

TWO STORY DESIGN REVIEW PACKAGE

MIHALIC RESIDENCE

645 LOS NINOS WAY LOS ALTOS 94022

PROJECT CONSISTS OF A NEW TWO STORY HOME WITH A PARTIAL BASEMENT AND LIGHTWELL

PROJECT DESCRIPTION 1

OWNERS:
KRIS & BRENDA MIHALIC
645 LOS NINOS WAY
LOS ALTOS CA 94022
kris@mihalic.info
415-615-2571

ARCHITECT/ APPLICANT:
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360 DESIGN STUDIO
1491 BEN ROE DRIVE
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CIVIL CONSULTANT:
SMP ENGINEERS
1534 CAROB LANE
LOS ALTOS, CA 94024
650-941-8055
srazavi@smpengineers.com

LANDSCAPE ARCHITECT:
JENNA BAYER GARDEN DESIGN
JENNA BAYER
1952 OLD MIDDLEFIELD WAY
MOUNTAIN VIEW, CA 94043
650-988-9600

PROJECT DIRECTORY 2

- A0 COVER SHEET
- A1.1 PROPOSED SITE PLAN
- A1.2 AREA CALCULATION DIAGRAM
- A2.1 PROPOSED GROUND FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
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- A3.1 PROPOSED FRONT AND REAR ELEVATIONS
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- L2 TREE PROTECTION PLAN
- T1 SITE SURVEY MAP
- C1 GRADING AND DRAINAGE PLAN
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- C3 GRADING AND DRAINAGE PLAN
- C4 GRADING AND DRAINAGE PLAN

SHEET INDEX 3

645 Los Ninos Way
Los Altos CA 94022

APN:
ZONE : R1-10
Lot size: 10,202 SF

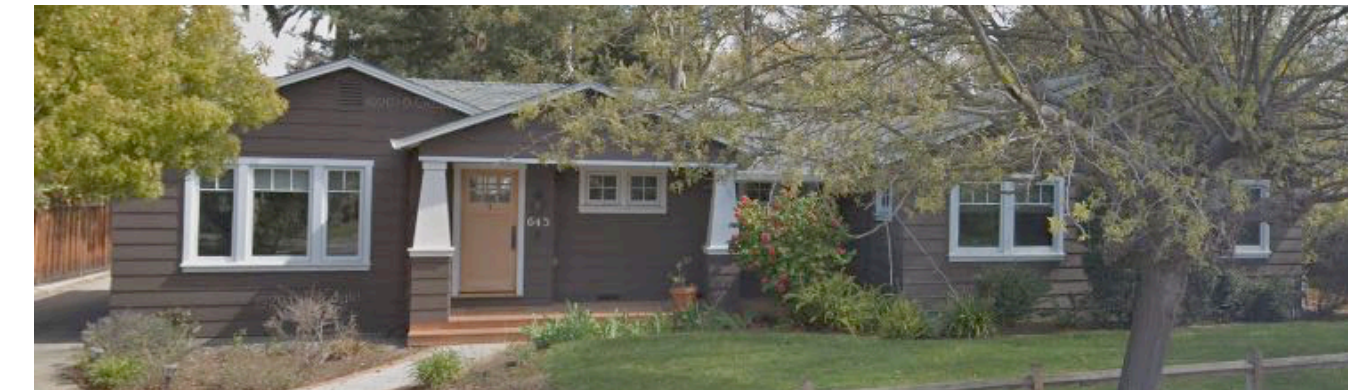
PROPOSED ADDITION:
GROUND FLOOR AREA: 1,958 SF
SECOND FLOOR AREA: 1,125 SF
BASEMENT FLOOR AREA: 1,051 SF
GARAGE: 455 SF
COVERED PORCH: 593 SF
CHIMNEY: 8 SF

EXISTING HOUSE TO BE REMOVED:
GROUND FLOOR: 1,762 SF
GARAGE: 636 SF
COVERED PORCH: 125 SF

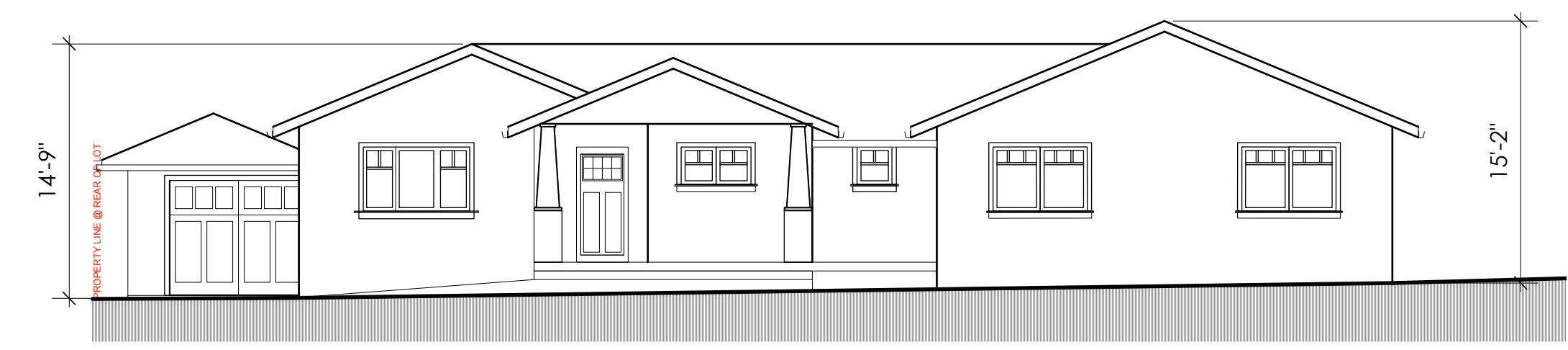
GENERAL PROJECT INFORMATION 4

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
Lot Coverage:	2,523 SF (24.7%)	3,014 SF (29.5%)	3,060 SF (29.9%)
Floor Area:	2,398 SF (23.5%)	3,538 SF (34.7%)	3,571 SF (35%)
Setbacks:			
Front	25 FT	25 FT	25 FT
Rear	60'-2"	32'-10"	25 FT
Right Side (1st / 2nd)	11'-11"	10'-5" / 21'-3"	10'/17'-6"
Left Side (1st / 2nd)	10'-0"	10' / 18'-9"	10'/17'-6"
Height:	+/- 15'-0"	25'-8"	27'-0"
SQUARE FOOTAGE BREAKDOWN			
	Existing	Change in	Total Proposed
Habitable Living Area	1,736 SF	+ 2,398 SF	4,134 SF
Non-Habitable Floor area	636 SF	-181 SF	455 SF
LOT CALCULATIONS			
Net Lot Area:	10,202 SF		
Front Yard Area Total	2,126 SF		
Front Yard Hardscape area	783 SF (36.83%)		
Landscaping breakdown			
	Total Hardscape area (e. and propo:		6446 SF
	Existing Softscape (undisturbed) an		0
	New Softscape area:		3756 SF

PROJECT SUMMARY TABLE 5



645 LOS NINOS WAY EXISTING FRONT FACADE



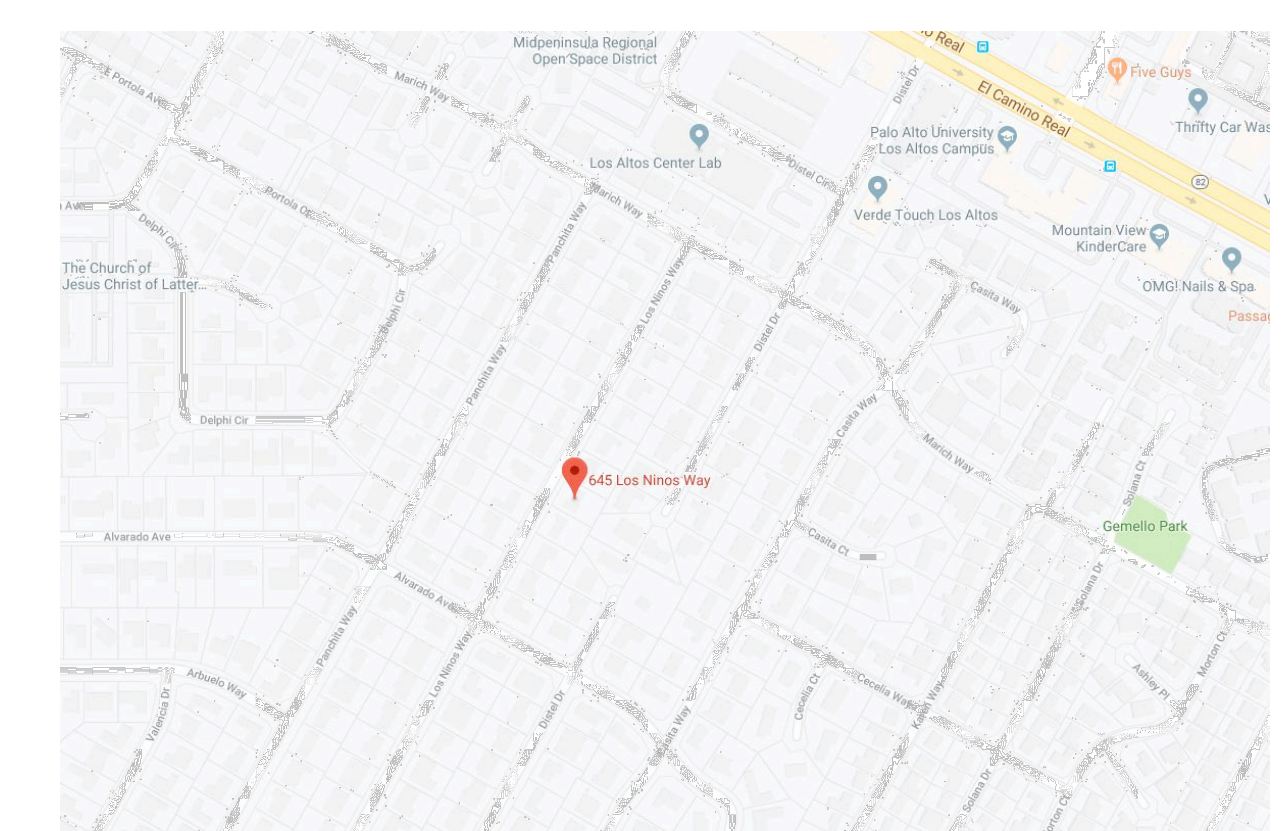
EXISTING FRONT ELEVATION (TO BE DEMOLISHED) 6



648 DISTREL DRIVE



657 LOS NINOS WAY



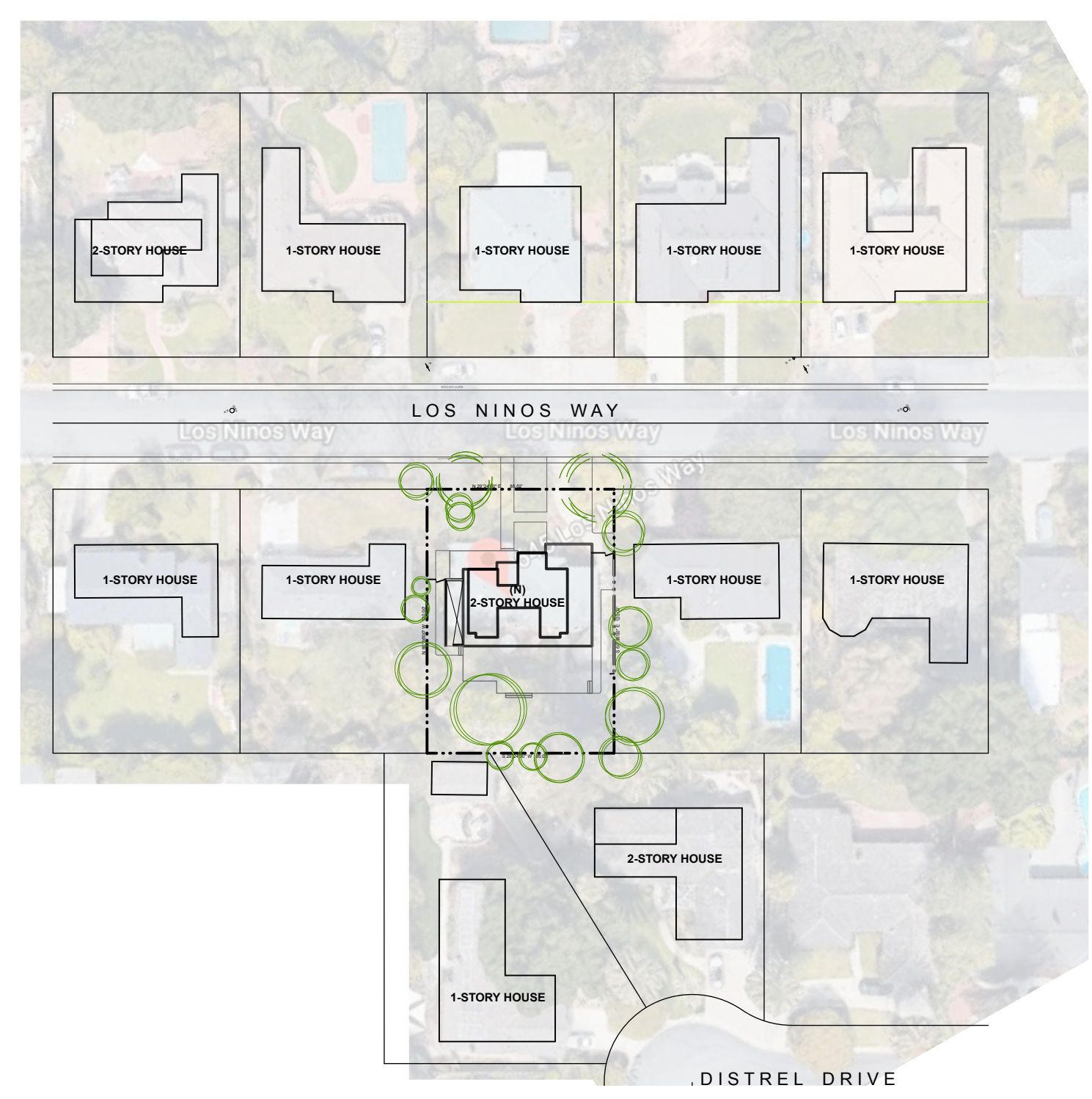
VICINITY MAP 7



638 LOS NINOS WAY



650 LOS NINOS WAY



NEIGHBORHOOD CONTEXT MAP 8



633 LOS NINOS WAY



674 LOS NINOS WAY



626 LOS NINOS WAY



668 LOS NINOS WAY



621 LOS NINOS WAY



662 LOS NINOS WAY

NEIGHBORHOOD PHOTOS 9

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SHEET:
COVER SHEET

REVISIONS:
PLAN CHECK REV 08/22/19

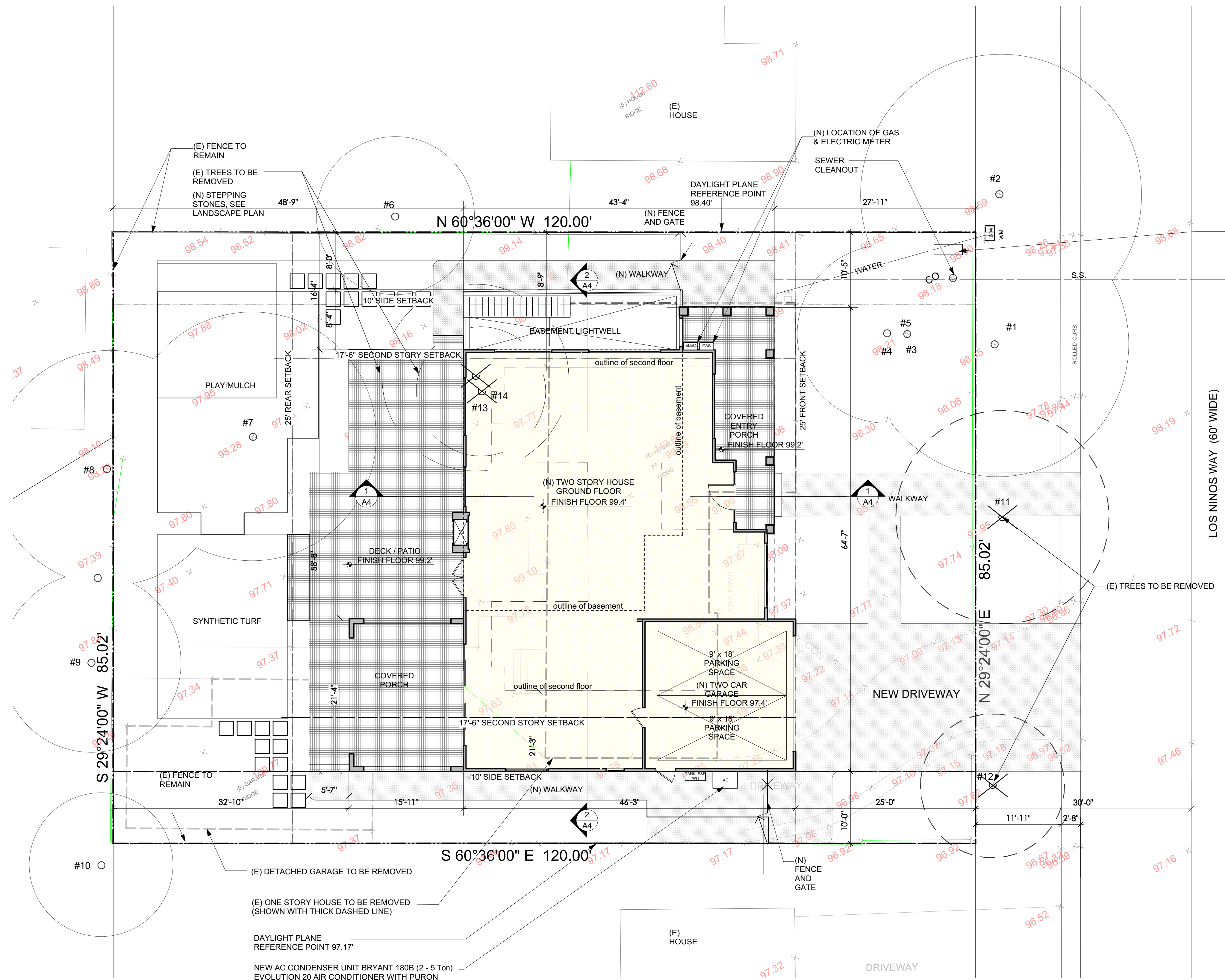
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07/18/2019

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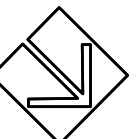
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BACKFLOW PREVENTER TO BE INSTALLED ON PROPERTY ADJACENT TO THE POINT OF SERVICE WITHIN 5 FEET OF THE PROPERTY LINE AND BE READILY ACCESSIBLE FOR TESTING AND MAINTENANCE. PROVIDE HEDGING / PLANTS TO SCREEN THE DEVICE. SEE LANDSCAPE PLAN.

LOS NINOS WAY (60' WIDE)



PROPOSED SITE PLAN
Scale: 1/8" = 1'-0" 1

(E) DETACHED GARAGE TO BE REMOVED
(E) ONE STORY HOUSE TO BE REMOVED (SHOWN WITH THICK DASHED LINE)
DAYLIGHT PLANE REFERENCE POINT 97.17'
NEW AC CONDENSER UNIT BRYANT 180B (2 - 5 Ton) EVOLUTION 20 AIR CONDITIONER WITH PURON REFRIGERANT WITH 66 DBA RATING OR SIMILAR, SOUND RATING TO COMPLY WITH CITY OF LOS ALTOS REQUIREMENTS.

SEE LANDSCAPE DRAWINGS FOR EXISTING AND PROPOSED PAVING & HARDSCAPE CALCULATIONS
SEE ARBORIST REPORT & LANDSCAPE PLAN FOR TREE IDENTIFICATION AND PROTECTION INFORMATION
SEE CIVIL GRADING & DRAINAGE PLAN

ID	LATIN NAME	COMMON NAME	DBH	TPZ	HERITAGE	NOTES
1	Cinnamomum camphora	Camphor	1'0"	44'0"		to remain
2	Cinnamomum camphora	Camphor	2'0"	50'0"		to remain
3	Betula papyrifera	Birch	1'0"	30'0"		to remain
4	Betula papyrifera	Birch	1'0"	24'0"		to remain
5	Betula papyrifera	Birch	1'0"	36'0"		to remain
6	Ligustrum vulgare	Privet	1'0"	22'0"		on neighbor's property
7	Liquidambar styraciflua	Sweetgum	1'4"	48'0"		to remain
8	Sequoia sempervirens	Redwood	2'0"	54'0"		on neighbor's property
9	Robinia pseudoacacia	Black locust	2'4"	30'0"		on neighbor's property
10	Phoenix dactylifera	Date Palm	1'4"	20'0"		on neighbor's property
11	Morus alba	Fruitless Mulberry	1'0"	36'0"		proposed to be removed
12	Cinnamomum camphora	Camphor	1'3"	46'0"		proposed to be removed
13	Betula papyrifera	Birch	1'0"	18'0"		proposed to be removed
14	Betula papyrifera	Birch	1'0"	26'0"		proposed to be removed

TREE CHART
Scale: 1/8" = 1'-0" 2

SHEET:
PROPOSED SITE PLAN

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DATE:
07/18/2019

FILE:

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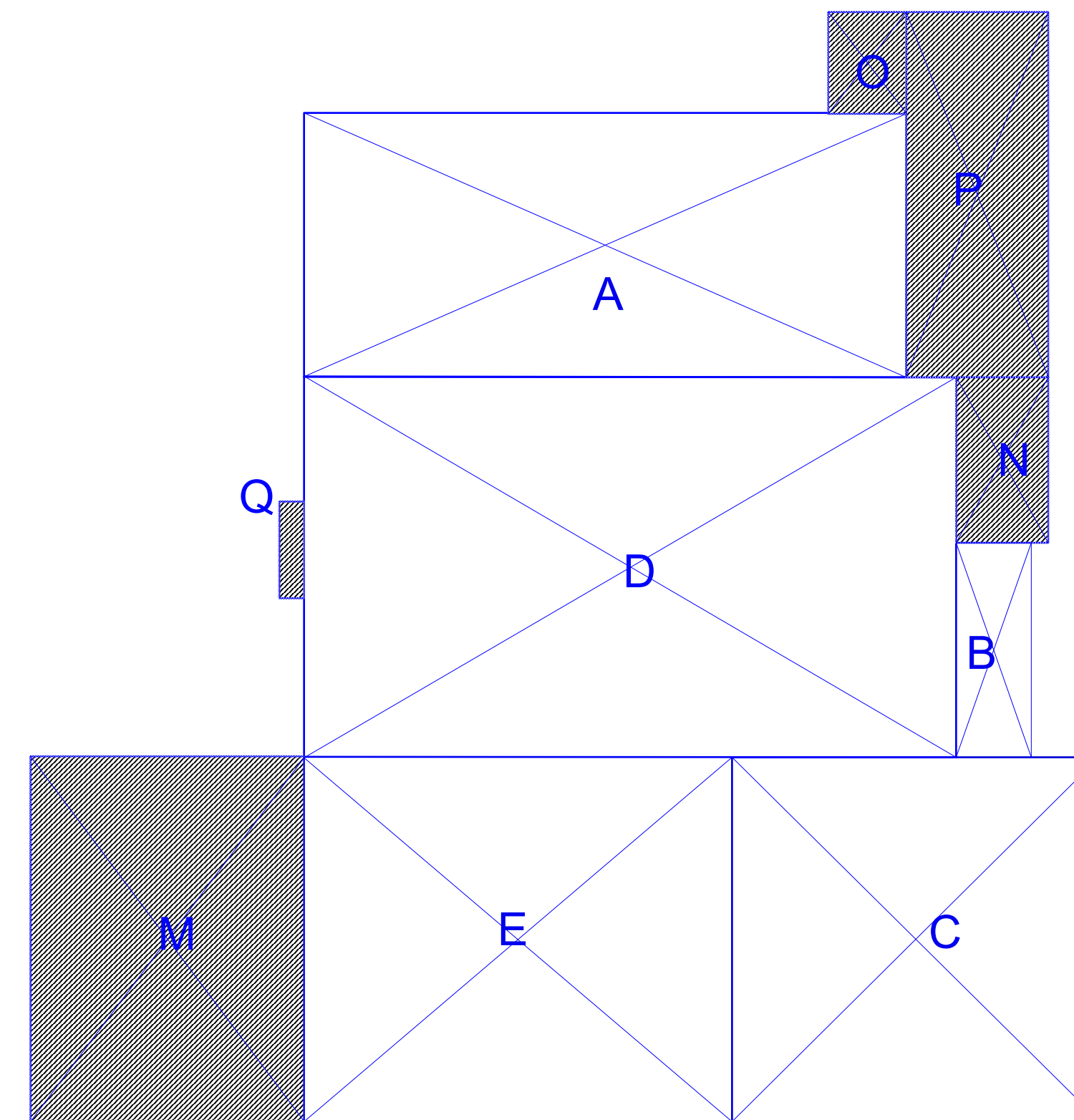
A1.1

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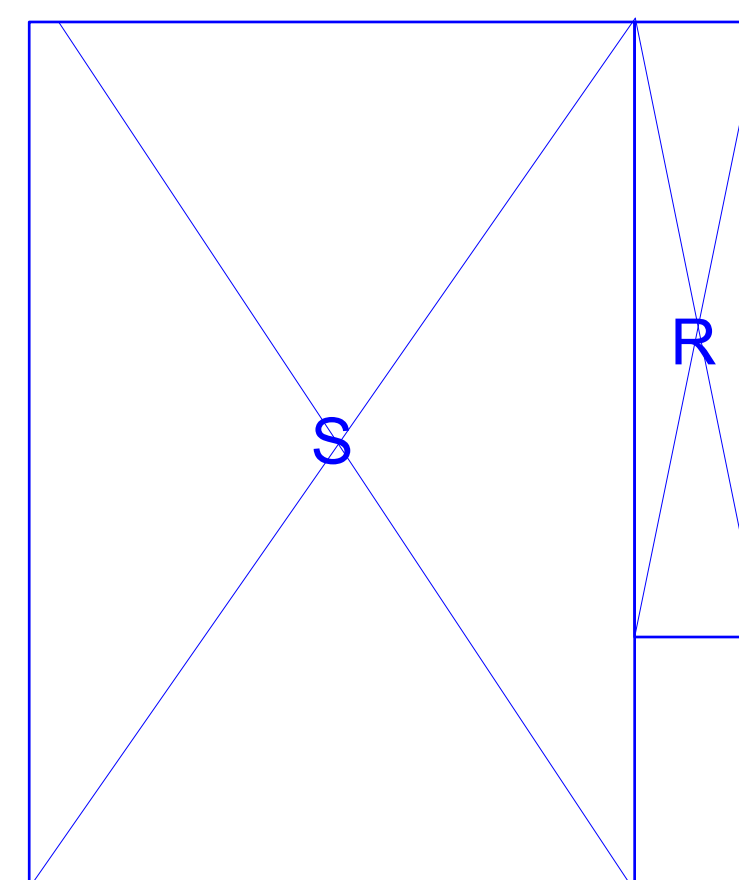


Section	Dimensions	Area (SF)
Summery Table		
GROUND FLOOR		
A	15'-4" x 35'-0"	537
B	12'-4" x 4'-5"	55
C	21'-3" x 21'-5"	455
D	22'-1" x 37'-11"	837
E	21'-3" x 24'-11"	529
First Story Subtotal =		2,413
SECOND FLOOR		
F	9'-1" x 1'-10"	17
G	9'-11" x 1'-10"	18
H	19'-3" x 10'-3"	197
I	12'-11" x 14'-10"	190
J	13'-4" x 29'-3"	390
K	9'-7" x 29'-3"	280
L	2'-10" x 11'-6"	33
Second Story Subtotal =		1,125
TOTAL FLOOR AREA =		3,538
Lot Coverage		
M	21'-3" x 15'-11"	338
N	9'-8" x 5'-3"	51
O	5'-11" x 4'-11"	29
P	21'-3" x 8'-3"	175
Q	5'-7" x 1'-6"	8
Lot Coverage Subtotal		601
TOTAL LOT COVERAGE =		3,014
BASEMENT		
R	25'-0" x 5'-3"	135
S	36'-3" x 25'-3"	915
Basement Subtotal =		1,051

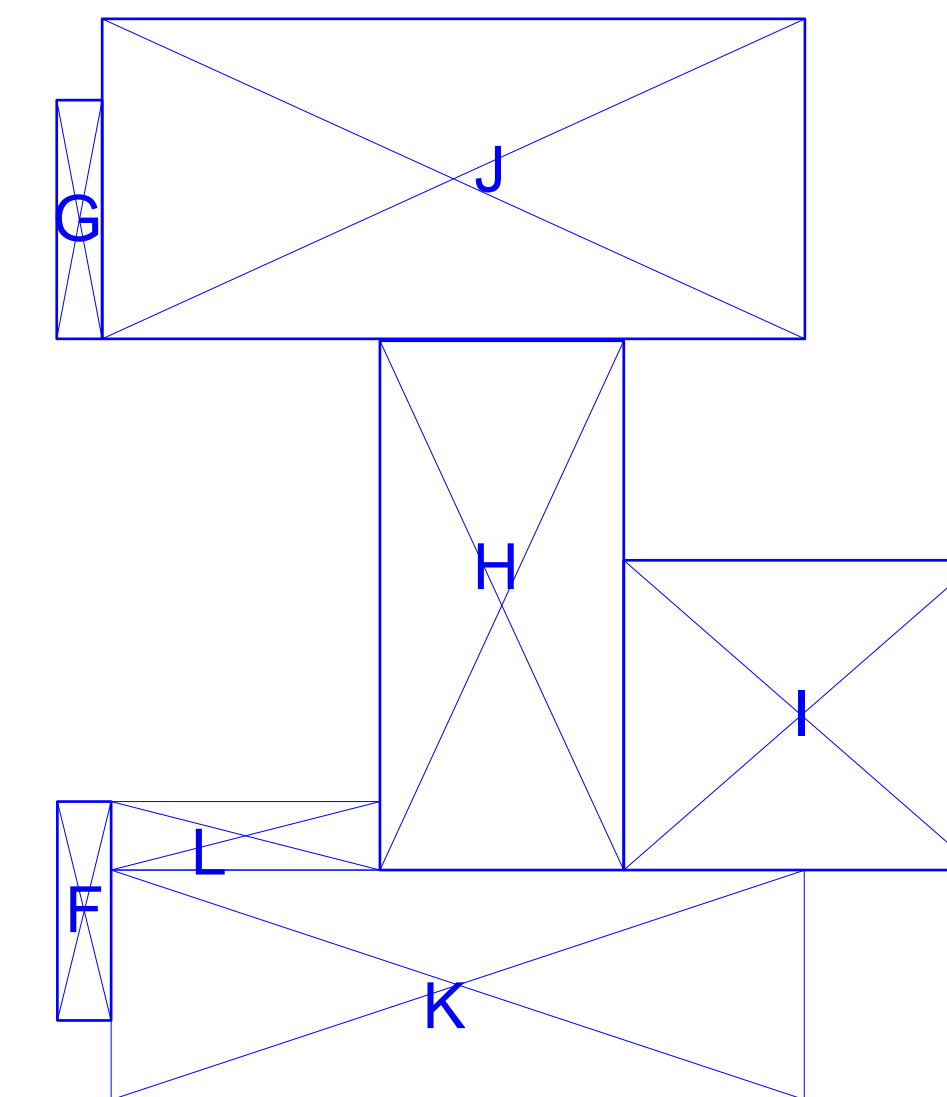
FLOOR AREA CALCULATION TABLE 3



FLOOR AREA CALCULATION DIAGRAM - GROUND FLOOR 1



FLOOR AREA CALCULATION DIAGRAM - PARTIAL BASEMENT 4



FLOOR AREA CALCULATION DIAGRAM - SECOND FLOOR 2

SHEET:
FLOOR AREA
CALCULATION
DIAGRAM

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FILE:

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A1.2

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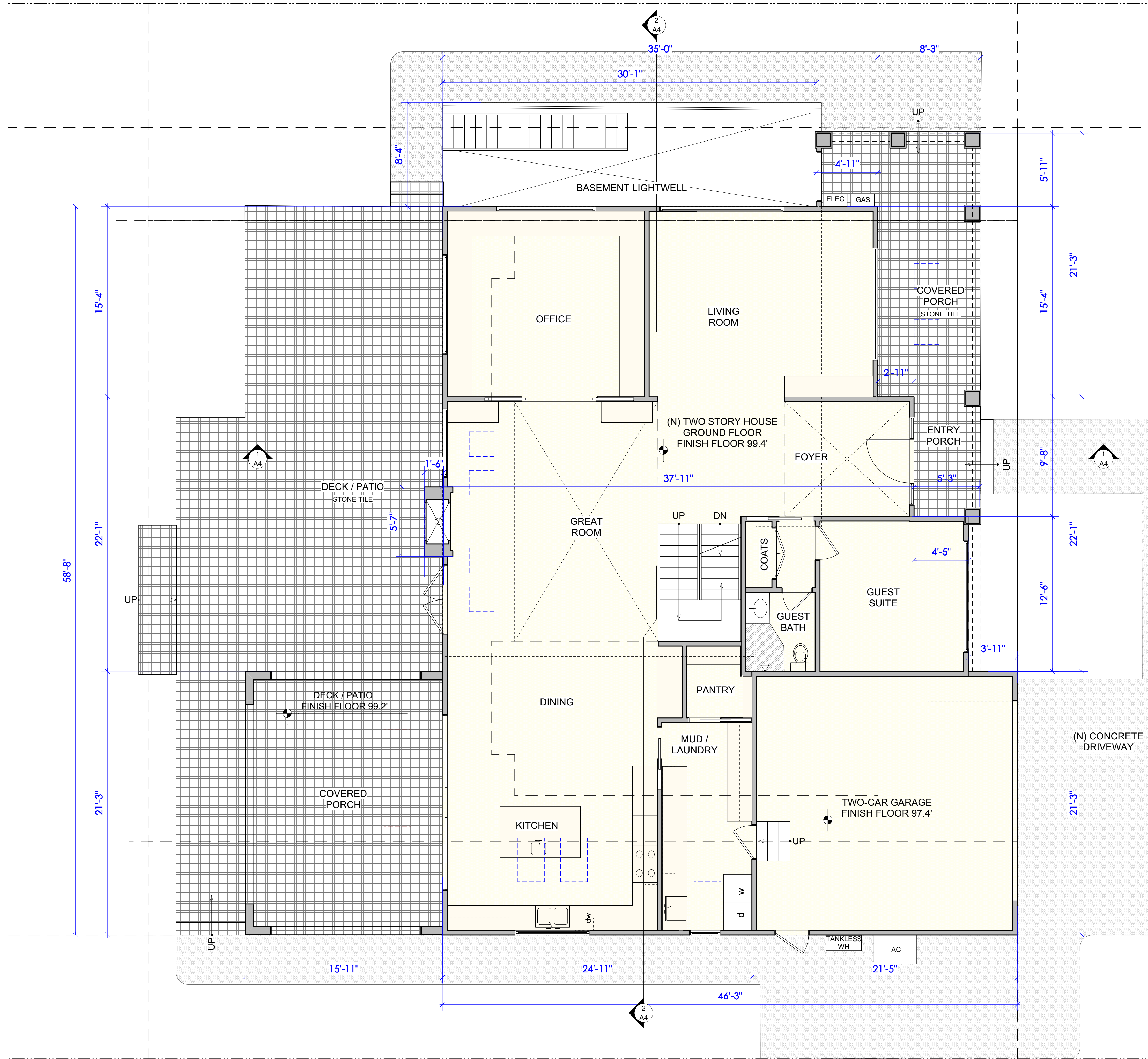
SHEET:
GROUND FLOOR PLAN

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DATE:
07/18/2019
FILE:

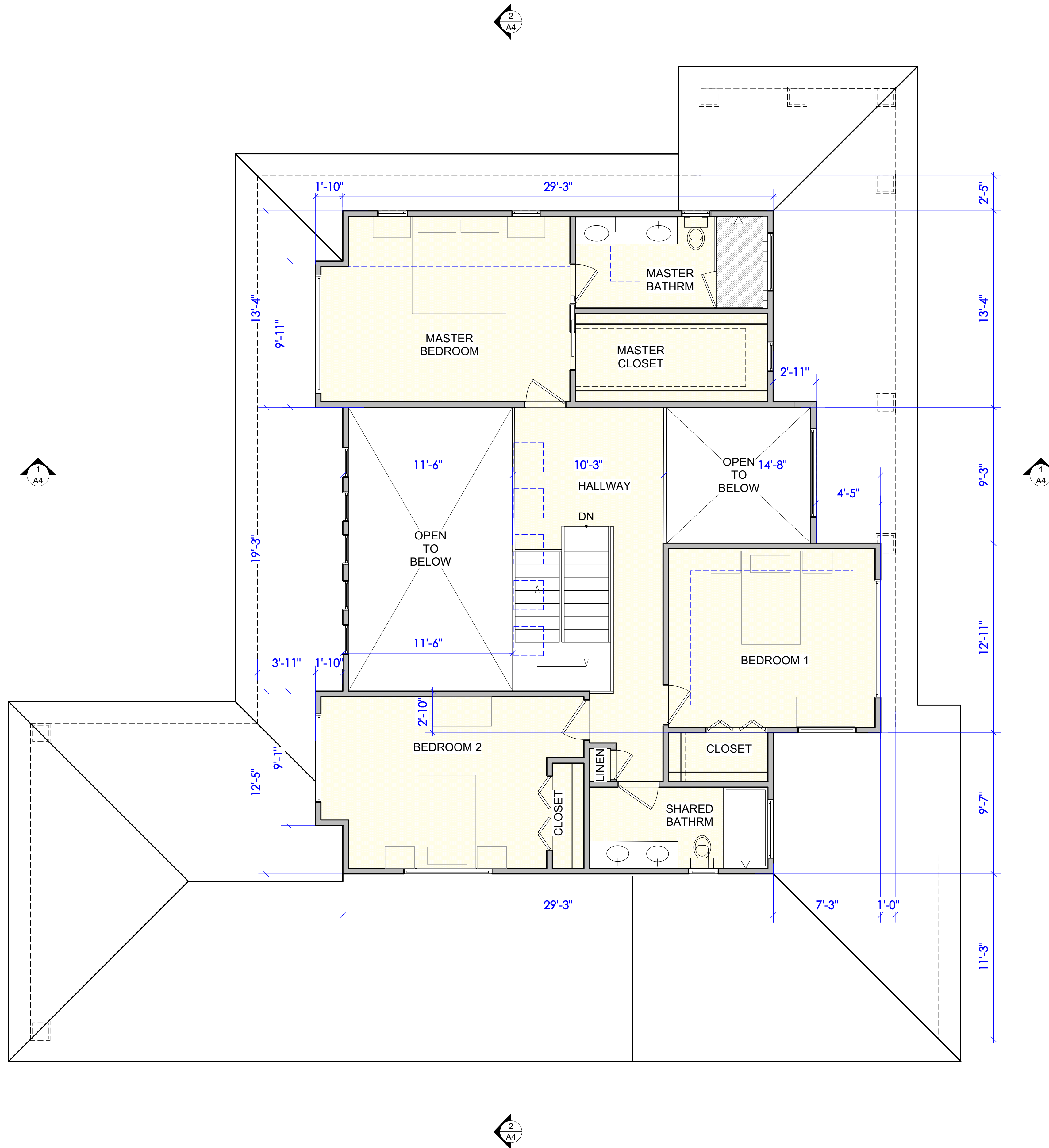
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A2.1



GROUND FLOOR PLAN
Scale: 1/4" = 1'-0" 1

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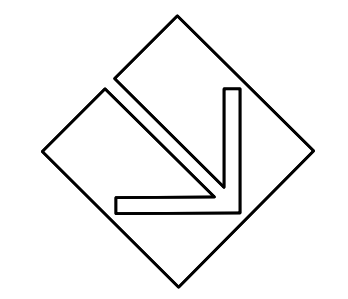


SHEET:
SECOND FLOOR PLAN

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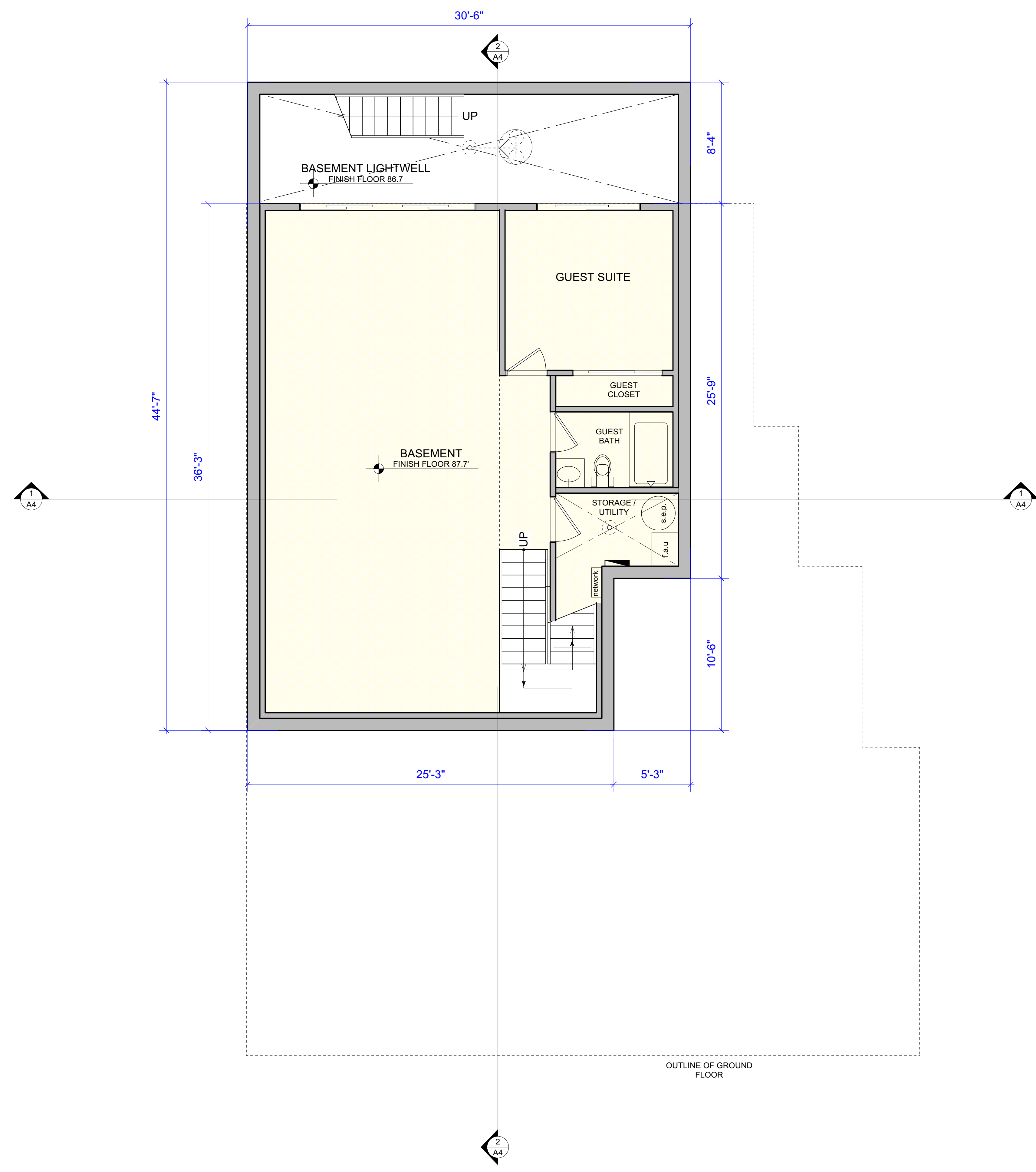
SHEET:
BASEMENT FLOOR PLAN

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07/18/2019
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A2.3





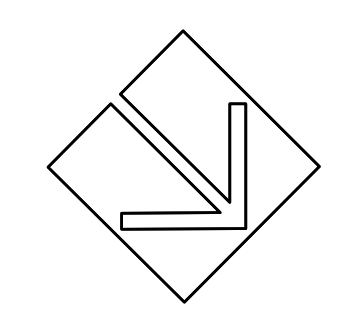
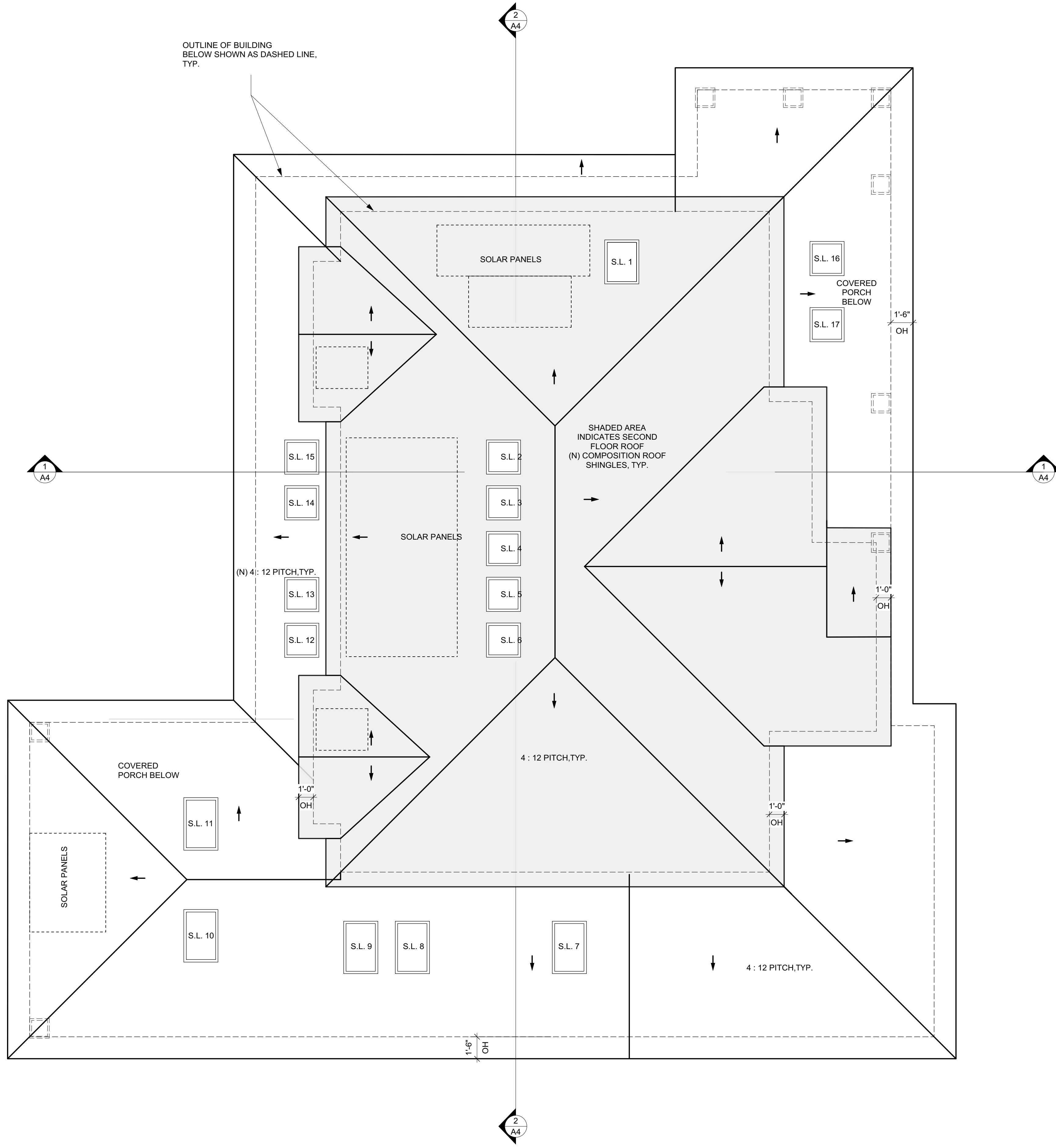
SHEET:
PROPOSED ROOF
PLAN

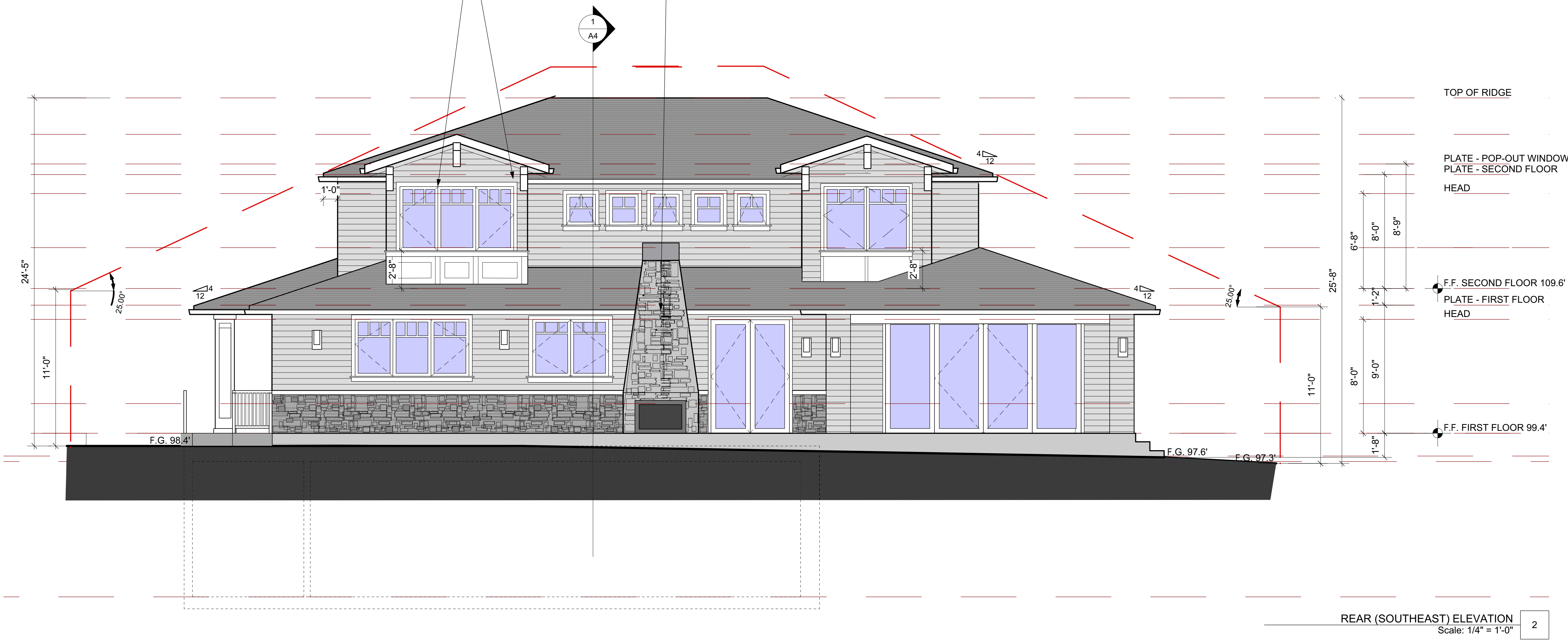
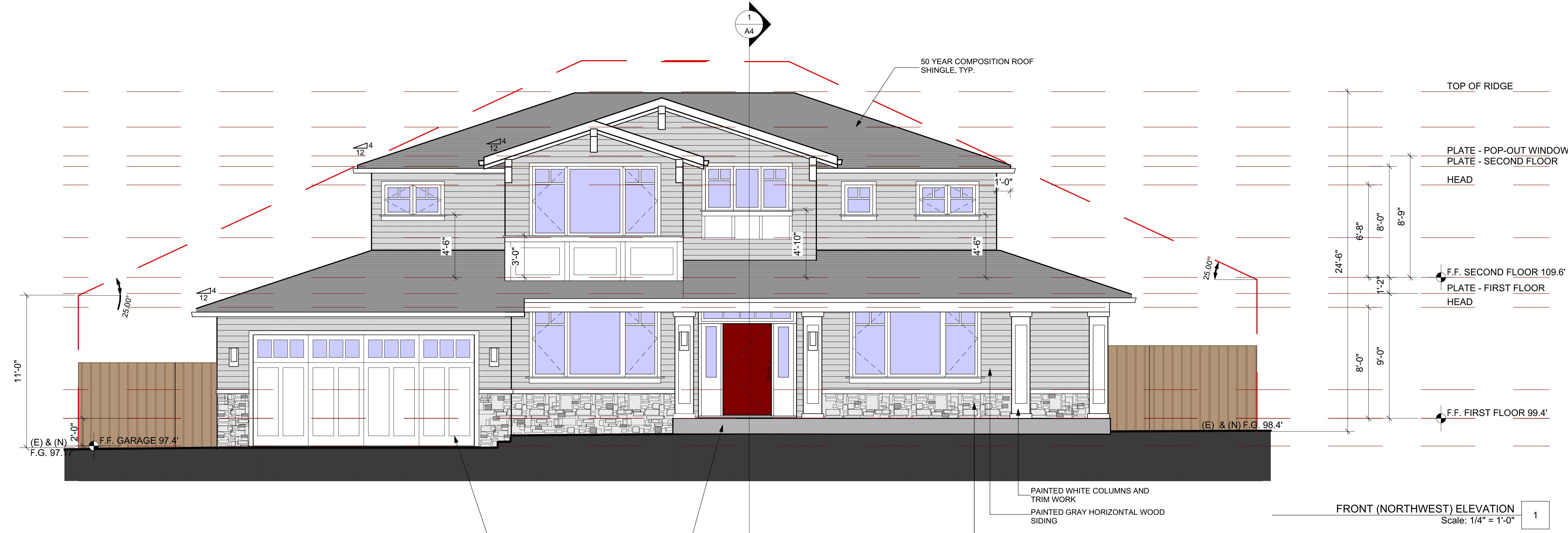
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FILE:

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A2.4





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SHEET:
FRONT & REAR ELEVATIONS

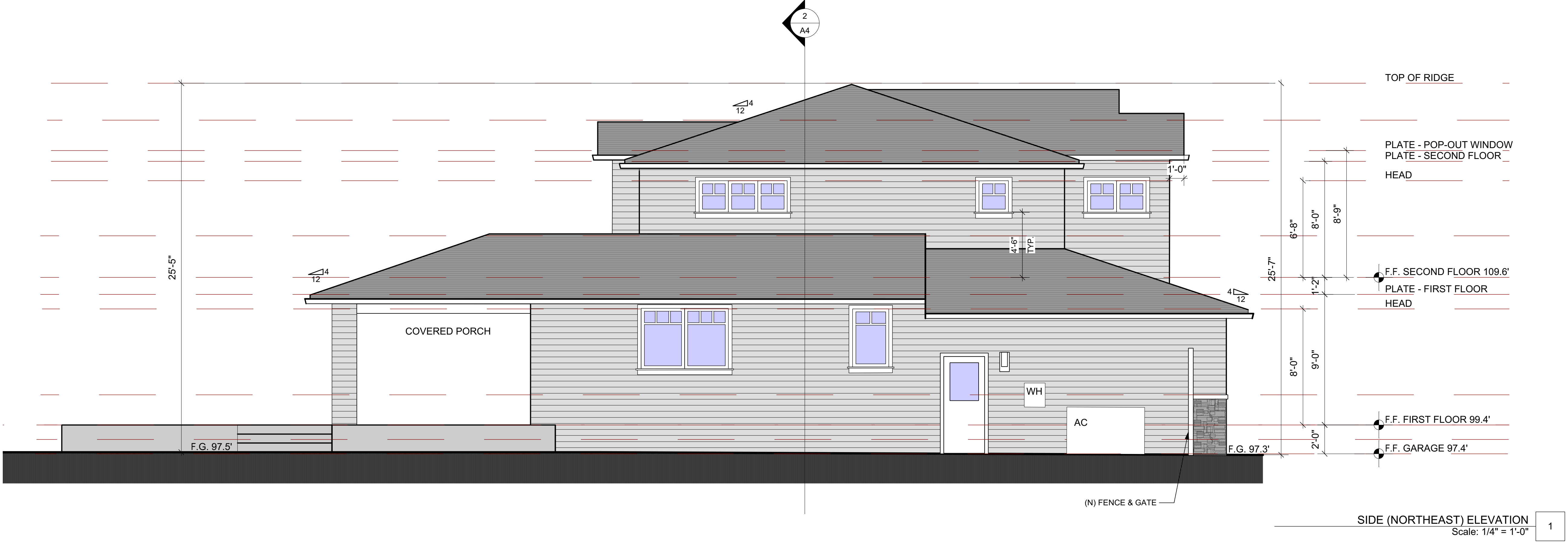
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DATE:
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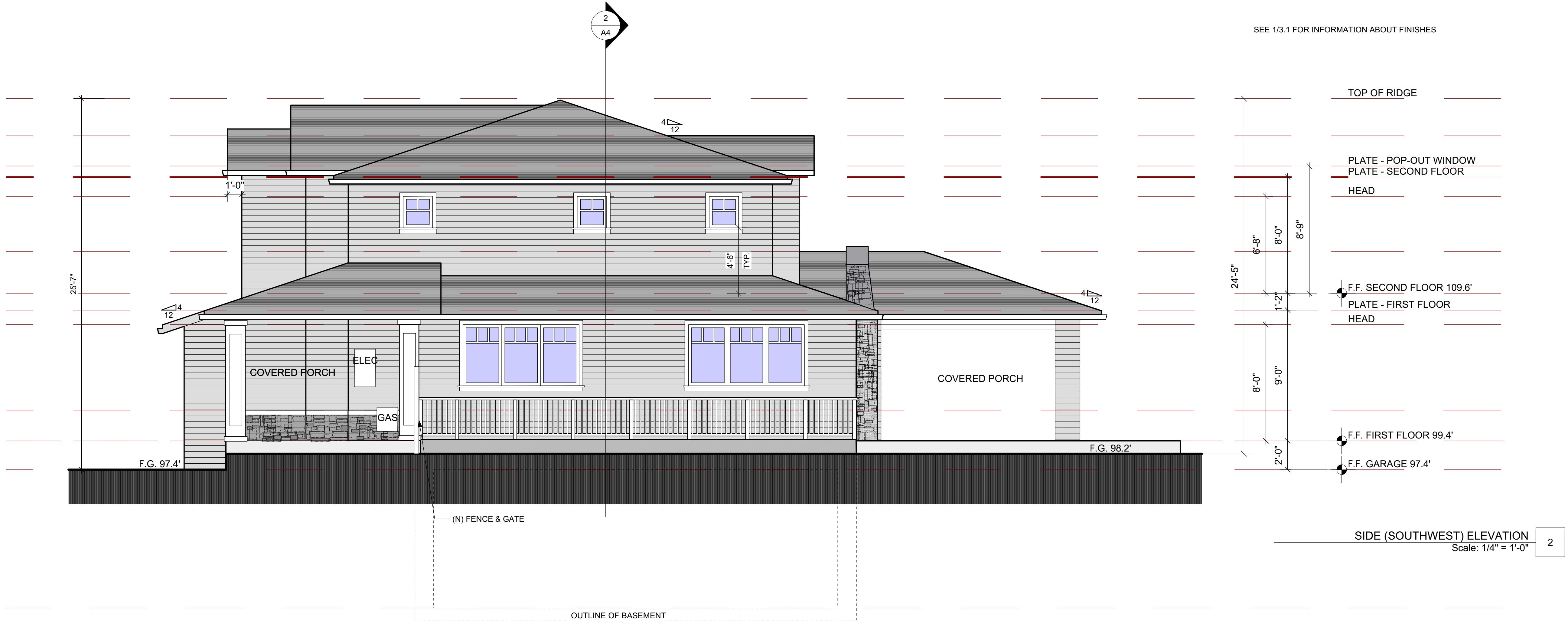
DESIGN REVIEW SUBMITTAL - REV1

A3.1



SIDE (NORTHEAST) ELEVATION
 Scale: 1/4" = 1'-0" 1

SEE 1/3.1 FOR INFORMATION ABOUT FINISHES



SIDE (SOUTHWEST) ELEVATION
 Scale: 1/4" = 1'-0" 2

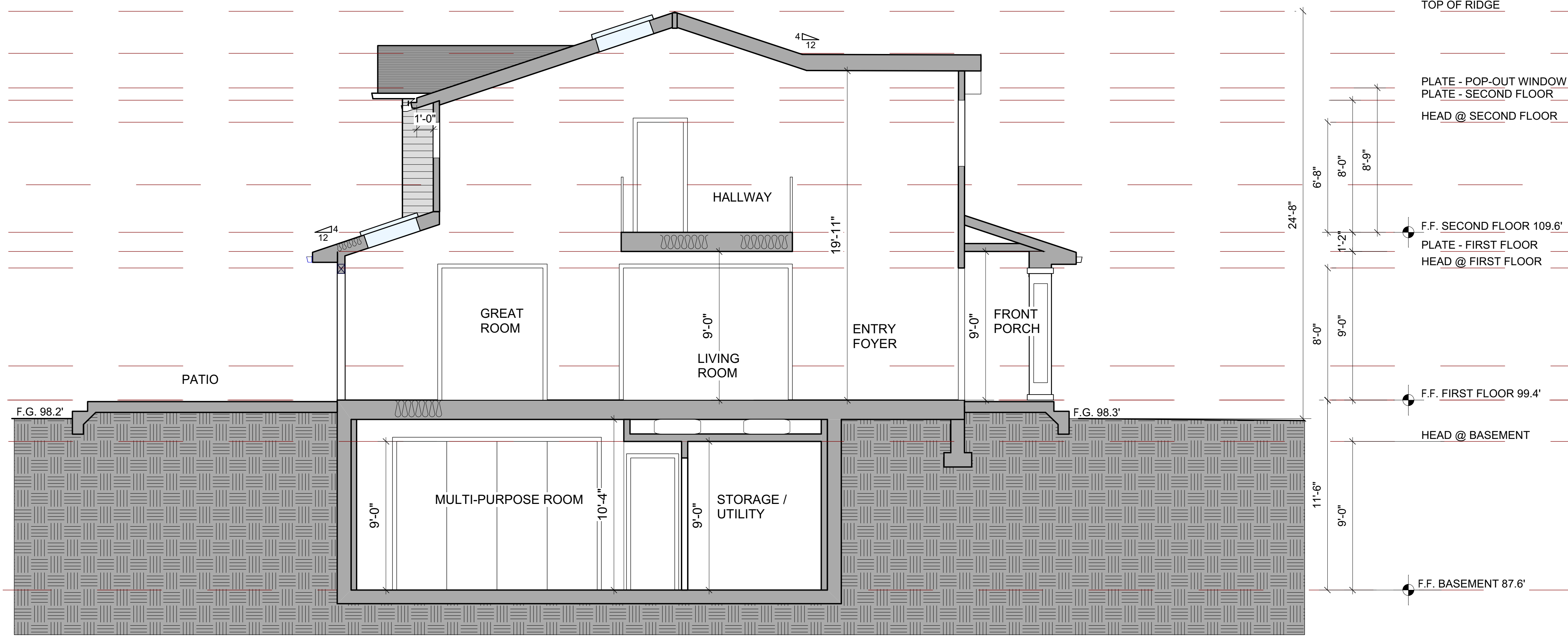
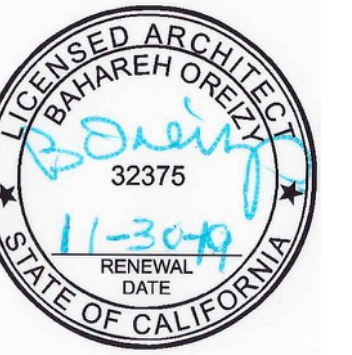
SHEET:
 SIDE
 ELEVATIONS

REVISIONS:
 PLAN CHECK REV 08/22/19

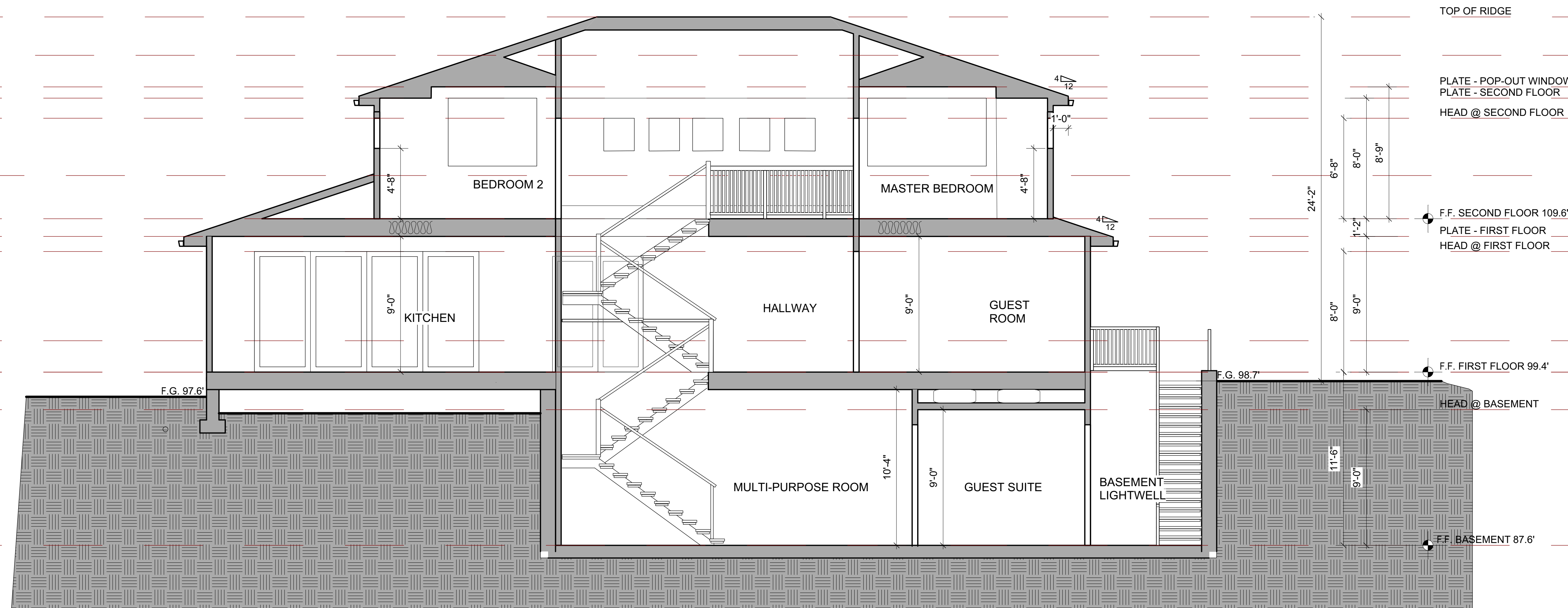
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DESIGN REVIEW SUBMITTAL - REV1

A3.2



SECTION THRU ENTRY AND GREAT ROOM
Scale: 1/4" = 1'-0" 1



SECTION THRU KITCHEN, GREAT ROOM, AND LIVING ROOM
Scale: 1/4" = 1'-0" 2

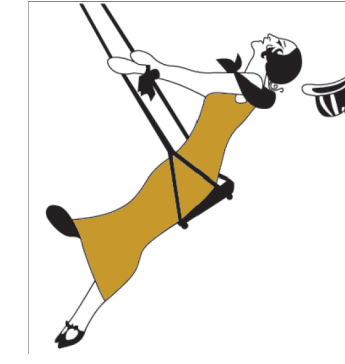
SHEET:
PROPOSED
SECTIONS

REVISIONS:
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DATE:
07/18/2019
FILE:

DESIGN REVIEW SUBMITTAL - REV1

A4



Issue/Revision:	
Date	Description

TREE PROTECTION NOTES

- A. PROTECT EXISTING TREES SCHEDULED TO REMAIN AGAINST INJURY, COMPACTION OF ROOT ZONE, OR INJURY DUE TO CUTTING, BREAKING OR SKINNING OF ROOTS, TRUNKS OR BRANCHES, SMOTHERING BY STOCKPILED OR DISPOSAL OF CONSTRUCTION MATERIALS, EXCAVATED MATERIALS OR VEHICULAR TRAFFIC WITHIN DRIP LINE OF TREES.
- B. NO PRUNING OF EXISTING TREES SHALL BE COMPLETED WITHOUT PRIOR APPROVAL BY CLIENT. GREAT CARE IS TO BE TAKEN IN EXCAVATION UNDER TREE CANOPIES TO AVOID UNNECESSARY DAMAGE TO THE ROOT SYSTEM OR CUTTING OF MAJOR STRUCTURAL ROOTS. IF MAJOR ROOTS ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY CONSULT WITH AN ARBORIST AND NOTIFY THE LANDSCAPE ARCHITECT AS TO THE RECOMMENDED SOLUTION.
- C. PROTECT TREES TO REMAIN WITH A TEMPORARY, WIRE MESH (CYCLONE) CONSTRUCTION FENCE, SIX (6) FEET HIGH, WIRED TO NINE (9) FOOT STEEL STAKES, DRIVEN TWO (2) FEET MINIMUM INTO THE GROUND AT THE LOCATION INDICATED ON THE PLAN OR AT THE DRIP LINE, WHICHEVER IS GREATER.
- D. IF ANY PORTION OF THE PROTECTIVE FENCE IS IN CONFLICT WITH CONSTRUCTION, THAT PORTION MUST BE RELOCATED, NOT REMOVED. THE FENCE MAY NOT BE CLOSER THAN EIGHT (8) FEET TO THE TRUNK OF THE TREE. CONSULT WITH LANDSCAPE ARCHITECT BEFORE ANY RELOCATION OCCURS.
- E. NO STORAGE OR DISPOSAL OF MATERIALS TO BE ALLOWED WITHIN THE PROTECTIVE FENCING.
- F. ALL SUBCONTRACTORS SHOULD BE WARNED IN WRITING AGAINST DISPOSING OF ANY MATERIAL OTHER THAN CLEAN WATER IN ANY AREA BENEATH THE CANOPY OF THE TREE OR WITHIN THE PROTECTIVE FENCING.
- G. TREES SEVERELY DAMAGED BY CONSTRUCTION OPERATIONS, AS DETERMINED BY THE LANDSCAPE ARCHITECT, MUST BE REPLACED WITH TREE SPECIES SELECTED BY LANDSCAPE ARCHITECT. REPLACEMENT TREES MUST BE OF COMPARABLE SIZE TO DAMAGED TREES BEING REPLACED, AND SHALL BE NO LESS THAN 36" BOX TREES (REGARDLESS OF SIZE OF DAMAGED TREE).
- H. REPLACEMENT OF TREES SCHEDULED TO REMAIN AND DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE AT CONTRACTORS EXPENSE.
- I. TOWN APPROVED TREE PROTECTION WARNING SIGNS ARE REQUIRED TO BE INSTALLED AND MAINTAINED AT ALL TIMES UNTIL CONSTRUCTION ACTIVITIES ARE COMPLETED.
- J. REQUIRED TREE PROTECTION SHA: REMAIN IN PLACE UNTIL ALL CONSTRUCTION ACTIVITIES ARE COMPLETED. NO CHANGES TO TREE PROTECTION CAN BE MADE UNTIL A REVISED TREE PROTECTION PLAN IS SUBMITTED AND APPROVED BY TOWN ARBORIST
- K. FAILURE TO INSTALL AND MAINTAIN REQUIRED TREE PROTECTION WILL RESULT IN ISSUANCE OF A STOP WORK ORDER AND IMPLEMENTATION OF A CORRECTIVE ACTION PLAN.

LEGEND

- #1 TREE ID
- TREE TO REMAIN
- ⊗ TREE PROPOSED TO BE REMOVED
- EXISTING FENCE

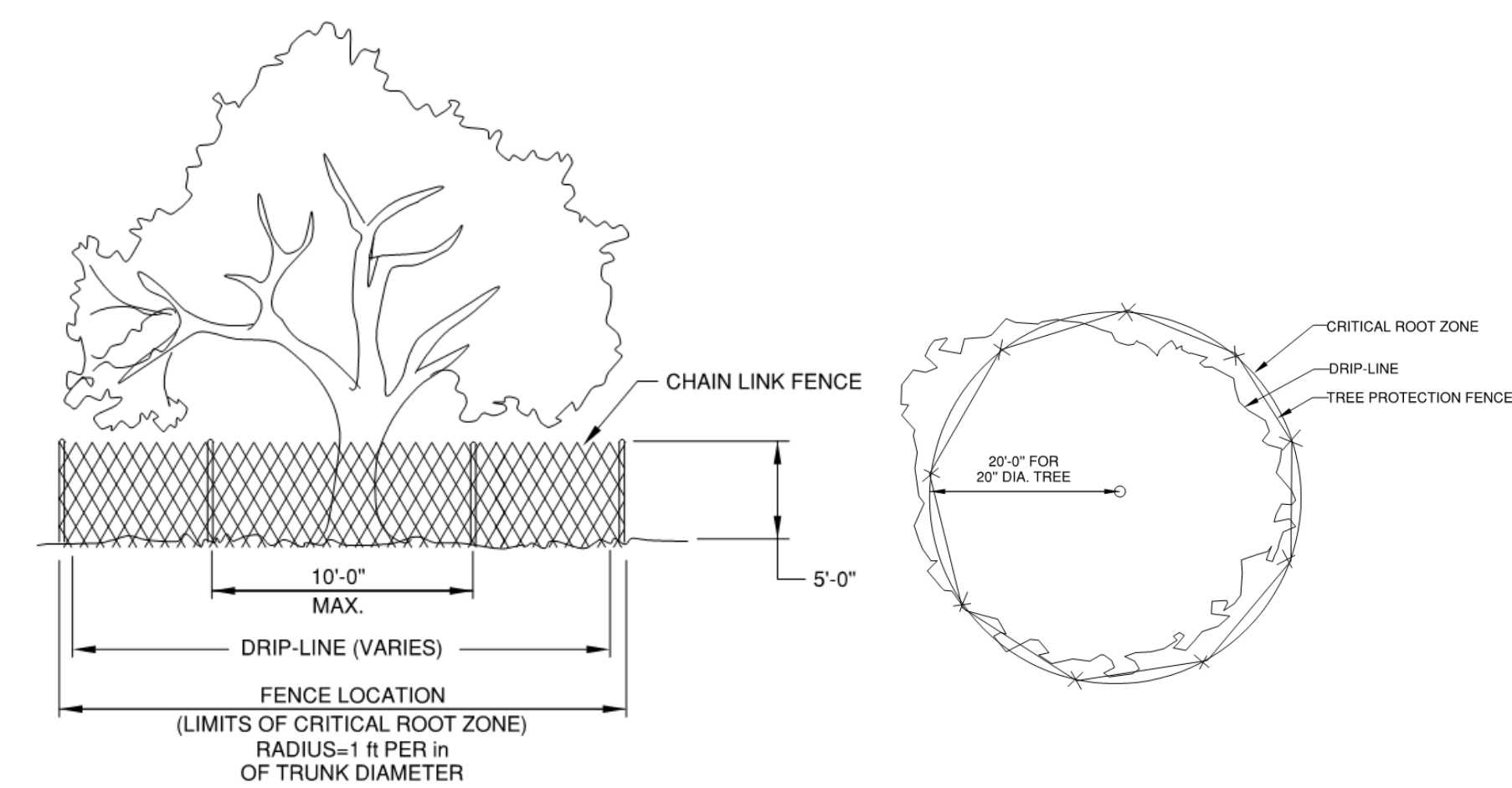
EXISTING TREES

ID	LATIN NAME	COMMON NAME	DBH	TPZ	HERITAGE	NOTES
1	Cinnamomum camphora	Camphor	1'0"	44'0"		to remain
2	Cinnamomum camphora	Camphor	2'0"	50'0"		to remain
3	Betula papyrifera	Birch	1'0"	30'0"		to remain
4	Betula papyrifera	Birch	1'0"	24'0"		to remain
5	Betula papyrifera	Birch	1'0"	36'0"		to remain
6	Ligustrum vulgare	Privet	1'0"	22'0"		on neighbor's property
7	Liquidambar styraciflua	Sweetgum	1'4"	48'0"		to remain
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ABBREVIATION

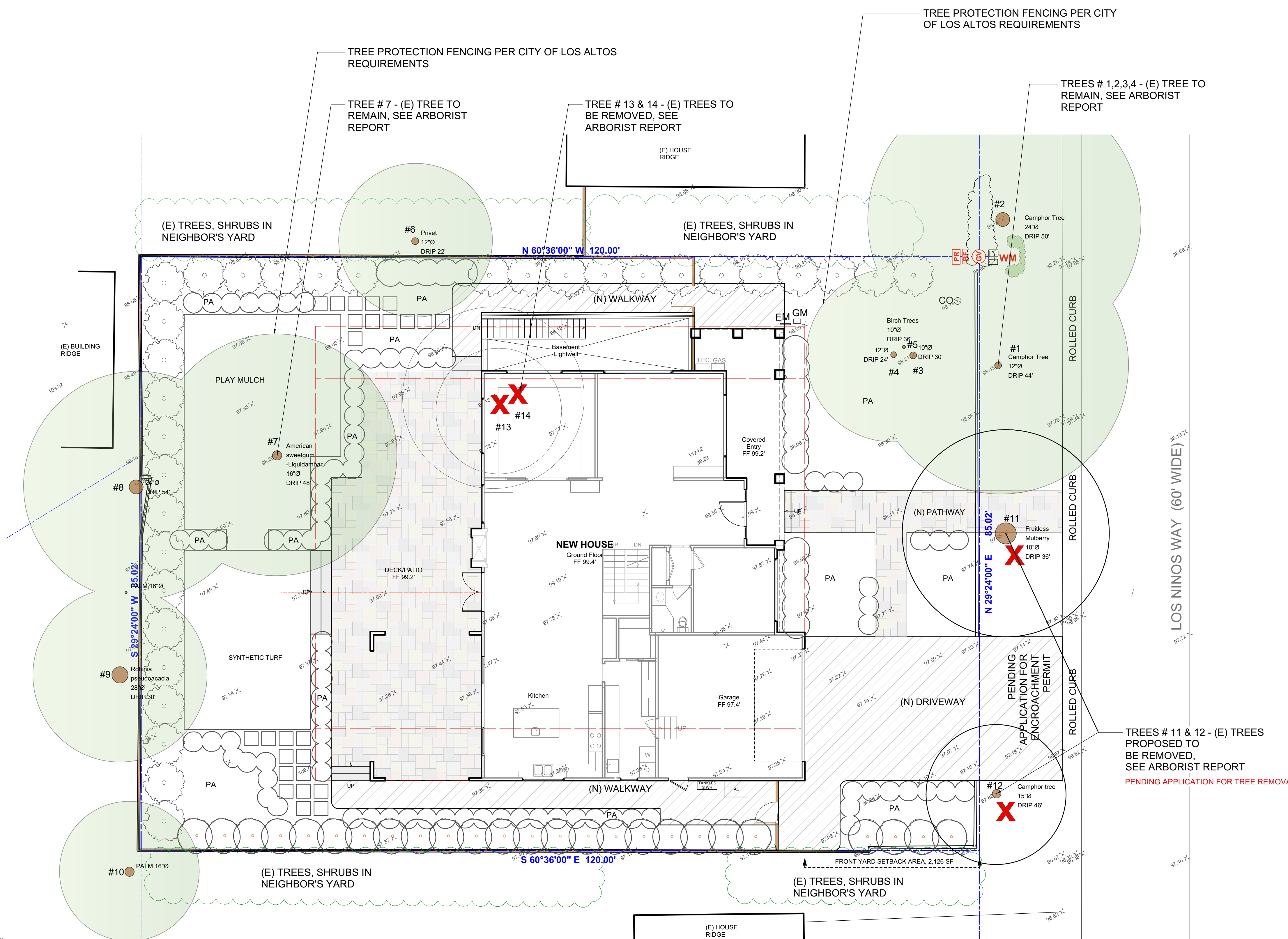
- N NEW
- E EXISTING
- TYP TYPICAL
- ETR EXISTING TO REMAIN
- DBH DIAMETER AT THE BREST HEIGHT
- TPZ TREE PROTECTION ZONE

TREE PROTECTION FENCING DETAIL, TYP.



Tree Protection Plan

L2



GOOGLE STREET VIEW

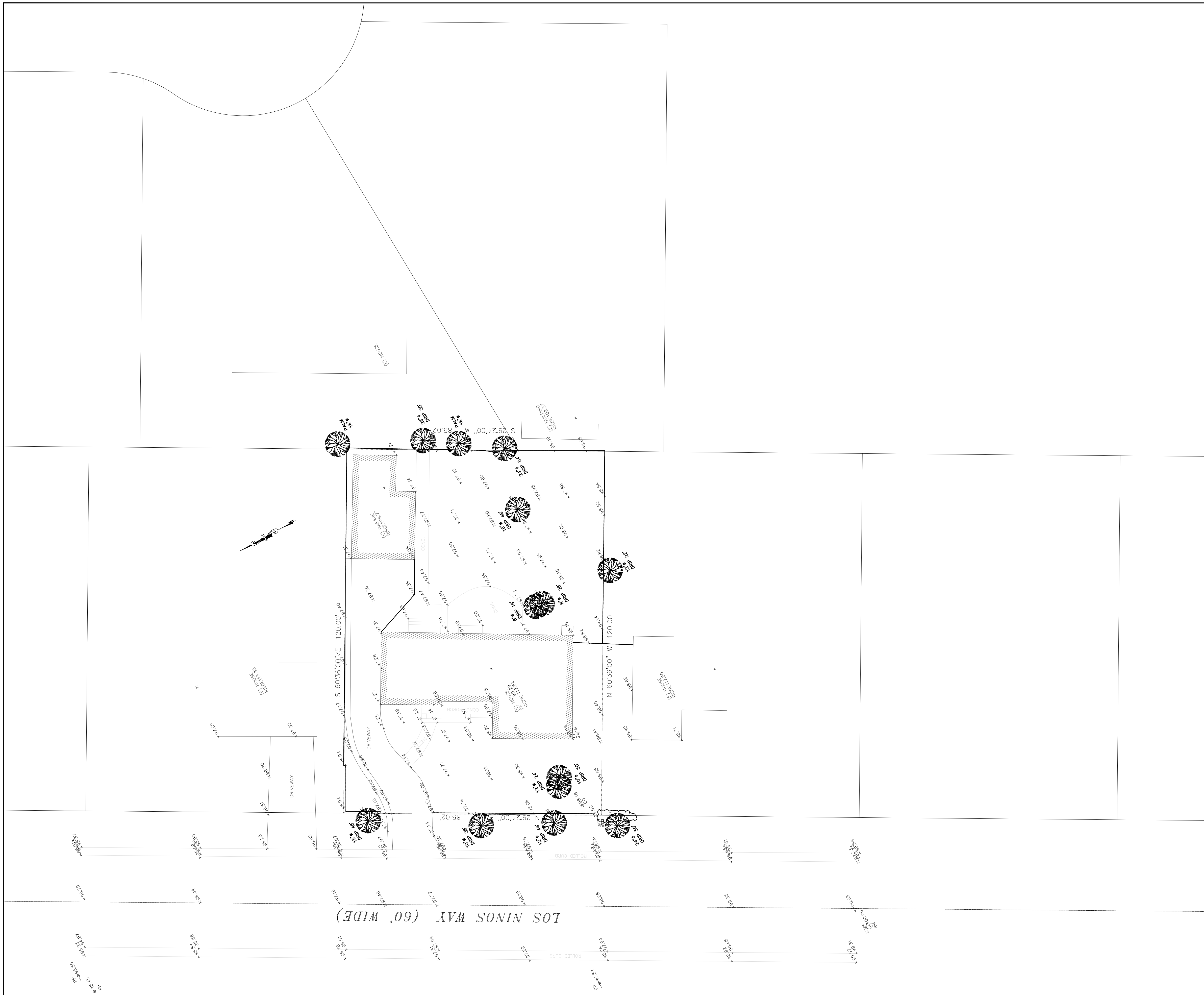
PROPOSED TREE PROTECTION PLAN

Scale: 1/8" = 1'-0"
on 24" x 36"



Date: Wed, Jul 3, 2019 Time: 3:06:34 PM File: mha_mihalic_L1.vwx

Project ID:
Mihalic
Date:
7.3.2019
Drawn by:
MN/RJ
Reviewed by:
JB
Issued for:
Setup
CAD File:
Mihalic.vwx



LEGEND:

	PROPERTY LINE
	EXISTING LOTS
	CENTERLINE
	EASEMENT LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	OVERHEAD POWER LINE
	WOOD FENCE
	WATER VALVE
	POWER POLE
	FIRE HYDRANT

ABBREVIATIONS:

AC	ASPHALT
AD	AREA DRAIN
ANC	ANCHOR
C&G	CURB AND GUTTER
CB	CATCH BASIN
DW	DRIVEWAY
EB	ELECTRIC BOX
EP	EDGE OF PAVEMENT
FH	FIRE HYDRANT
GM	GAS METER
GV	GAS VALVE
P.U.E.	PUBLIC UTILITY EASEMENT
PP	POWER POLE
MB	MAIL BOX
SDMH	STORM DRAINAGE MANHOLE
SSMH	SANITARY SEWER MANHOLE
CO	CLEAN OUT
VG	VALLEY GUTTER
WM	WATER METER

DISCLAIMER:
SMP ENGINEERS OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN.

NOTE:
THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2444). SURFACE FEATURES ARE LOCATED BY MEANS OF A STATION AND OFFSET FROM THE CONTROL LINE.

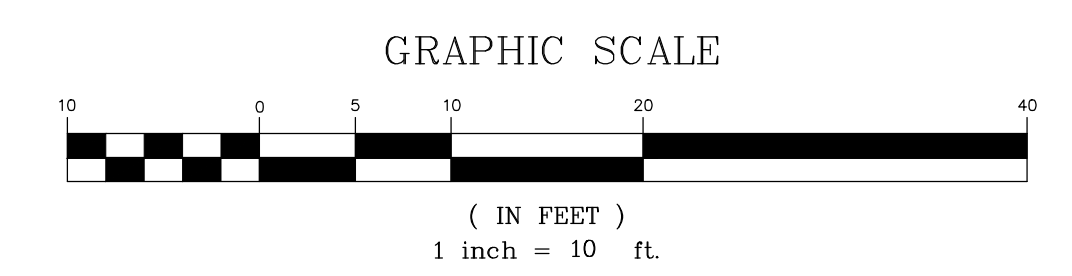
BASIS OF BEARINGS:
THE BEARING N. 29°24'00" E. OF THE CENTERLINE OF DISTEL DR., AS SHOWN UPON CERTAIN TRACT NO. 3474, FILED FOR RECORD IN BOOK 161 OF MAPS, AT PAGE 7, SANTA CLARA COUNTY RECORDS, WAS USED FOR BASIS OF BEARINGS FOR THIS SURVEY.

REFERENCED ASSUMED B.M.:
TOP OF SANITARY SEWER MANHOLE, LOCATED AT LOS NINOS WAY, DISTANCE THEREON 95.5± FEET SOWTHWESTERLY FROM THE WESTERLY CORNER OF THE PROPERTY EL.: 100.00

NOTES:

1. ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMALS THEREOF.
2. THE GROSS AREA OF LAND OF RECORD IS 10,202.40 SQ. FT. ±.
3. A PRELIMINARY TITLE REPORT HAS NOT BEEN PROVIDED TO SMP ENGINEERS THEREFORE, EASEMENTS IF ANY HAS NOT BEEN LOCATED.
4. ALL EXISTING BUILDINGS ARE WOOD.
5. FOR PRECISE SPECIES OF TREES A CERTIFIED ARBORIST SHALL BE CONSULTED.
6. THIS DRAWING REPRESENTS A TOPOGRAPHIC SURVEY PREPARED IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE PROPERTY LINES SHOWN HEREON ARE COMPILED FROM RECORD DATA AND REPRESENT THE BEST GRAPHICAL FIT BETWEEN RECORD INFORMATION AND THE TOPOGRAPHICAL FEATURES SURVEYED AND SHOULD NOT BE RELIED UPON OR USED FOR ANY OTHER PURPOSES. PURSUANT TO THE CLIENT'S DIRECTION A BOUNDARY SURVEY WAS NOT PERFORMED AT THIS TIME WHICH MAY HAVE DETERMINED THE ACTUAL PROPERTY LINES.

SCALE 1" = 10'



(MIM ,09) YAM SONIS WOT

645 Los NINOS WAY
LOS ALTOS , CA 95008
APN:



SMP ENGINEERS
CIVIL ENGINEERS—LAND SURVEYORS
1534 Carob Lane Los Altos, CA 94024
Tel. (650) 941-8055 Fax (650) 941-8755

Scale: 1" = 10'
Prepared by: x.x.
Checked by: S.R.
Date: 2/8/2019
Project No: 219040

PRELIMINARY BOUNDARY AND TOPOGRAPHIC SURVEY MAP

Sheet No: T-1

REVISIONS	DESIGN BY	DESIGN DATE	CITY APPR.	APPR. DATE

CITY OF LOS ALTOS

GRADING AND DRAINAGE PLANS

NEW, SINGLE FAMILY RESIDENTIAL

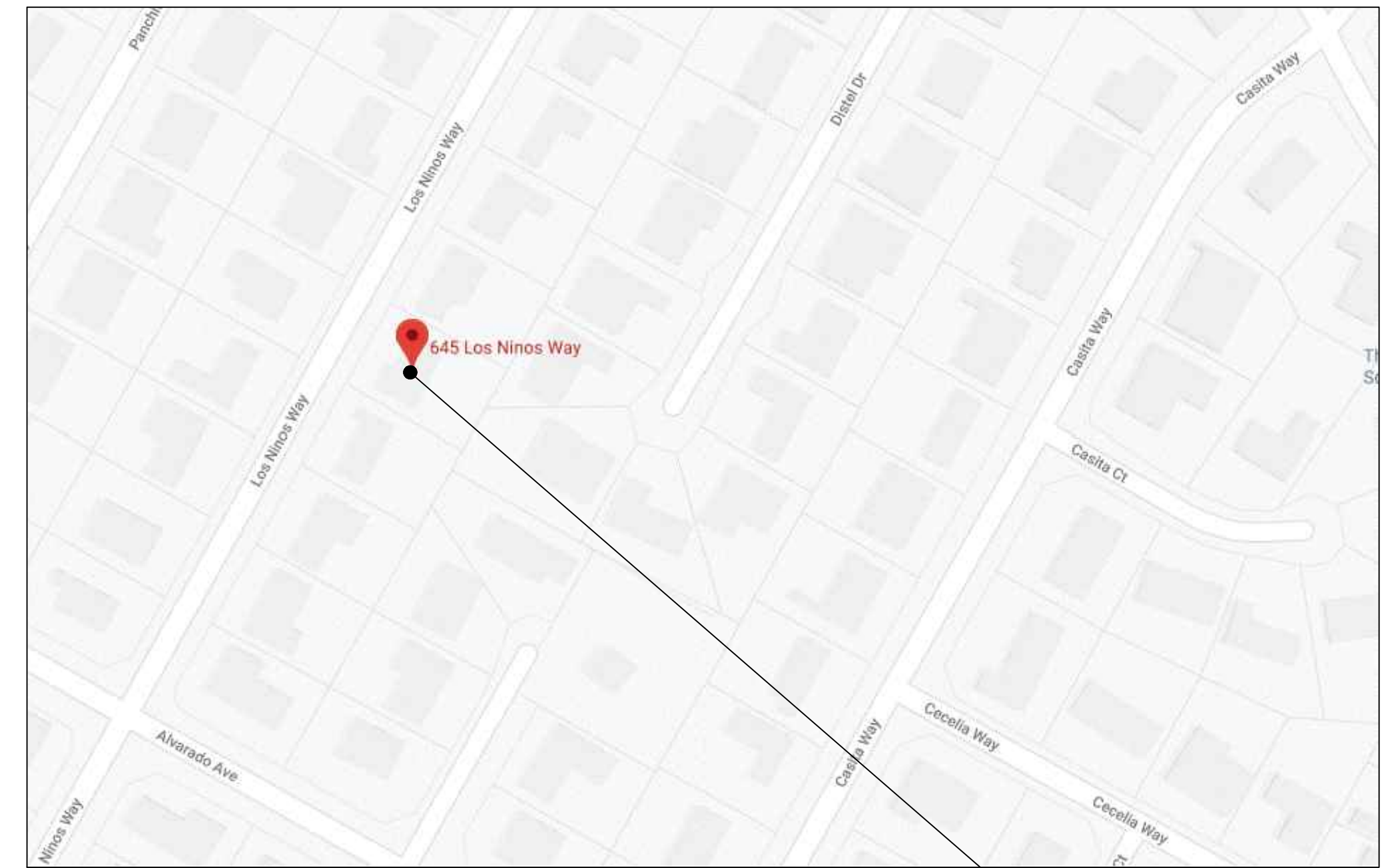
645 LOS NINOS WAY, LOS ALTOS, CA 94022

APN: 170-11-010

ABBREVIATIONS			
DESCRIPTION	DESCRIPTION	DESCRIPTION	
AB	AGGREGATE BASE (CLASS AS NOTED)	JP	JOINT POLE
AC	ASPHALT CONCRETE	MON.	MONUMENT
AD	AREA DRAIN	OG	ORIGINAL GROUND
BC	BEGIN OF CURVE	PB	PULL BOX
BFP	BACK FLOW PREVENTER	PGEV	PG&E VAULT
BO	BLOW OFF	R_PL	PROPERTY LINE
BW	BACK OF WALK	PP	POWER POLE
BWAL	BLACK WALNUT TREE	PPP	PLASTIC PERFORATED PIPE
CF	GARAGE FINISH FLOOR (BACK)	PSE	PUBLIC SERVICE EASEMENT
CL	CENTERLINE	PVC	POLYVINYL CHLORIDE
CLSW	CENTERLINE SWALE	R/W	RIGHT OF WAY
CO	CLEANOUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	SD	STORM DRAIN
CP	CONTROL POINT	SDMH	STORM DRAIN MANHOLE
DDW	DIRT DRIVEWAY	SS	SANITARY SEWER LINE
DI	DROP INLET	SSMH	SANITARY SEWER MANHOLE
DETAIL	DAYLIGHT	SW	SIDEWALK
ELOT	ELECTROLIER	TC	TOP OF CURB
EP	EDGE OF PAVEMENT ELEVATION	TOB	TOP OF BANK
EUC	EUCALYPTUS TREE	TOE	TOE OF SLOPE
EX	EXISTING	TF	TOP OF FOUNDATION
FF	FINISHED FLOOR	TP	TOP OF PIPE
FG	FINISH GRADE	UG	UNDERGROUND GAS
FH	FIRE HYDRANT	USS	UNDERGROUND SANITARY SEWER
FL	FLOW LINE	UST	UNDERGROUND STORM DRAIN
FNC	FENCE	UT	UNDERGROUND TELEPHONE
FOG	FOG LINE	UW	UNDERGROUND WATER
GB	GRADE BREAK	VCP	VITRIFIED CLAY PIPE
GFF	GARAGE FINISH FLOOR (FRONT)	WL	WHITE LINE STRIPE
GUY	GUY WIRE	WLK	WALKWAY
HP	HIGH POINT	WM	WATER METER
IP	IRON PIPE	WV	WATER VALVE
LIP	LIP OF GUTTER	YL	YELLOW LINE STRIPE
C&G	CURB AND GUTTER		
TOS	TOP OF SLAB		
TOD	TOP OF DECK		

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
F	F	FILL AREA LIMIT
C	C	CUT AREA LIMIT
102	102	CONTOUR
W	W	WATER LINE
SD	SD	STORM DRAIN PIPE (SOLID)
SS	SS	SANITARY SEWER PIPE
SUB	SUB	SUBDRAIN PIPE (PERFORATED)
OH e,T,TV	OH e,T,TV	OVERHEAD UTILITIES WITH POLE
G	G	GAS LINE
E	E	ELECTRIC LINE (UNDERGROUND)
JT	JT	JOINT TRENCH
SLV	SLV	STREET LIGHT VAULT
SSCO	SSCO	SANITARY SEWER CLEANOUT
○	●	SANITARY SEWER MANHOLE
○	●	STORM DRAIN MANHOLE
⊗	⊗	ELECTROLIER
WM	WM	WATER METER
○	○	TREE WITH TRUNK
x	x	6' WOODEN FENCE
102.23	102.23	SPOT ELEVATION
---	---	TREE PROTECTION FENCE 5' TALL CHAIN LINK
---	---	SWALE
→	→	DIRECTION OF FLOW IN PIPE
●	●	AREA DRAIN/ INLET
→	→	OVERLAND RELEASE PATH
→	→	GRADING DIRECTION
○	○	(E) TREE TO BE REMOVE
■	■	SPLASH BLOCK



LOCATION MAP
N.T.S.

PROJECT SITE

SHEET INDEX:

- C-1 COVER SHEET/ NOTES
- C-2 GRADING AND DRAINAGE PLAN/ DETAILS
- C-3 DETAILS
- C-4 EROSION CONTROL PLAN
- C-5 BEST MANAGEMENT PRACTICES

DRAINAGE NOTES:

1. Surface water shall be directed away from all buildings into drainage swales, gutters, storm drain inlets and drainage systems.
2. All roof down spouts shall discharge onto splash blocks and directed away from building.
3. On site storm drain lines shall consist of PVC-SCH 40 minimum or better.
4. Storm drain inlets shall be precast concrete, Christy U23 type or equivalent.

BASIS OF BEARINGS:

THE BEARING N. 29°24'00" E. OF THE CENTERLINE OF DISTEL DR., AS SHOWN UPON CERTAIN TRACT NO. 3474, FILED FOR RECORD IN BOOK 161 OF MAPS, AT PAGE 7, SANTA CLARA COUNTY RECORDS, WAS USED FOR BASIS OF BEARINGS FOR THIS SURVEY

BASIS OF ELEVATION:

TOP OF SANITARY SEWER MANHOLE, LOCATED AT LOS NINOS WAY, DISTANCE THEREON 95.5± FEET SOUTHWESTERLY FROM THE WESTERLY CORNER OF THE PROPERTY EL.: 100.00

SURVEY MAP DISCLAIMER NOTE:

SMP ENGINEERS ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE TOPOGRAPHIC SURVEYING DEPICTED ON THIS PLAN SET. TOPOGRAPHIC SURVEYING MAP WAS PREPARED BY OTHERS AND FURNISHED TO SMP ENGINEERS BY THE OWNER.

NOTE:

PRIOR TO THE COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.

NOTE:

GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.

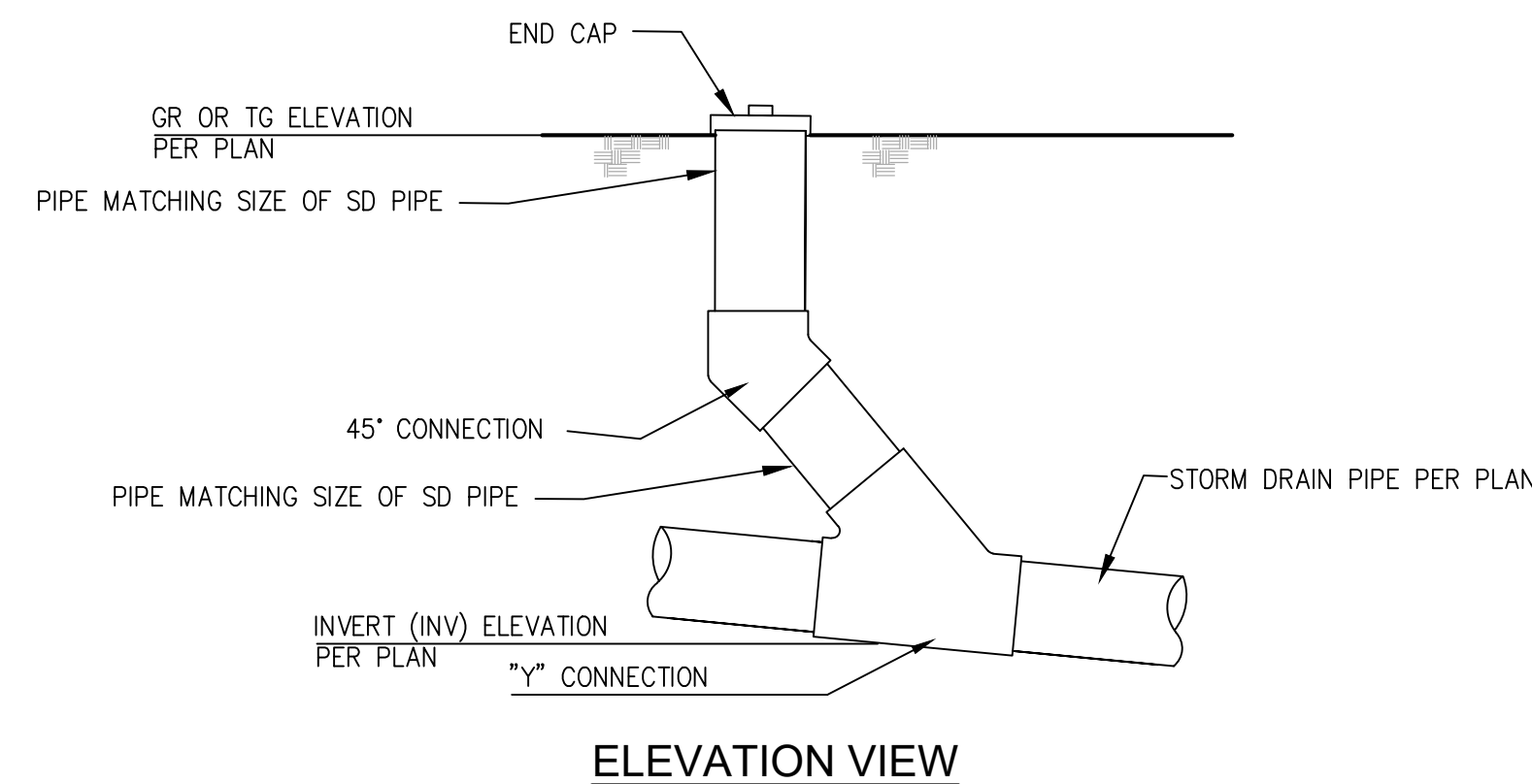
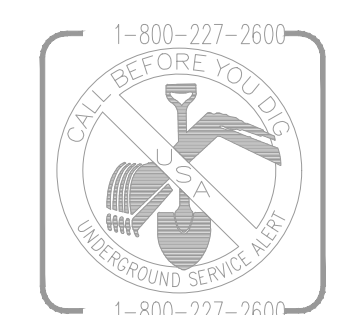
GEOTECHNICAL ENGINEER OF RECORD

THIS PLAN HAS BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE INTENT AND PURPOSE OF THE GEOTECHNICAL REPORT

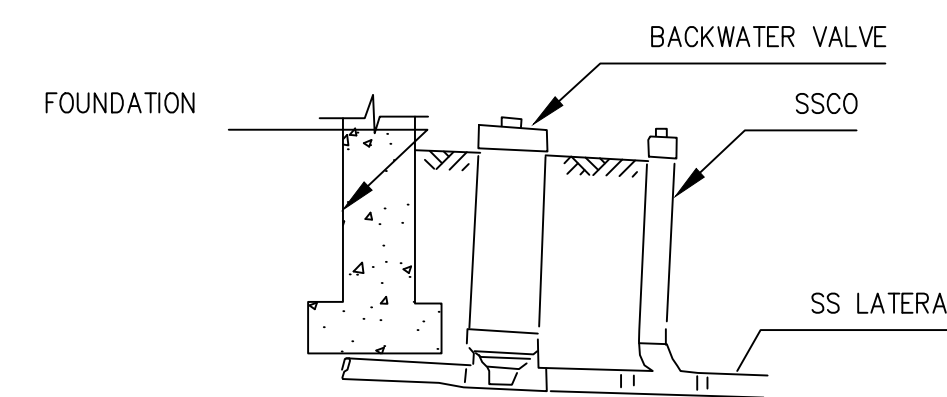
PREPARED BY _____ DATED _____
BY C.E.G. # _____ BY G.E. # _____

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.



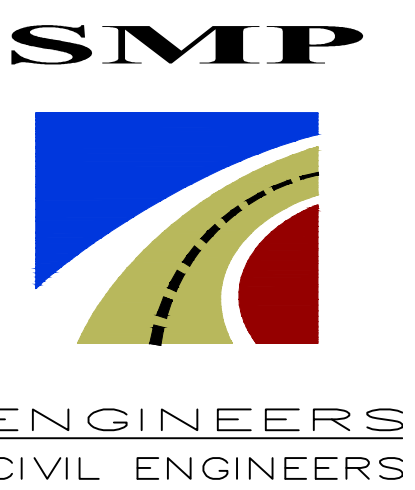
ELEVATION VIEW
STORM DRAIN CLEANOUT DETAIL
N.T.S.



SANITARY SEWER BACKFLOW PREVENTOR DETAIL
N.T.S.

NOTE :

ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE, CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 947-2780.



1534 CAROB LANE
LOS ALTOS, CA 94024
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FAX: (650) 941-8755

OWNER:

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SMP ENGINEERS
CIVIL ENGINEERS

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY RESIDENTIAL
645 LOS NINOS WAY, LOS ALTOS, CA 94022
APN: 170-11-010
COVER SHEET

Revisions:



Saeed Razavi

Date: 07/11/2019
Scale: AS NOTED
Prepared by: S.S.
Checked by: S.R.
Job #: 219040

Sheet:

1 OF 5
C-1



ENGINEERS
CIVIL ENGINEERS

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GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY RESIDENTIAL
645 LOS NINOS WAY, LOS ALTOS, CA 94022
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GRADING AND DRAINAGE PLAN

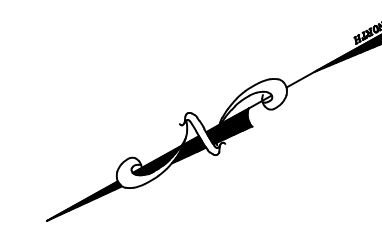
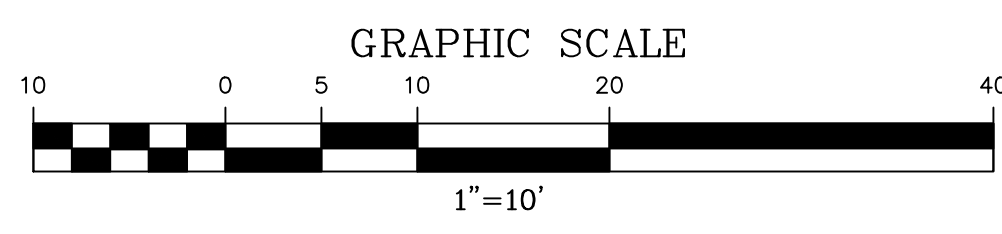
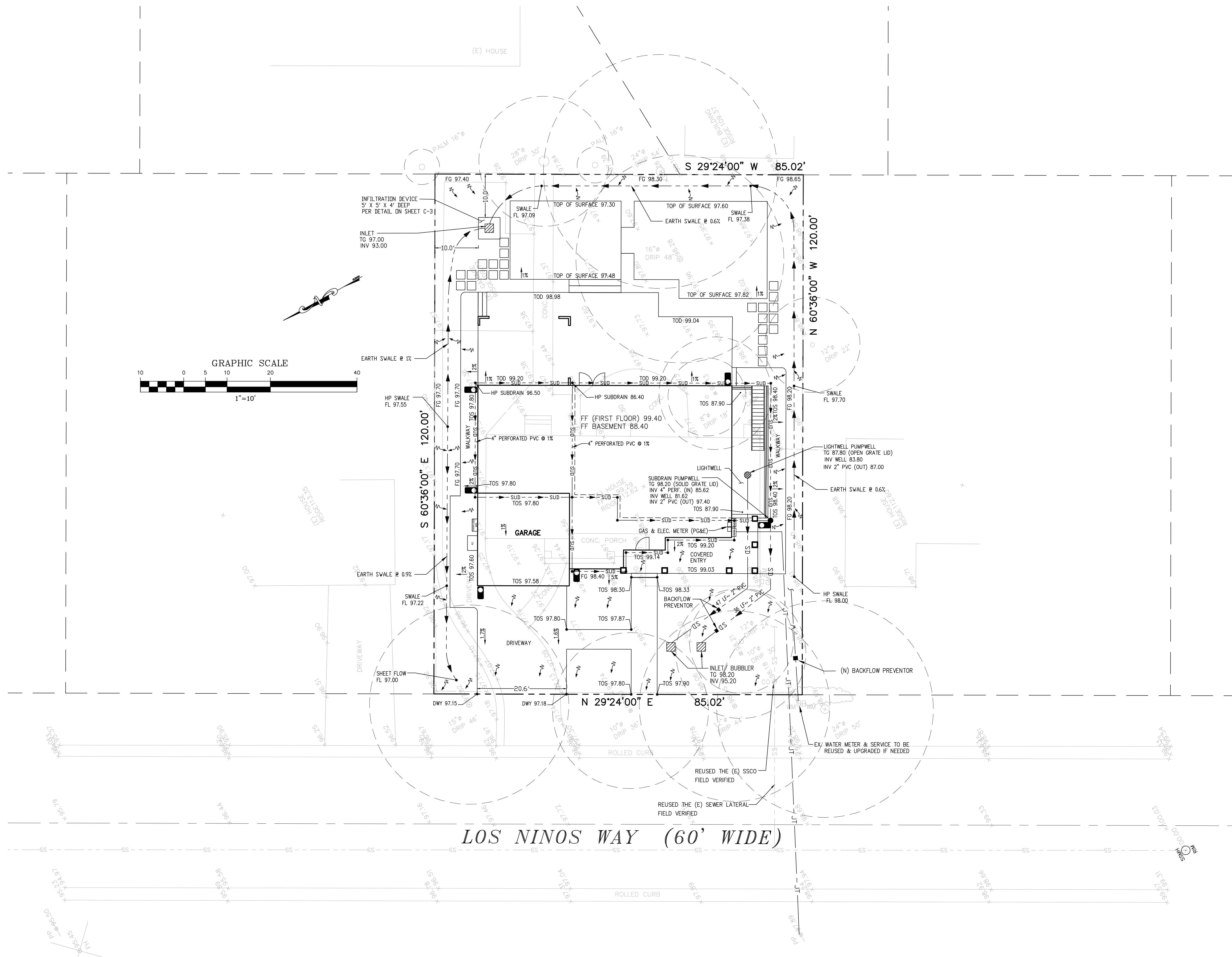
Revisions:



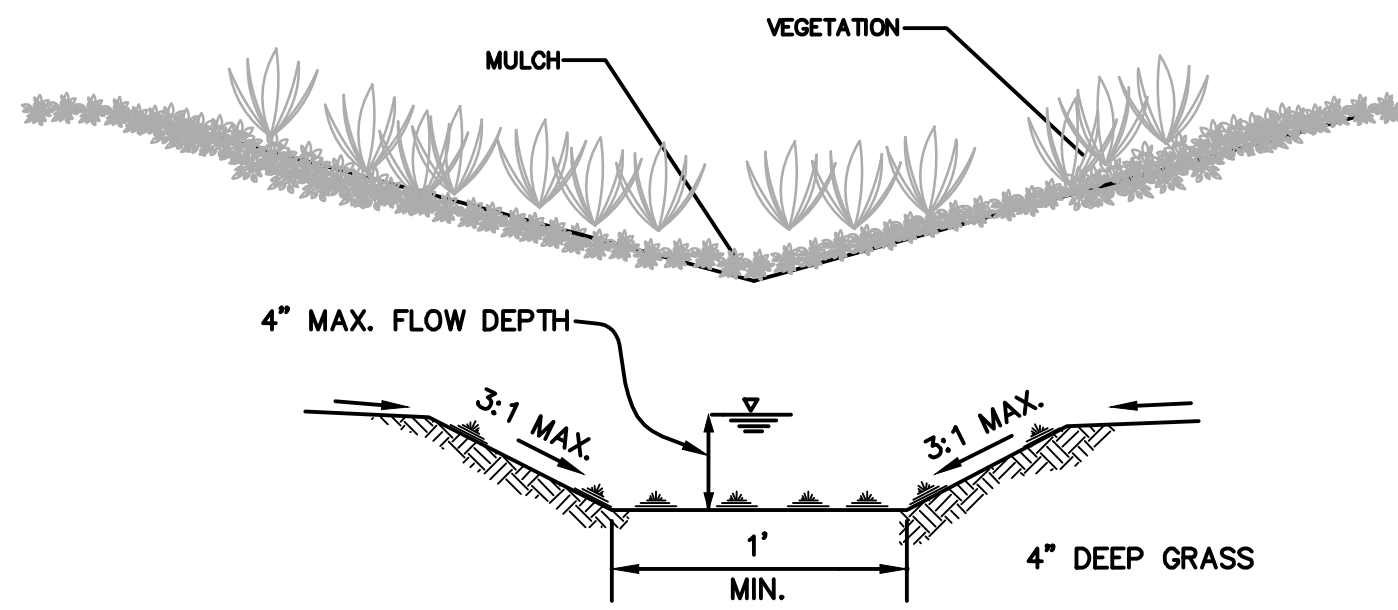
Saeed Razaqi

Date: 07/11/2019
Scale: 1"=10'
Prepared by: S.S.
Checked by: S.R.
Job #: 219040

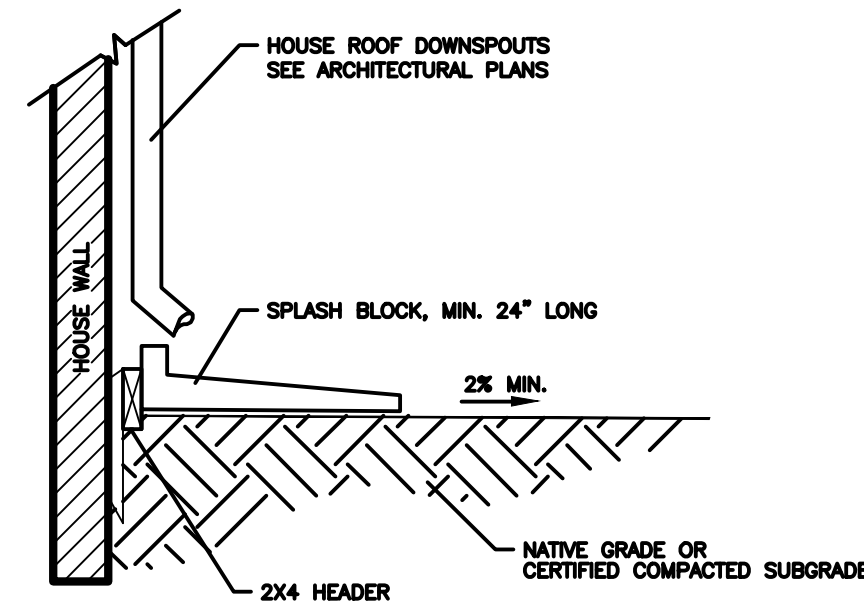
Sheet: 2 OF 5
C-2



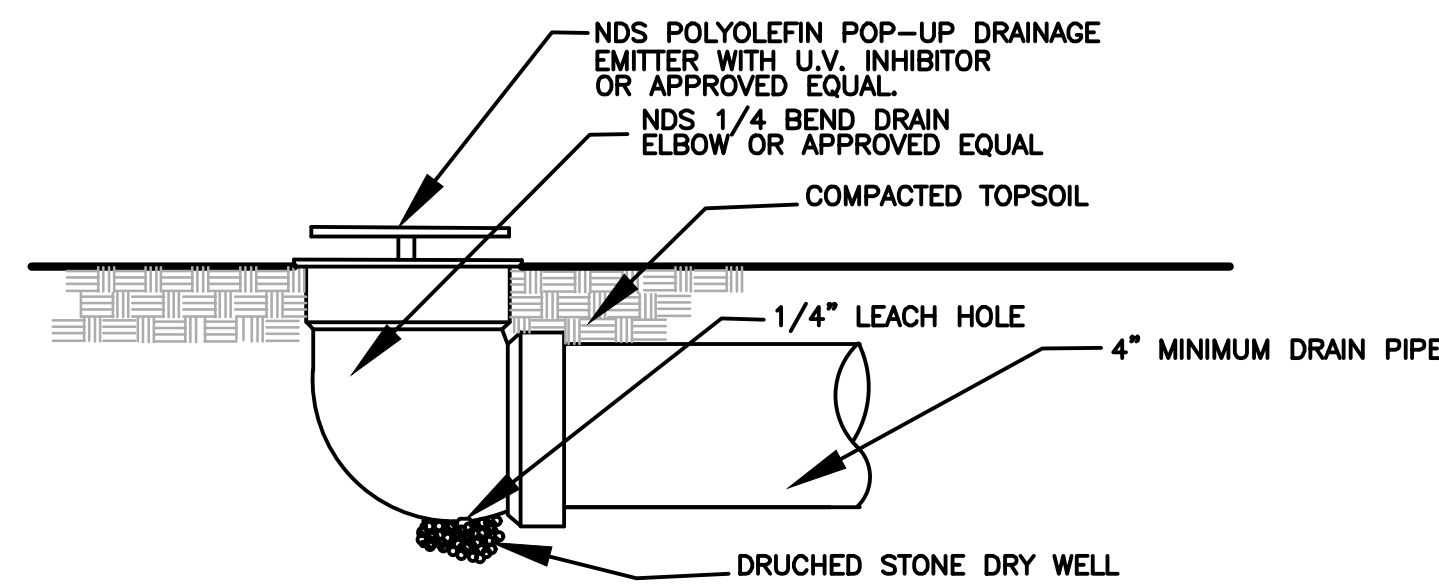
LOS NINOS WAY (60' WIDE)



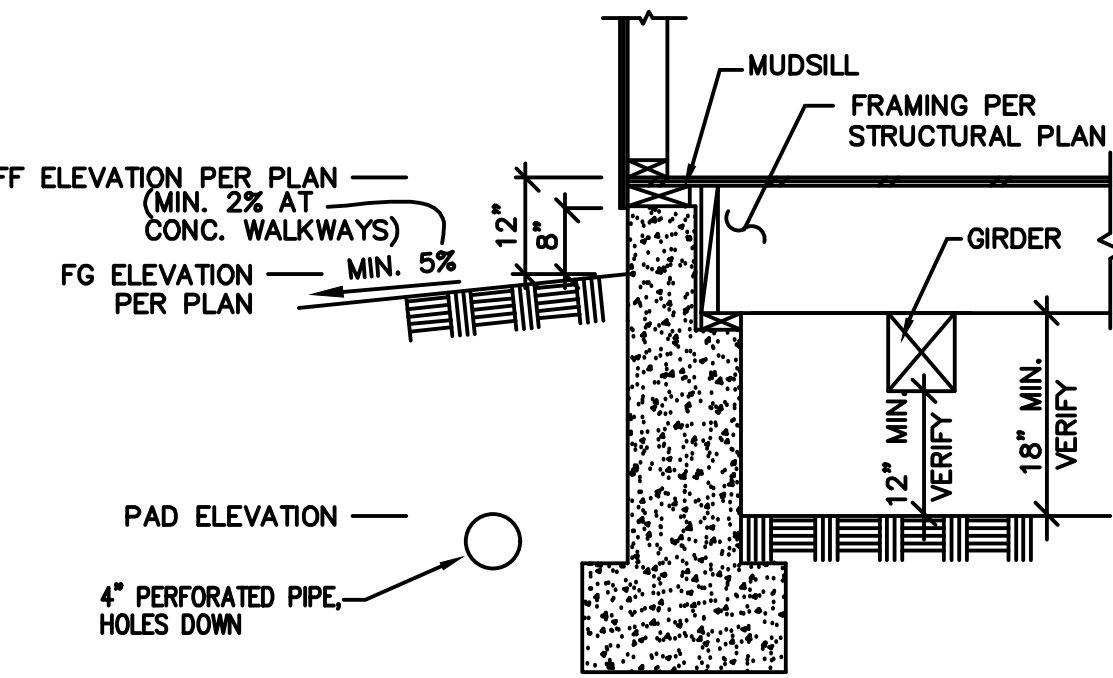
EARTH SWALE DETAIL
N.T.S.



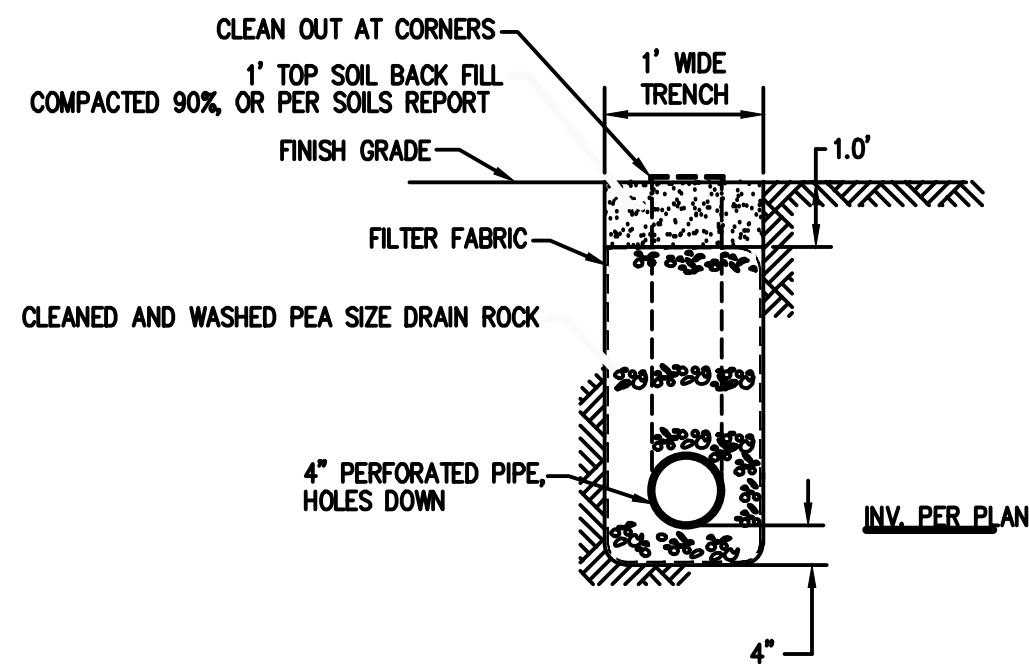
ROOF DOWNSPOUT/SPLASH BLOCK
N.T.S.



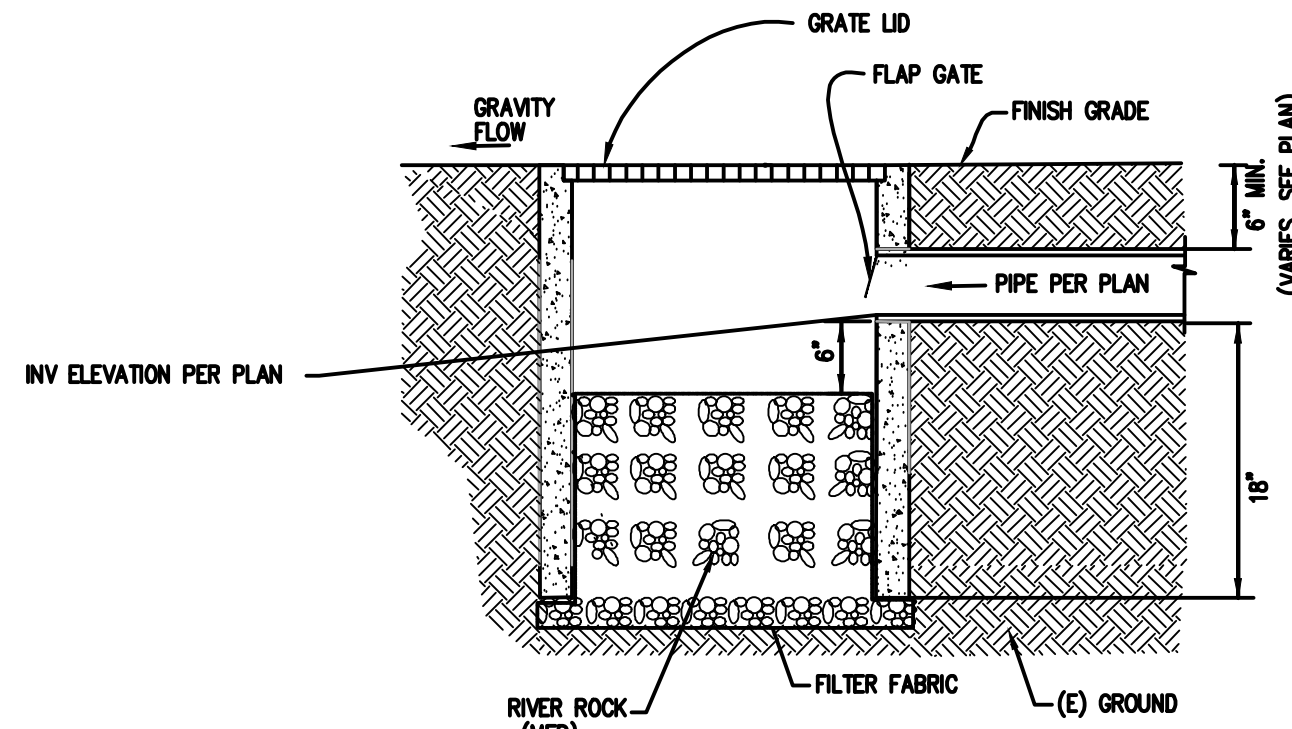
POP-UP DRAINAGE EMITTER
N.T.S.



DROPPED FOUNDATION CONCEPTUAL DETAIL
N.T.S.

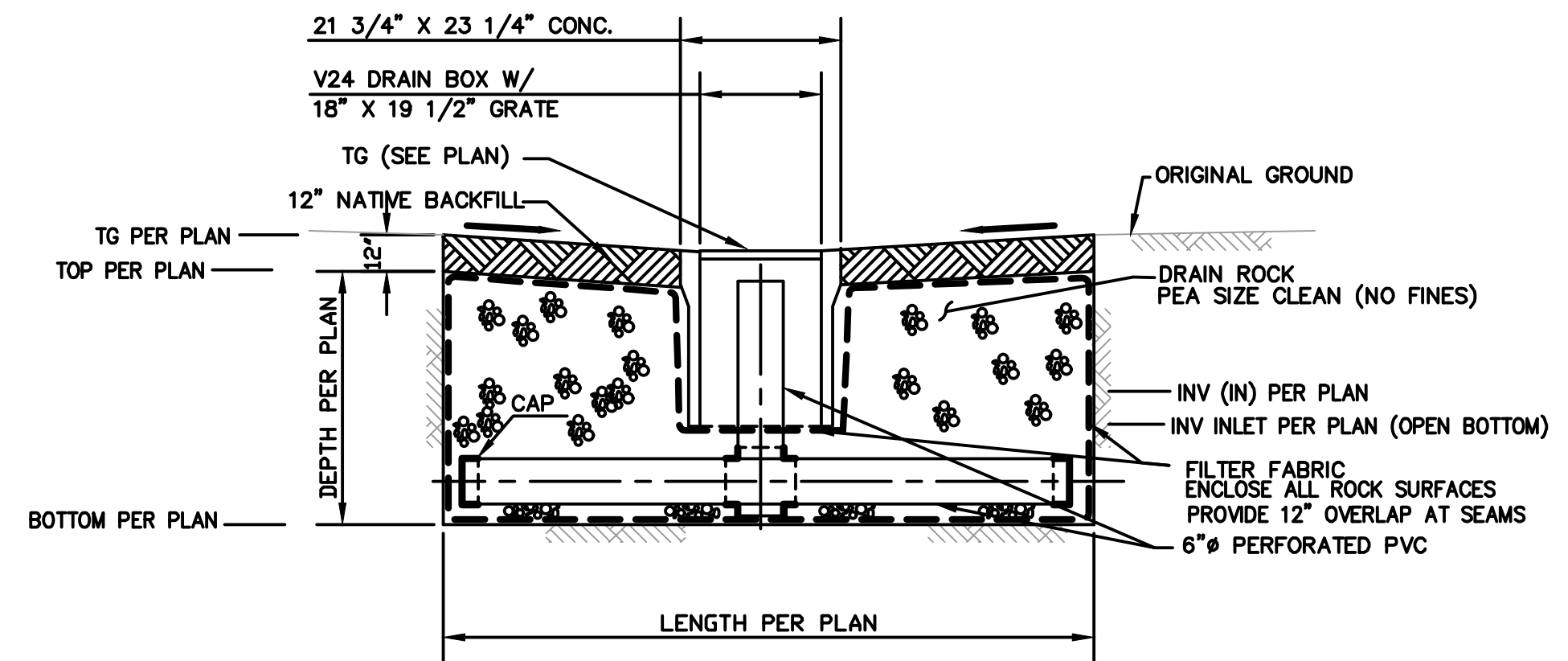


SUBDRAIN TRENCH DETAIL
ELEVATION VIEW- NTS

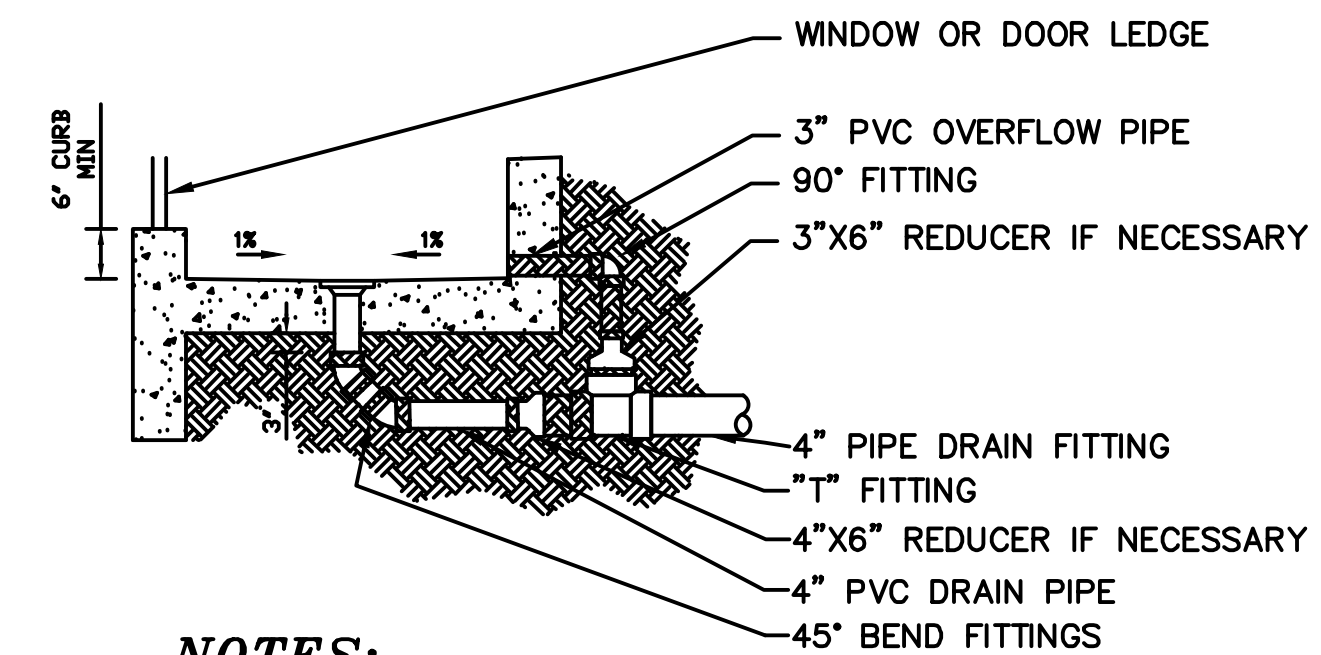


- NOTES:**
1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP.
 2. BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
 3. BOX SHALL BE SET IN LANDSCAPE AREA TO FACILITATE PERCOLATION.
 4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
 5. BOX MUST BE LOCATED AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MIN. AWAY FROM SIDE AND REAR PROPERTY LINES, APPROX. LOCATED IN A VEGETATED AREA.

BUBBLER BOX DETAIL
N.T.S.



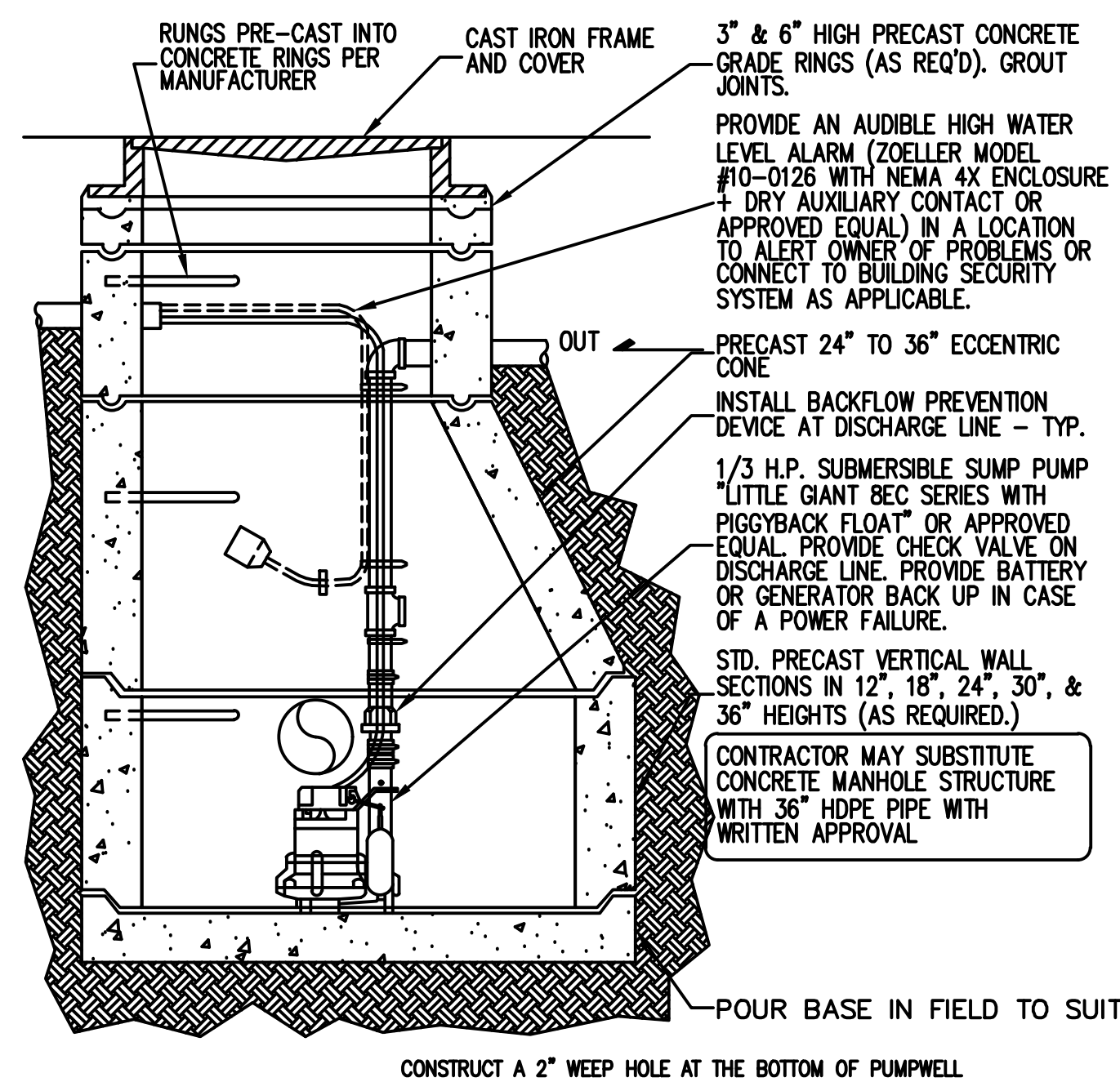
DETENTION BASIN
N.T.S.



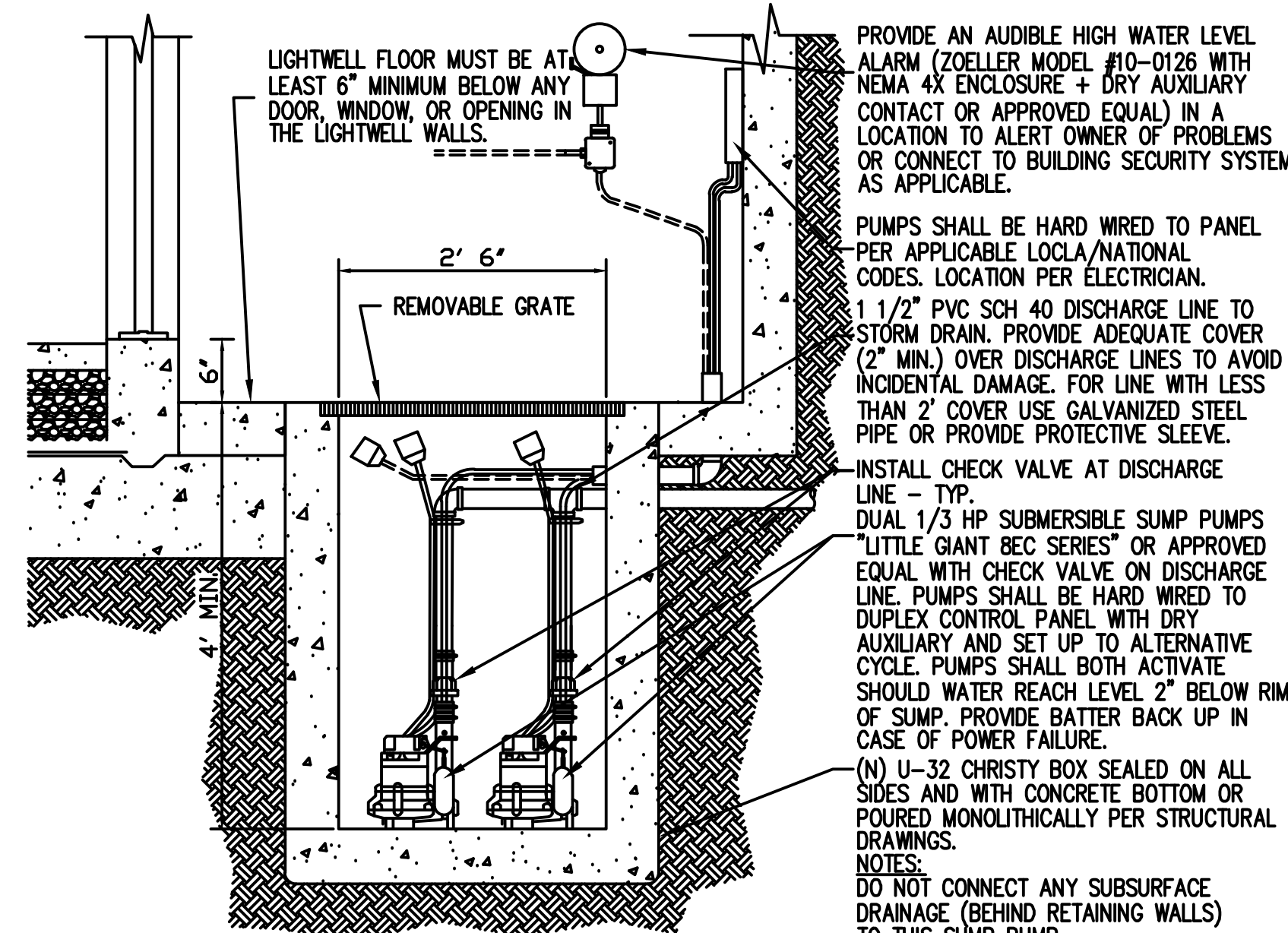
- NOTES:**
1. SLOPE INTERIOR SLAB OF LIGHTWELL @ 1% MIN IN ALL DIRECTIONS TO DIRECT FLOW TOWARDS INLET.
 2. MAINTAIN 6" MIN FROM BOTTOM OF SILL/DOOR TO BOTTOM OF LIGHTWELL.
 3. INSTALL "MEENAH R-4344" GRATE AND 3" PVC OUT GOING PIPE IN LIGHTWELLS NOT INTENDED TO HAVE FOOT TRAFFIC.
 4. INSTALL 4" METAL GRATE AND 4" PVC OUTGOING PIPE IN AREAS INTENDED TO HAVE FOOT TRAFFIC.
 5. INSTALL 3" PVC OVERFLOW PIPE AS SHOWN.
 6. CONTRACTOR SHALL SUBMIT TO THE OWNER IN WRITING THE NEED FOR PERIODIC MAINTENANCE AND REMOVAL OF DEBRIS.
 7. REFER TO STRUCTURAL PLAN FOR WALL CONSTRUCTION DETAIL.

OVERFLOW FOR BASEMENT LIGHTWELL DRAIN
N.T.S.

- PUMP NOTES:**
1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.
 2. PUMPS TO BE CONNECTED TO BACKUP GENERATORS OR BATTERIES TO PREVENT FLOODING IN CASE OF BLACKOUT.
 3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.
 4. PROVIDE RESERVE PUMP FOR EACH PUMP WELL.
 5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY RESIDENTS OF POSSIBLE RISE OF WATER IN PUMPWELL.
 6. PROVIDE TWO SEPARATE SYSTEM AND PUMP WELLS FOR: a) SUBDRAIN AND b) LIGHTWELL AREA DRAINS.



PUMPWELL DETAIL FOR OVERFLOW & SUBDRAIN
N.T.S.



INLET/ PUMPWELL DETAIL FOR BASEMENT LIGHTWELL DRAIN
N.T.S.

OWNER:

GRADING AND DRAINAGE PLANS
NEW SINGLE FAMILY RESIDENTIAL
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C-3