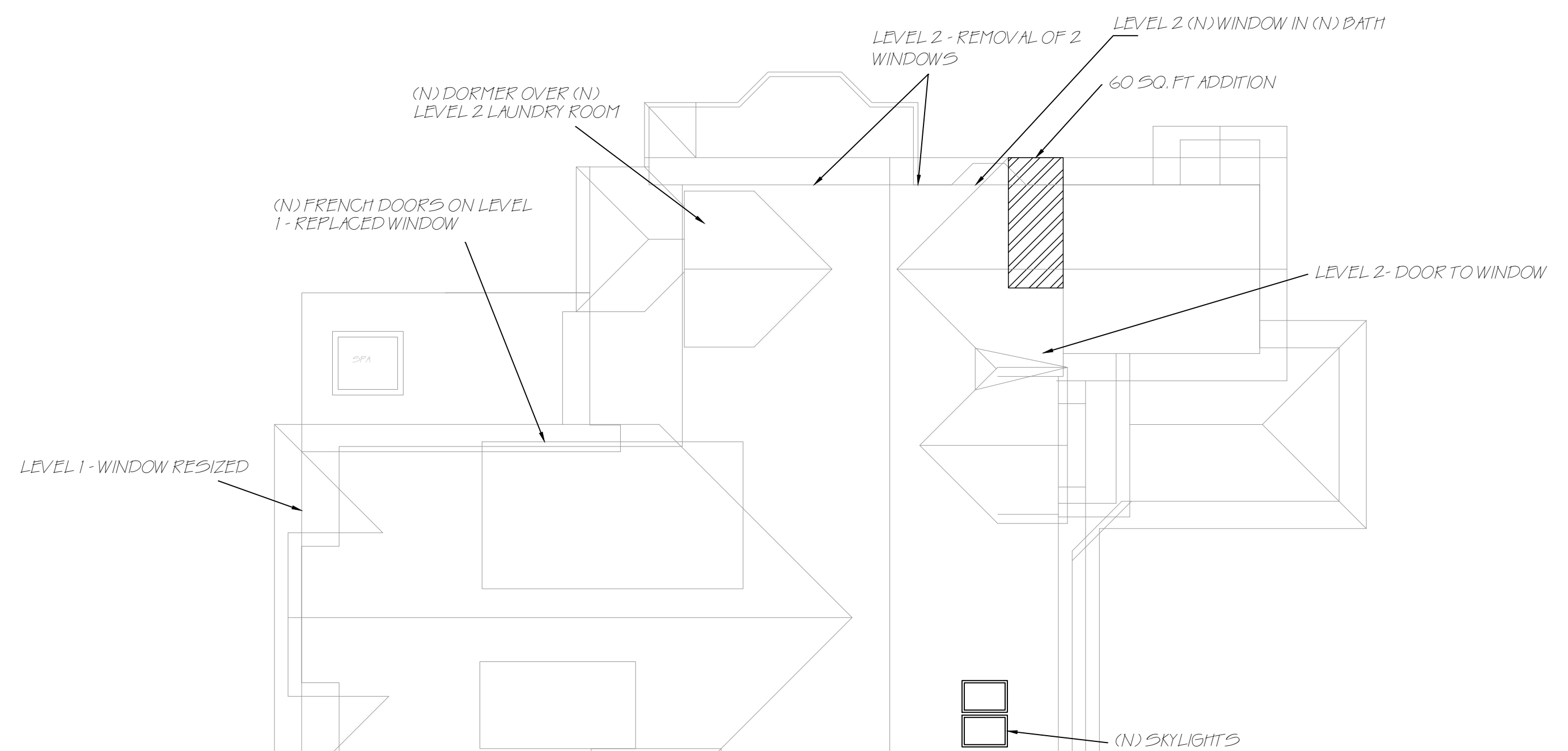
SITE PLAN NOTES

- VERIFY UTILITY HOOK UP LOCATIONS.
- EXISTING TREES TO BE PROTECTED AND FENCED DURING CONSTRUCTION.
- ALL SITE GRADING AND CONDITIONS TO CONFORM TO LUDC ARTICLE 19, CHAPTER 5 AND CBC CHAPTER 1804.
- ALL FILL AREAS TO BE COMPACTED TO CONFORM TO SECTION 1803.5 OF THE CALIFORNIA BUILDING CODE.
- PROVIDE MINIMUM 5% DRAINAGE AWAY FROM BUILDING AND 5% FROM SITE TO STREET DRAINAGE AREAS OR AS SHOWN ON PLAN AS PER CBC 1803.3. SEE GRADING PLAN.
- PROVIDE EROSION CONTROL AND CONTROL OF RUN OFF DURING EARTH WORK OPERATIONS.
- EXISTING OR PROPOSED FILL SHALL NOT BE USED FOR SUPPORT OF CONCRETE FOOTING OR FLOOR SLABS UNLESS SOIL IS COMPACTED TO 95% WITH REQUIRED INSPECTIONS (SEE PLAN OR SOILS REPORT) - SIDEWALKS AND DRIVEWAYS MAY BE 90% UNLESS OTHERWISE REQUIRED BY LOCAL REQUIREMENTS: E.G., FIRE DISTRICTS, CONSULT SOILS REPORT IF ONE WAS REQUIRED.
- MAX. CUT/FILL SLOPE - TWO (2) HORIZONTAL TO ONE (1) VERTICAL - SEE CBC 1803 FOR ADDITIONAL SITE / GRADING REQUIREMENTS.
- WHERE THE SURFACE OF THE GROUND SLOPES MORE THAN 1' IN 10', FOUNDATIONS SHALL BE LEVEL OR SHALL BE STEPPED SO THAT BOTH TOP AND BOTTOM OF SUCH FOUNDATION ARE LEVEL.
- FOUNDATION SUPPORTED ON FILL REQUIRE A SOIL INVESTIGATION REPORT AND A REPORT OF SATISFACTORY FILL PLACEMENT - SEE CBC 1803. ALL SOILS COMPACTION TESTING AND RELATED SOILS ENGINEERING WORK IS TO BE PROVIDED BY THE CONTRACTOR AND INCLUDED IN THE OVERALL COST OF THE PROJECT.
- ALL FOUNDATION AREAS AND RETAINING WALLS AT TOE OF SLOPES SHALL BE PROVIDED WITH AN ACCEPTABLE STANDARD SURFACE BACK DRAIN SYSTEM AND ALL DRAINAGE SHALL BE CONDUCTED TO DAYLIGHT OR STREET IN AN ACCEPTABLE MANNER AND IN A NON-EROSIVE DEVICE.
- INDICATED HEIGHTS FOR RETAINING WALLS ARE APPROXIMATE - VERIFY ACTUAL HEIGHTS IN FIELD, NOTIFY ARCHITECT IF IT VARIES FROM RETAINING HEIGHT DESIGNS. IF NO RETAINING WALLS ARE SHOWN ON DRAWING BUT ARE REQUIRED DUE TO SITE CONDITIONS, NOTIFY THE ARCHITECT AND OBTAIN DESIGN REQUIREMENTS FROM THE ARCHITECT IN WRITING.
- PROVIDE ALL ROUGH-IN FOR SEPTIC OR SEWER, PHONE, CABLE, GAS AND ELECTRICAL FROM STREET OR EXISTING SITE SOURCE TO THE PROJECT AS REQUIRED. VERIFY LOCATIONS, COMPARABILITY AND CAPACITY OF EXISTING SERVICES TO ACCOMMODATE PROPOSED TOTAL SERVICE IMPACT. NOTIFY ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH WORK IF EXISTING SERVICES CANNOT ACCOMMODATE TOTAL SERVICES PROPOSED, UNLESS ALREADY DESIGNED FOR HERE IN.
- REMOVE ALL EXISTING TREES WITHIN BUILDING PERIMETER IN ADDITION TO THOSE THAT ARE NOTED.
- SOILS FACTORS FOR FOUNDATION DESIGN ARE ASSUMED. ARCHITECT IS NOT RESPONSIBLE FOR IN FIELD SOIL CONDITIONS NOR IRREGULAR DRAINAGE OR GRADING.
- THE SIGNER OF THESE PLANS LIMITS HIS LIABILITY TO INFORMATION REPRESENTED THERE IN AND THE INTENDED USE THERE OF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS.
- CONSTRUCT PROJECT TO ARCHITECT/ENGINEER DESIGNS. ANY AND ALL STRUCTURAL OR DESIGN CHANGES SHALL FIRST BE APPROVED BY ARCHITECT AND RESUBMITTED FOR PLAN REVIEW.
- PROVIDE BACK FLOW PREVENTION ON SEWER LATERAL.
- ALL WORK TO COMPLY WITH THE 2019 CA BUILDING CODE, 2019 RESIDENTIAL CODE, 2019 GMC, GPG, CGBSC, AND 2019 CALIFORNIA ENERGY CODE.
- STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION SHALL COMPLY WITH CG88C 4.108.2.
- PROVIDE DRAINAGE AROUND HOUSE, MIN. 6" FALL WITHIN THE FIRST 10'-0" AS PER CRC 401.3 AND GGBSC 4.108.103 #5.
- A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGED FOR REUSE IN ACCORDANCE WITH SECTIONS 4.408.2, 4.408.3 OR 4.408.4 OR LOCAL ORDINANCE (WHICHEVER IS STRICTER).
- PROPERTY SHALL BE IN COMPLIANCE WITH VEGETATION CLEARANCE REQUIREMENTS PER CRC327 1.5.

PARCEL MAP



ADDITION AND EXTERIOR REMODEL LOCATIONS



PROPOSED DOOR AND WINDOW SCHEDULE

DOOR SCHEDULE

MARK	QTY.	DOOR						GENERAL NOTES	LOCATION
		WIDTH	HEIGHT	TYPE	SWING	STYLE	MATL.		
101	1	3'-4"	6'-8"	HS	LH	SL	WD/GLS	5, 9	ENTRY - REPAIR
102	1	6'-0"	6'-8"	PD	--	SL	WOOD	8	(N) FAMILY ROOM
103	1	5'-0"	6'-8"	HD	RH/LH	1P	WD/GLS	8	(N) FAMILY ROOM
104	1	2'-4"	6'-8"	HS	RH	SL	WOOD	8	ENTRY CLOSET
105	1	2'-0"	6'-8"	HS	LH	SL	WOOD	8	HALL CLOSET
201	6	2'-6"	6'-8"	HS	RH	SL	WOOD	8	LAUNDRY, OFFICE, (N)BATHS, (N) BEDROOMS
202	1	2'-4"	5'-6"	HS	LH	SL	WOOD	8	(N) HALL CLOSET
203	1	4'-8"	5'-6"	HS	RH/LH	SL	WOOD	8	(N) HALL CLOSET
204	2	2'-6"	6'-8"	PS	--	1P	WD/GLS	TEMP	MASTER CLOSET

WINDOW SCHEDULE

MARK	QTY.	SIZE		TYPE	GLASS	SPECIAL REQTS.	GENERAL NOTES	LOCATION
		WIDTH	HEIGHT					
101	1	2'-6"	4'-6"	S. HUNG	SP	--	4, 11, 12	FAMILY ROOM
201	2	2'-6"	3'-6"	S. HUNG	SP	--	4, 12	OFFICE
202	1	2'-6"	3'-6"	S. HUNG	SP	TG	4, 11	NEW BATH
203	1	2'-0"	3'-0"	S. HUNG	SP	SG	4, 11, 12	SKYLIGHTS

*** NEW ELECTRICAL SHADES OVER EXISTING WINDOWS IN SOME ROOMS - VERIFY ON PLANS.

DOOR SCHEDULE LEGEND:

NOTE: ROUGH OPENING SIZES TO BE VERIFIED W/ MANUFACTURER

DOOR TYPES:

BD BIFOLD DOUBLE
 PS BIFOLD SINGLE
 CO CASED OPENING
 HD HINGED - DOUBLE
 HS HINGED - SINGLE
 MA MULLED TOGETHER ASSEMBLY
 OF OPERABLE SIDELITE W/SCREEN
 OS OVERHEAD SECTIONAL
 PD POCKET - DOUBLE
 PS POCKET - SINGLE
 SD SLIDING DOUBLE

DOOR STYLES:

SL SLAB
 SC SCREEN DOOR
 #P NUMBER OF PANELS
 FL FULL LITE
 TL THREE OTR. LITE
 HL HALF LIFE
 #L NUMBER OF LITES
 #U NUMBER OF UNITS
 IN MULLED ASSEMBLY
 #V NUMBER OF VENTS

GLAZING:

DP DOUBLE PANE
 T TEMPERED (CPC 2406)
 S SAFETY (CRC R208.4)
 O OBTSCURED
 F FROSTED
 W WIRED
 L LOW E
 FG PAINT GRADE
 SG STAIN GRADE
 FJ FINGER JOINT

GENERAL NOTES:

1 ACTIVE DOOR RIGHT FROM EXT.
 2 ACTIVE DOOR LEFT FROM EXT.
 3 TRANSOM MULLED TO UNIT
 4 SIDELITE MULLED TO UNIT
 5 WEATHER STRIPPING
 6 20 MINUTE FIRE DOOR (UPC 302.4.33)
 7 PHANTOM TYPE SCREEN
 8 NEW DOOR
 9 EXISTING DOOR
 10 RELOCATE/REUSE DOOR
 11 MINIMUM 1-3/8" SOLID CORE OR MIN. RATED WEATHER STRIPPED, SELF CLOSING AND SELF LATCHING.

WINDOW SCHEDULE LEGEND:

GLASS:

AC DOUBLE ACRYLIC DOME
 AG ARGON GAS
 DF DOUBLE PANE
 LE LOW E
 OB OBTSCURED
 TI TINTED

SPECIAL REQUIREMENTS:

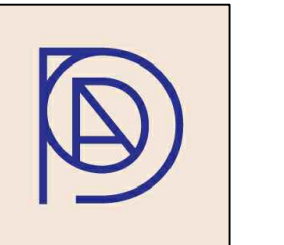
TG TEMPERED GLASS
 SG SAFETY GLASS
 EG EGRESS

GENERAL NOTES:

1 GLAD WHITE
 2 NAIL ON FIN
 3 RETROFIT
 4 EXTERIOR CASING
 5 INTERIOR PAINT GRADE
 6 WHITE SCREENS AND HARDWARE
 7 MULLED UNIT
 8 GRIDS
 9 ELECTRIC OPERATION
 10 MANUAL OPERATION W/ POLE
 11 ELECTRIC SHADE
 12 NEW TO MATCH EXISTING HOME
 13 EXISTING NOT TO CHANGE

NOTE GLAZING REQUIREMENTS: GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS .60" ABOVE THE FLOOR OR WALKING SURFACE.

REVISIONS	BY



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PROPOSED REMODEL TO:
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 ERIC AND LAUREN ALBERT
 725 UNIVERSITY AVENUE
 LOS ALTOS, CA 94022

408-460-8354

DRAWN BY: DANIELLE DIVITTORIO

CHECKED BY:

SCALE: 1/4" = 1'-0"

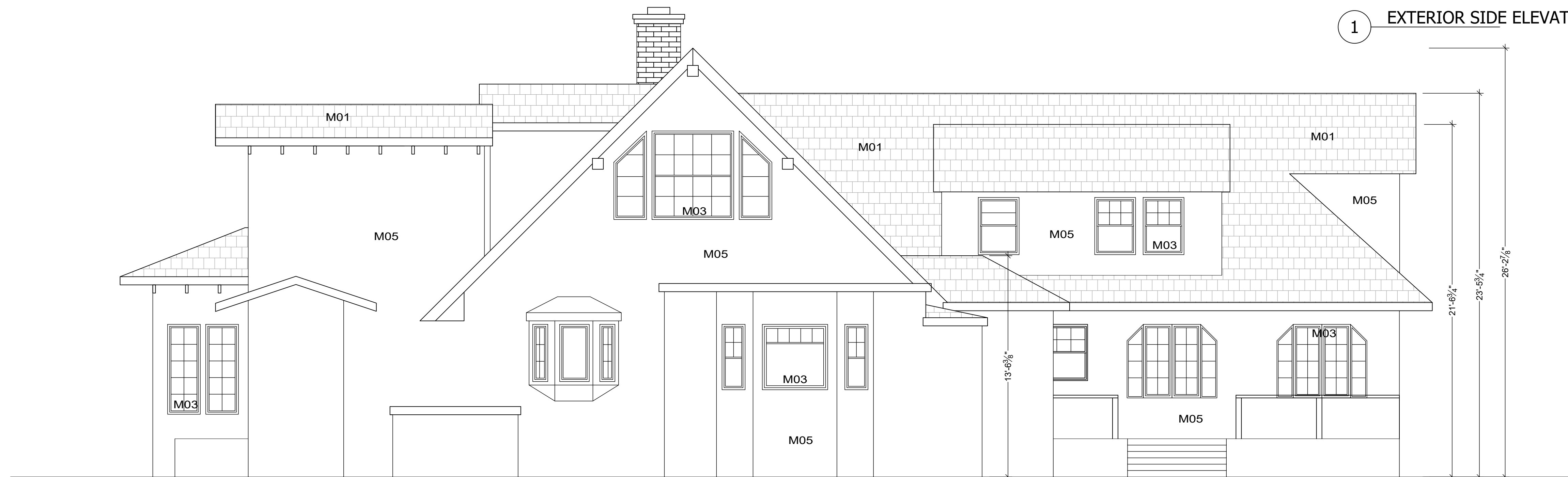
DATE: MAY 12, 2020

SHEET NO.

A1.5



1 EXTERIOR SIDE ELEVATION



2 INTERIOR SIDE ELEVATION

PLAN NOTES:

- A. WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD BASED SHEATHING, SHALL INCLUDE A WATER RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.5)
- B. PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM PACKING (R703.7.2)
- C. A MINIMUM 26 GA. GALVANIZED CORROSION RESISTANT WEEP SCREED WITH (R703.7.2.1)
1. A FINISH VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
2. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE EARTH OR 2 INCHES ABOVE PAVED AREA.

TREAD, RISER, HANDRAIL SPECS:
 HAND RAILS SHALL BE 34" TO 38" ABOVE THE NOSING OF TREADS. ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/4" BETWEEN THE WALL AND THE HANDRAIL.
 HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" IN CROSS SECTIONAL DIMENSIONS AND SHALL HAVE A SMOOTH GRIPPING SURFACE WITH NO SHARP CORNERS. SEE THE ABOVE MENTIONED CODE CHAPTER FOR ADDITIONAL INFORMATION REGARDING HANDRAIL REQUIREMENTS.

36" DEEP LANDING AS REQUIRED; 4" MIN. 7 3/4" MAX STEP DOWN FOR INSWING AND SLIDING DOORS; SLOPE 2% AWAY FROM HOUSE

ALL STAIRWAYS TO BE MIN. 36" WIDE FOR RISE, RUN HANDRAIL AND GUARDRAIL REQUIREMENTS.

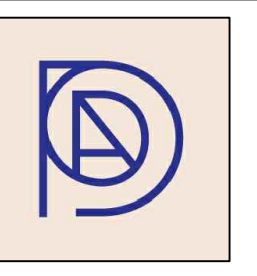
KEY

- FOUNDATION VENTS
- COMPOSITION ROOF
- EXISTING SHINGLE SIDING
- EXISTING FIREPLACE BRICK
- ATTIC VENT AT GABLE

MARK	GENERAL			FINISH COLOR	GENERAL NOTES	LOCATION
	MATERIAL	TYPE	MANUF.			
M01	COMP	COMPOSITION ROOF	TBD	CHARCOAL	SURFACE MATERIAL REPLACE	ROOFING
M02	VINYL	GUTTER	EXISTING	WHITE	REMAINS AS IS	ROOF GUTTERS
M03	WOOD/GLASS	WINDOW	EXISTING	WHITE	GLAZING CODES NOTED	ALL WINDOWS
M04	WOOD/GLASS	DOORS	EXISTING	WHITE	SIMILAR STYLE THROUGHOUT	DOORS
M05	WOOD	SHINGLES	EXISTING	GRAY - EXISTING		EXTERIOR WALLS
M06	WOOD	VERTICAL SIDING	EXISTING	GRAY - EXISTING		EXTERIOR WALLS
M07	WOOD	(N) WOOD SHINGLES	TBD	PROPOSED GRAY	"GOLDTONE" BENJAMIN MOORE	EXTERIOR
M08	WOOD	(N) WOOD SHINGLES	TBD	PROPOSED GRAY	"GOLDTONE" BENJAMIN MOORE	EXTERIOR
M09	WOOD	(N) WOOD SHINGLES	TBD	PROPOSED GRAY	"GOLDTONE" BENJAMIN MOORE	EXTERIOR

EXISTING ELEVATIONS

REVISIONS	BY



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DRAWN BY: DANIELLE DIVITTORIO

CHECKED BY:

SCALE: 1/4" = 1'-0"

DATE: MAY 12, 2020

SHEET NO. **A1.9**

LIGHT FIXTURE NOTES:

- ALL LIGHTING TO BE HIGH EFFICACY (ie pin based CFL, pulse-start MH, HPS, GU-24 sockets other than LEDs, LED luminaires with integral source)
- SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW BASED JAB (JOINT APPENDIX B) COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2016 OR "JAB-2016-E"
- JAB-2016-E LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES.
- THE FOLLOWING LOCATIONS TO HAVE JAB COMPLIANT LIGHT SOURCES, CONTROLLED BY VACANCY SENSORS OR DIMMERS (exception closets less than 70SF and hallways):
 - CEILING RECESSED DOWNLIGHT LUMINAIRES
 - LED LUMINAIRES WITH INTEGRAL SOURCES
 - PIN-BASED LED LAMPS
 - GU-24 BASED LED LIGHT SOURCES
- ONE FIXTURE IN BATHROOM TO BE CONTROLLED BY VACANCY SENSOR.
- EXHAUST FANS SWITCHED SEPARATE FROM LIGHTING.
- OUTDOOR LIGHTING AS HIGH EFFICACY WITH MANUAL ON/OFF SWITCH AND PHOTOCONTROL AND MOTION SENSOR.
- ** COMPLETED CF2R-LTG-01-E FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

ELECTRICAL NOTES:

- TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MIN. OF 3 FT. FROM ANY OPENINGS INTO THE BUILDING. (DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FT AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS.)
- NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FOOD-LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER.
- MINIMUM TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLY WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, DINING SPACE, OR SIMILAR AREAS. Note: these circuits cannot serve outside plugs, range hood, disposals, dishwashers, or microwaves -- only the required countertop/wall outlets including the refrigerator.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT kitchens, family rooms, dining rooms, living rooms, bedrooms, sunrooms, closets, hallways, laundry areas or similar rooms SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT.

PROJECT ELECTRICAL NOTES:

- NEW ELECTRIC SHADES/CURTAINS IN LEVEL 1 GUEST ROOM, LIVING ROOM, DINING ROOM AND BREAKFAST ROOM

ELECTRICAL LEGEND

Ⓢ	SWITCH
Ⓢ ^{DIM}	DIMMER SWITCH
Ⓢ ^{3/4}	3 AND 4 WAY SWITCH
Ⓢ [⊕]	ARC FAULT CIRCUIT INTERRUPTER RECEPTACLE OUTLET
Ⓢ [⊖]	DEDICATED CIRCUIT
Ⓢ ^{⊕⊖}	ARC FAULT DOUBLE DUPLEX RECEPTACLE OUTLET
Ⓢ ^{WP}	WATERPROOF DUPLEX RECEPTACLE OUTLET
Ⓢ ^{GFI}	GROUND FAULT INTERRUPTER RECEPTACLE OUTLET
Ⓢ ^U	ARC FAULT CIRCUIT INTERRUPTER RECEPTACLE OUTLET W/ USB
Ⓢ [⊕]	SURFACE MOUNTED LED LIGHT FIXTURE
Ⓢ [⊖]	PENDANT LOW VOLTAGE LIGHT FIXTURE
Ⓢ ^{⊕⊖}	RECESSED LED LIGHT FIXTURE
Ⓢ [⊕]	VENTILATION FAN
Ⓢ [⊕]	CEILING FAN WITH LED LIGHT FIXTURE
Ⓢ [⊕]	SMOKE DETECTOR 110V W/ 10 YEAR BATTERY BACK UP AND INTERCONNECTED
Ⓢ [⊕]	CARBON MONOXIDE /SMOKE DETECTOR 110V W/ 10-YEAR BATTERY BACK UP

REVISIONS	BY



DI VITTORIO
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PROPOSED REMODEL TO:
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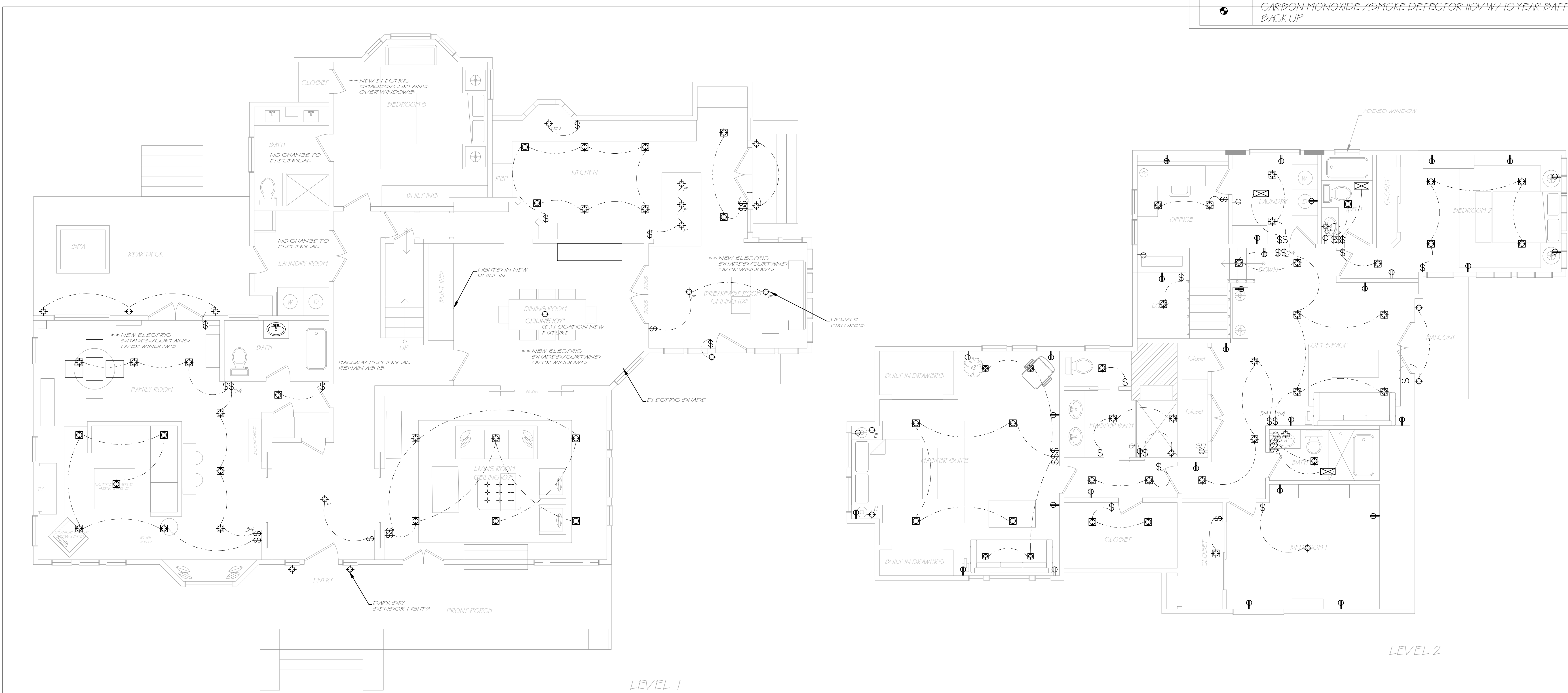
DRAWN BY: DANIELLE DIVITTORIO

CHECKED BY:

SCALE: 1/4" = 10"

DATE: MAY 12, 2020

SHEET NO. **E1**



PROPOSED ELECTRICAL PLAN

