

1 SITE PLAN
SCALE 1/8" = 1'-0"

PROJECT SUMMARY TABLES

	ZONING COMPLIANCE		
	EXISTING	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE: <small>Measured to the outside surfaces of exterior walls</small>	2,624 sq.ft. (19.5%)	3,132 sq.ft. (21.8%)	4,021.5 sq.ft. (30%)
FLOOR AREA: <small>Measured to the outside surfaces of exterior walls</small>	1st Flr: 2,624 sq.ft. 2nd Flr: 0 sq.ft. Total: 2,624 sq.ft. (19.5%)	1st Flr: 3,676 sq.ft. 2nd Flr: 411 sq.ft. Total: 4,087 sq.ft. (30.4%)	4,092.5 sq.ft. (35% OF 11,000 + 10% OF 2,425)
SETBACKS:	Front: 39.8 feet Rear: 44.9 feet Right side (1st/2nd): 10.8 feet / N/A Left side (1st/2nd): 10.8 feet / N/A	25.1 feet 31 feet 10.1 feet / 11.5 feet 10.8 feet / 66.5 feet	25 feet 25 feet 20 feet / 11.5 feet 10 feet / 11.5 feet
HEIGHT:	15 feet	22 feet	21 feet

	SQUARE FOOTAGE BREAKDOWN		
	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA: <small>Includes habitable basement areas</small>	2,054 sq.ft.	1,599 sq.ft.	3,653 sq.ft.
NON-HABITABLE AREA: <small>Does not include covered porches or open structures</small>	570 sq.ft.	-136 sq.ft.	434 sq.ft.

LOT CALCULATIONS		
NET LOT AREA:	13,425 square feet	
FRONT YARD HARDSCAPE AREA: <small>Hardscape area in the front yard setback shall not exceed 50%</small>	143 square feet (29.1%) EXISTING DRIVEWAY + NEW WALKWAY	
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): (E) 6165 sq.ft. (N) 6416 sq.ft. Existing softscape (indistinct) area: 1009 sq.ft. New softscape area: 0 sq.ft. Total: 1009 sq.ft. <small>Sum of all three would equal the site net to area</small>	

GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM WITH THE FOLLOWING CODES AS ADOPTED BY THE CITY OF LOS ALTOS:
 - 20% CALIFORNIA RESIDENTIAL CODE
 - 20% CALIFORNIA MECHANICAL CODE
 - 20% CALIFORNIA PLUMBING CODE
 - 20% CALIFORNIA FIRE CODE
 - 20% CALIFORNIA ELECTRICAL CODE
 - 20% BUILDING ENERGY EFFICIENCY STANDARDS
 - 20% CAL GREEN
 - 20% CALIFORNIA BUILDING CODE
 - LOS ALTOS MUNICIPAL CODE
- ALL EXISTING CONDITIONS SHALL BE VERIFIED FOR COMPATIBILITY WITH NEW CONSTRUCTION SHOWN HEREIN.
- ALL NOTES AND DIMENSIONS SHALL BE FIELD VERIFIED.
- WRITTEN DIMENSIONS SHALL BE OBSERVED OVER SCALED DIMENSIONS.
- SIMILAR DETAILS SHALL APPLY TO SIMILAR CONDITIONS.
- IN THE EVENT THAT DISCREPANCIES ARE FOUND IN THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED BEFORE WORK CAN PROCEED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK REQUIRED TO COMPLETE THE PROJECT, INCLUDING BUT NOT LIMITED TO:
 - ALL WORK REQUIRED TO PREPARE FOR NEW CONSTRUCTION.
 - THE REMOVAL OR RELOCATION OF ALL EXISTING PIPES, CONDUITS, WIRES, ETC., AS REQUIRED TO COMPLETE THE PROJECT.
 - THE MATCHING OF ALL NEW WALL, CEILING, ROOFING MATERIALS AND TEXTURES UNLESS NOTED OTHERWISE.

SHEET INDEX

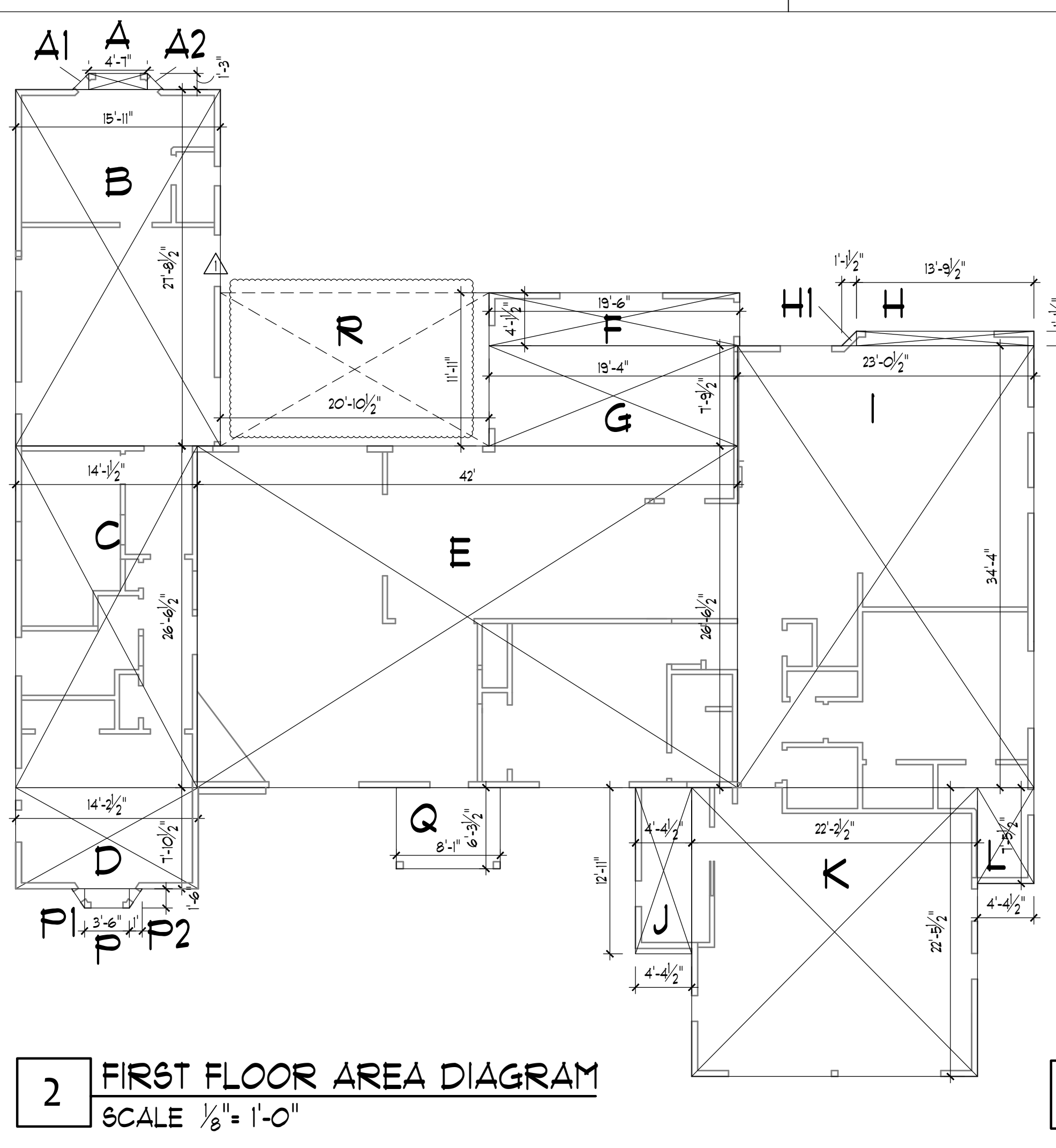
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PROJECT DATA

PROPERTY ADDRESS:	391 YERBA BUENA AVENUE, LOS ALTOS, CA 94022
PROPERTY OWNER:	JERRY AND JENNIFER KRIKHELI
A.P.N.:	167-33-012
ZONING:	R-1-10
OCCUPANCY GROUP:	R-3/U
TYPE OF CONSTRUCTION:	V-B
LOT SIZE:	13,425 SQ.FT.
MAX. ALLOWED: F.A.R. (3,850 + 2,425X10%):	4,092.5 SQ.FT.
LOT COVERAGE (30%):	4,021.5 SQ.FT.
MAX. HEIGHT:	21 FT.
EXISTING:	
LIVING SPACE:	2,061 SQ.FT. ⚠
(E) GARAGE TO BE DEMOLISHED:	570 SQ.FT.
PROPOSED:	
F.A.R.:	
LIVING SPACE FIRST FLOOR:	3,241 SQ.FT. ⚠
LIVING SPACE SECOND FLOOR:	411 SQ.FT.
(N) GARAGE:	434 SQ.FT. ⚠
TOTAL:	4,092 SQ.FT. ⚠
LOT COVERAGE:	
HOUSE:	3,681 SQ.FT.
(E) FRONT PORCH:	51 SQ.FT.
TOTAL:	3,732 SQ.FT.
(E) COVERED PATIO TO BE REMOVED:	249 SQ.FT. ⚠

DESCRIPTION OF WORK

ADDITION AND REMODEL OF EXISTING SINGLE HOME WITH ATTACHED GARAGE. DEMOLISH (E) GARAGE. ADD NEW GARAGE, RELOCATE KITCHEN TO NEW ADDITION. ADD NEW BEDROOM AND BATHROOM. NEW MEDIA ROOM WITH BATHROOM ON SECOND FLOOR. RELOCATE MASTER BATHROOM TO NEW ADDITION, EXTEND MASTER BEDROOM AND CREATE NEW WALK IN CLOSET. RELOCATE ENTRANCE TO (E) BEDROOM. NO NEW LANDSCAPE IN THE SCOPE OF WORK.



2 FIRST FLOOR AREA DIAGRAM
SCALE 1/8" = 1'-0"

FLOOR AREA

BLOCK NAME	WIDTH		LENGTH		AREA
	FT.	IN.	FT.	IN.	
FIRST FLOOR					
A	4.0	1.0	1.0	3.0	5.7
A1&A2	1.0	3.0	1.0	3.0	1.6
B	18.0	11.0	21.0	8.8	441.0
C	14.0	1.8	26.0	6.8	374.8
D	14.0	2.8	1.0	10.8	111.8
E	42.0	0.0	26.0	6.8	1114.8
F	18.0	6.0	4.0	1.8	80.4
G	18.0	4.0	1.0	9.8	180.6
H	15.0	9.8	1.0	1.8	15.8
HI	1.0	1.8	1.0	1.8	0.6
I	23.0	0.8	34.0	4.0	781.1
J	4.0	4.8	12.0	6.0	94.7
K	22.0	2.8	22.0	8.8	498.8
L	4.0	4.8	1.0	9.8	32.6
M	3.0	6.0	1.0	6.0	9.3
P1&P2	1.0	0.0	1.0	6.0	1.8
TOTAL FIRST FLOOR					3681.0
SECOND FLOOR					
N	10.0	3.8	14.0	9.0	151.8
O	16.0	0.8	18.0	5.0	341.3
Q	6.0	3.8	1.0	6.0	9.4
O1&O2	1.0	6.0	1.0	6.0	2.3
TOTAL SECOND FLOOR					410.8
TOTAL FAR					4091.8
R	8.0	1.0	6.0	3.8	50.8
TOTAL LOT COVERAGE					3731.8
S	20.0	10.8	11.0	11.0	248.8
(E) COVERED PATIO TO BE REMOVED					249.0

3 SECOND FLOOR AREA DIAGRAM
SCALE 1/8" = 1'-0"

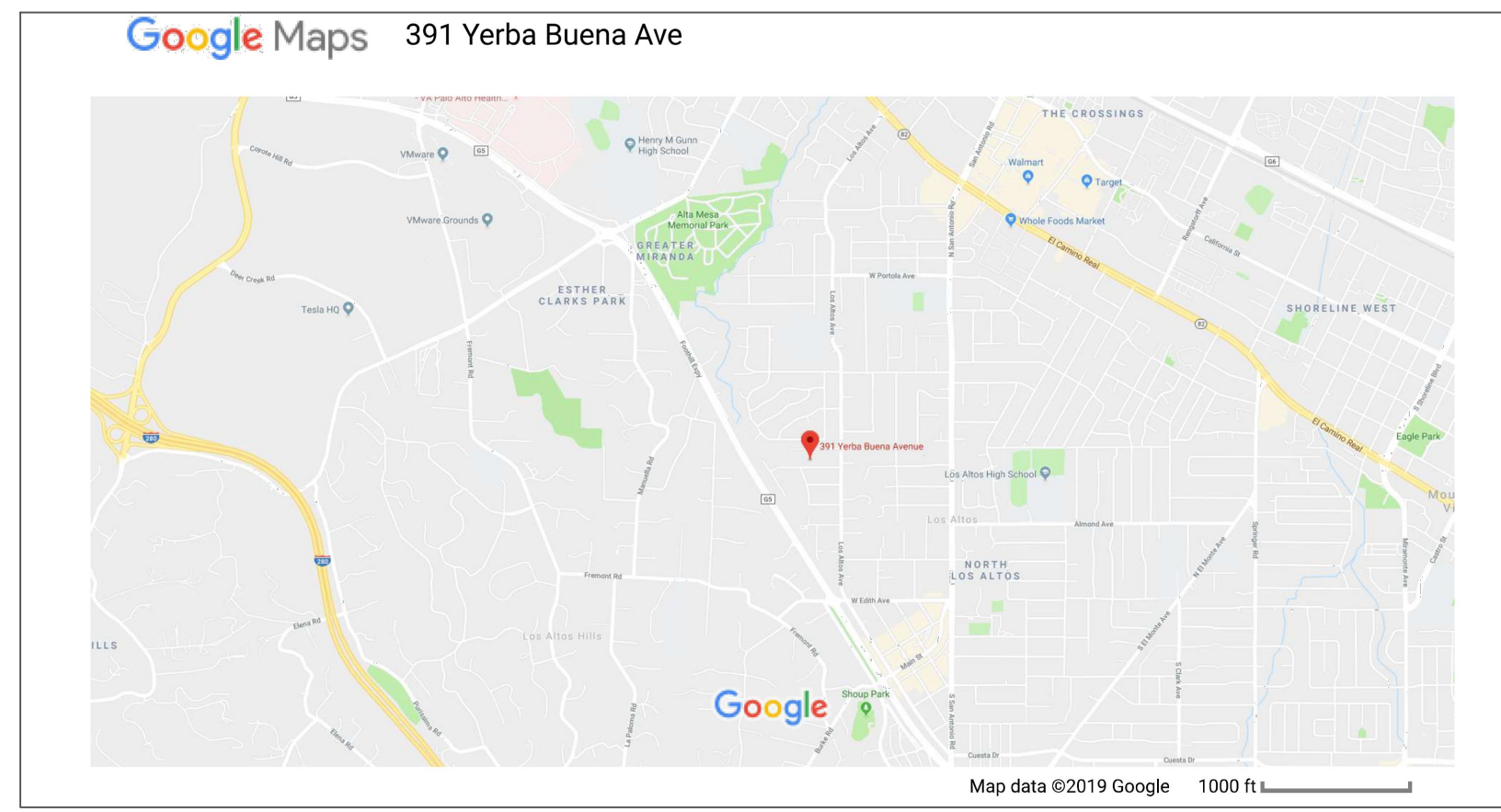
CORNELIA HABER
RESIDENTIAL DESIGN

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KRIKHELI RESIDENCE
391 YERBA BUENA AVE., LOS ALTOS, CA 94022

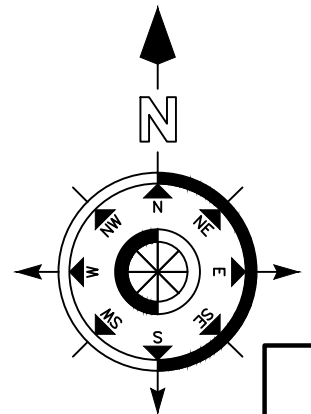
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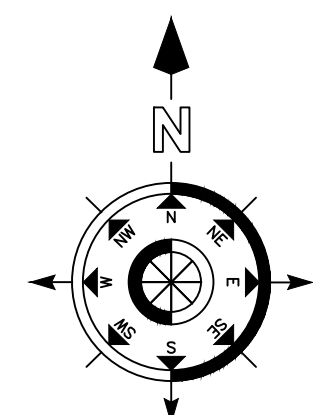
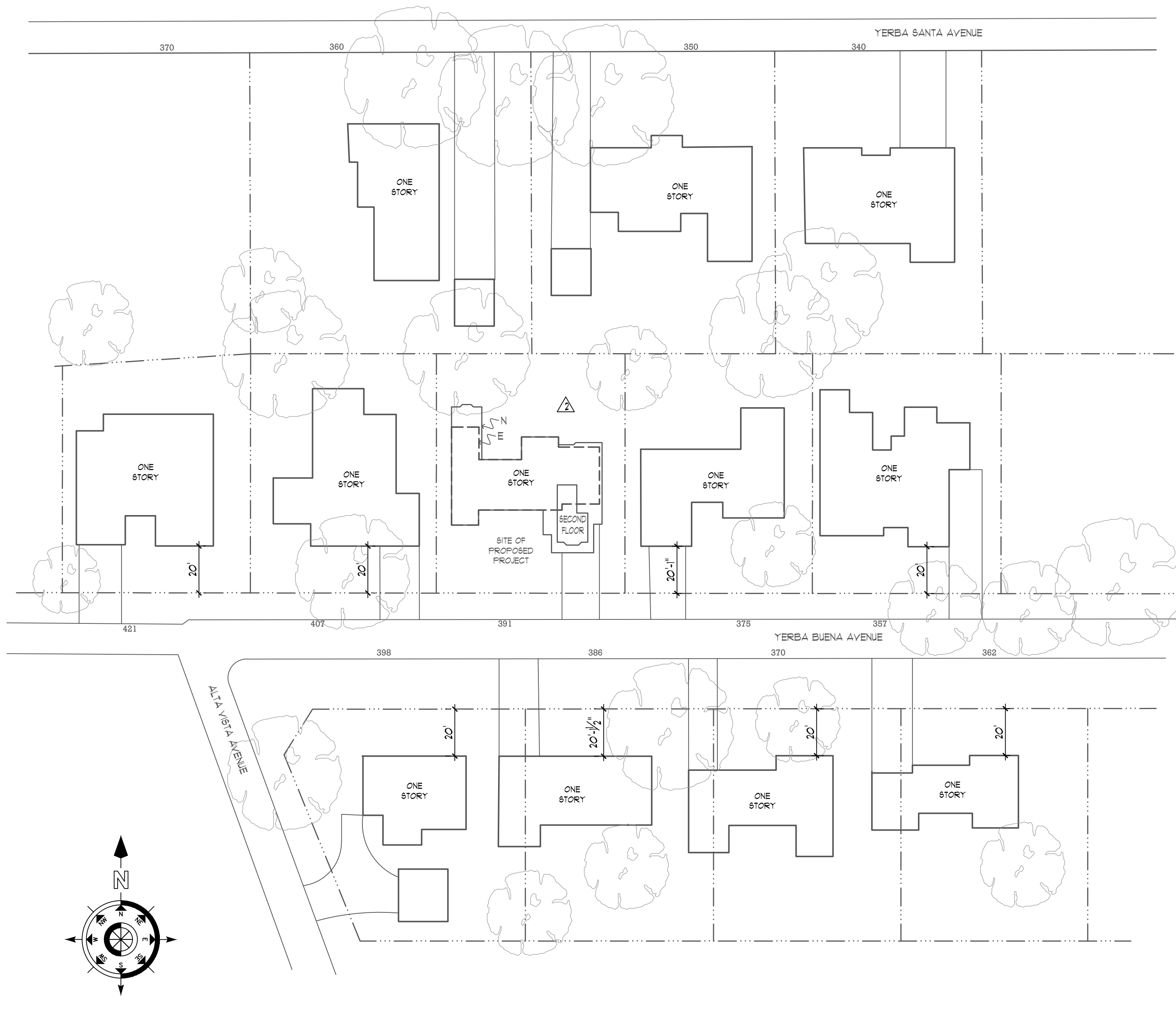


TWO STORY HOMES NEAR BY:

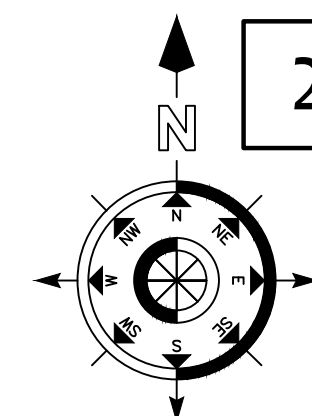
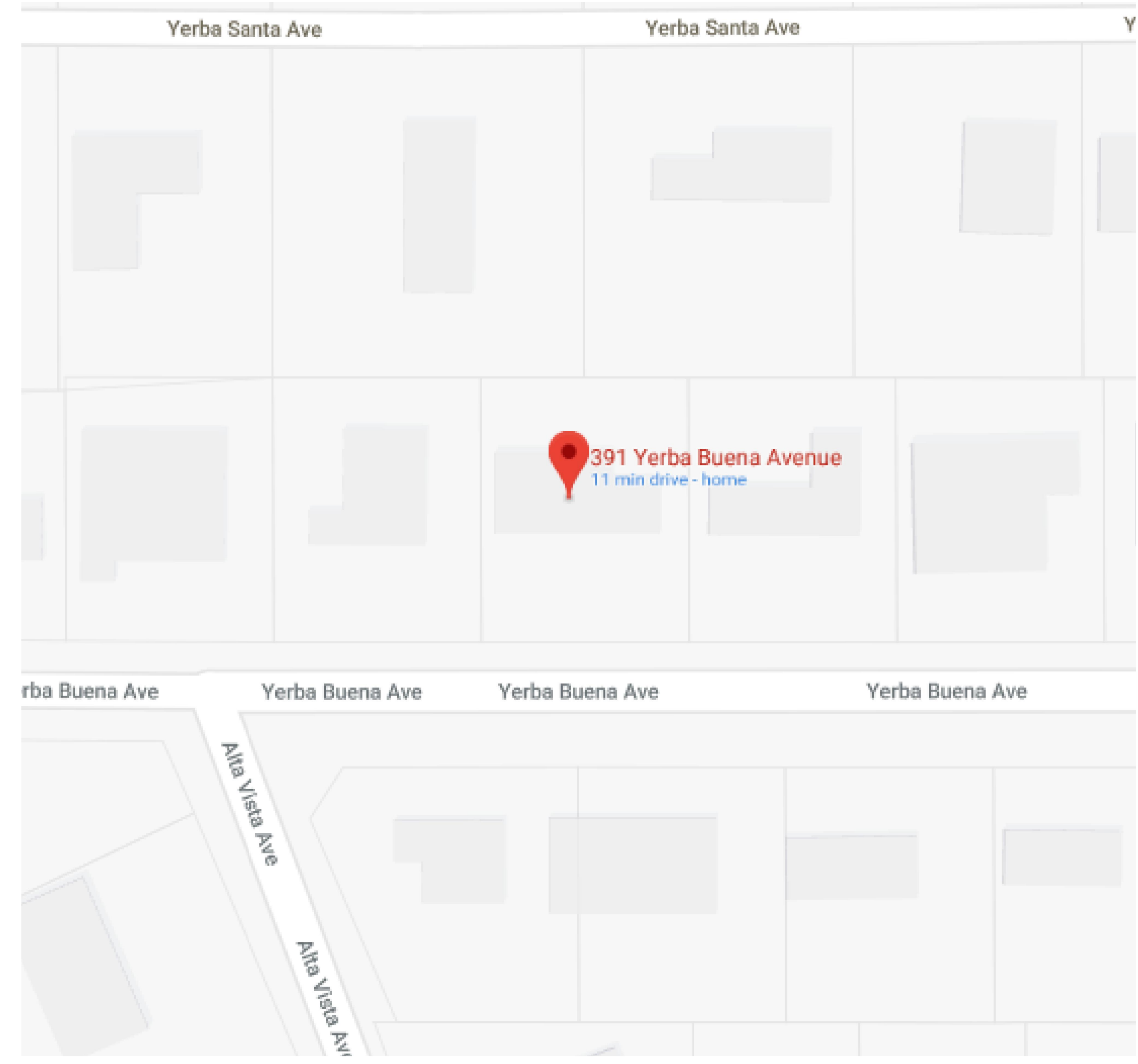
- 445 YERBA BUENA
- 444 YERBA BUENA
- 375 LOS ALTOS AVE.
- 306 ALTA VISTA
- 278 ALTA VISTA
- 261 ALTA VISTA
- 270 ALTA VISTA
- 260 ALTA VISTA
- 390 CHAMISAL



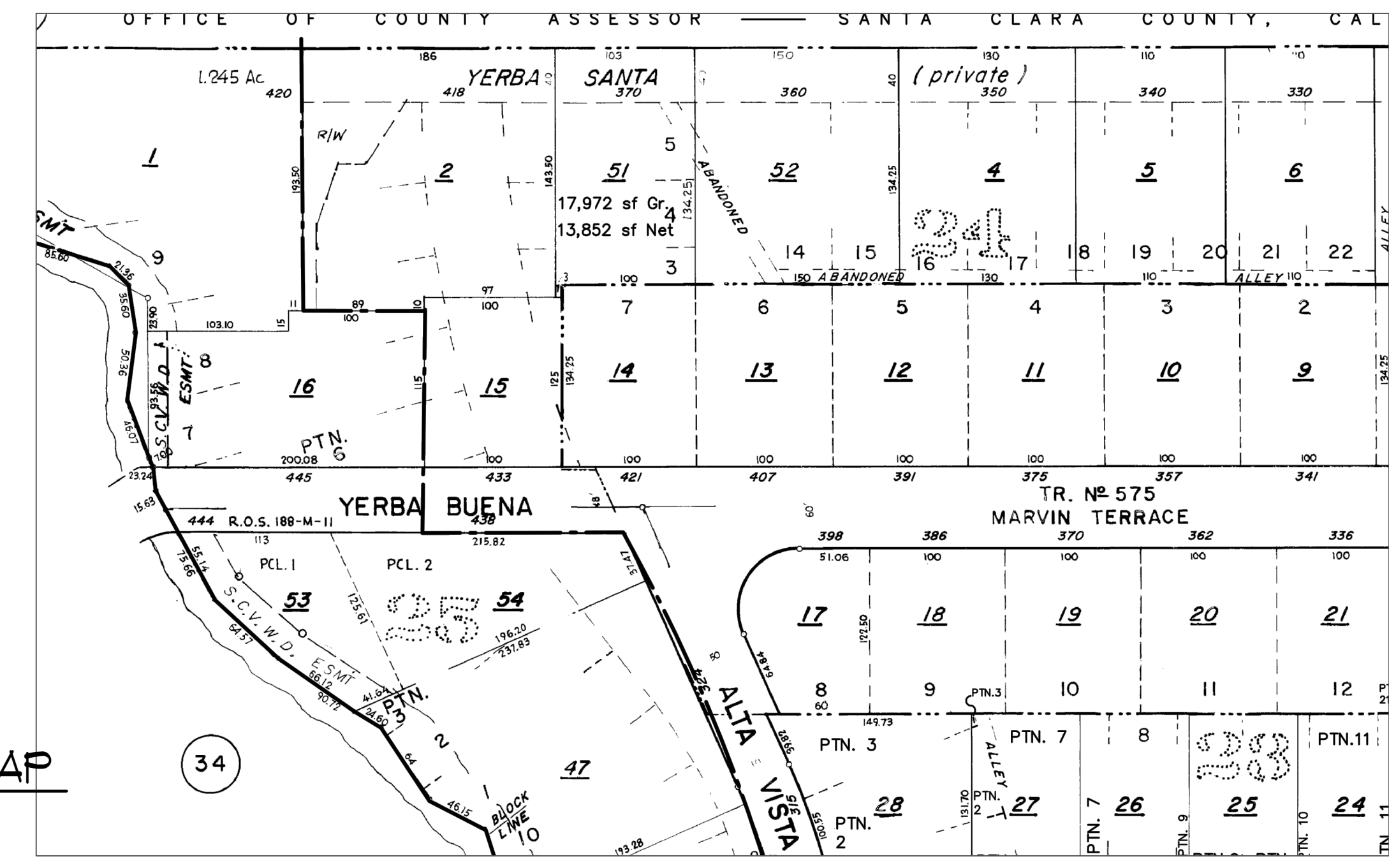
3 LOCATION MAP
N.T.S.



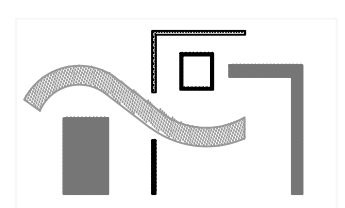
1 NEIGHBORHOOD CONTEXT MAP
SCALE 1/40" = 1'-0"



2 VICINITY MAP
SCALE 1/40" = 1'-0"



4 ASSESSOR'S MAP
N.T.S.



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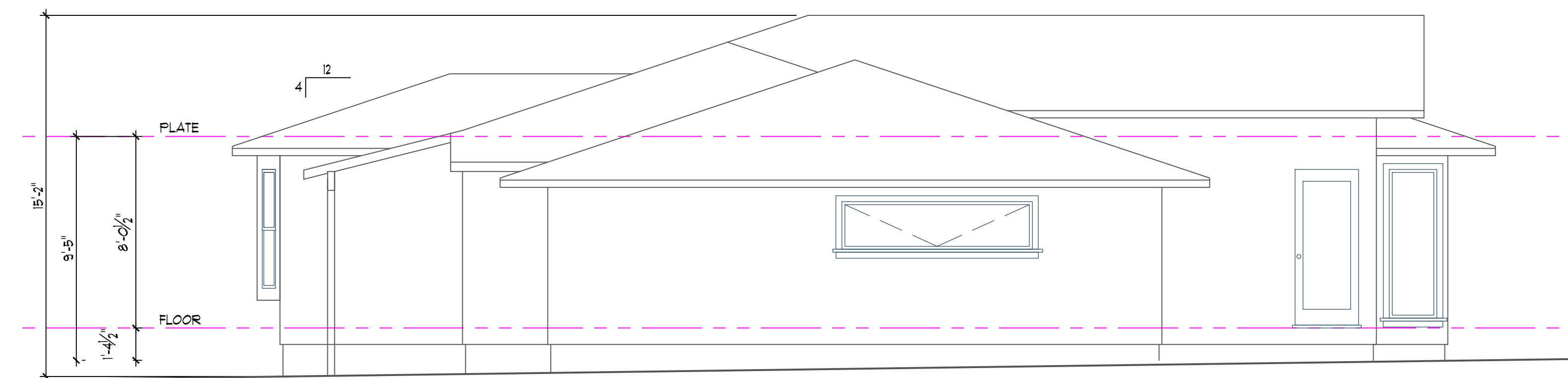
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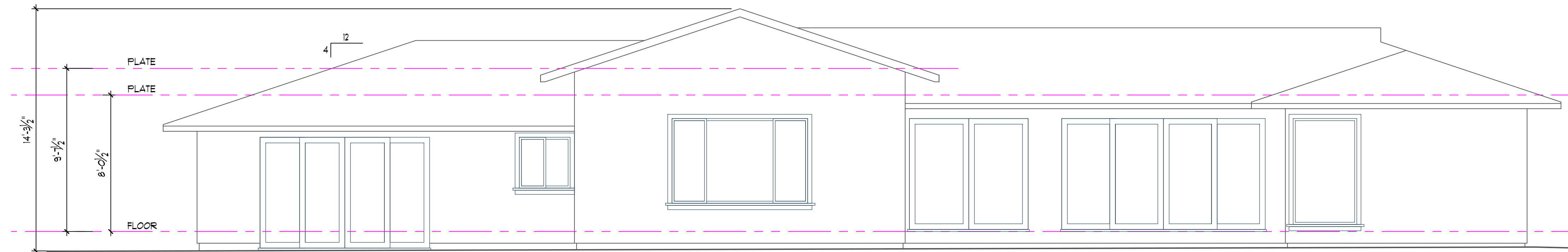
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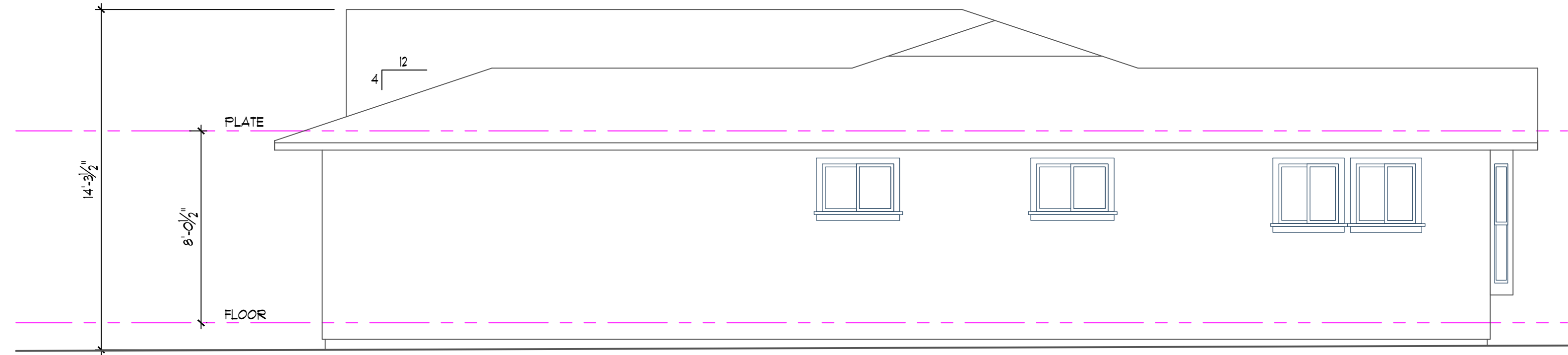
1 EXISTING FRONT ELEVATION
SCALE $\frac{1}{4}'' = 1'-0''$



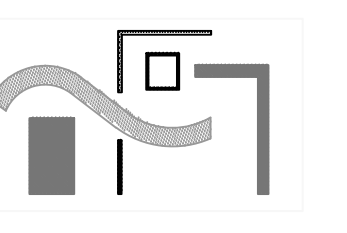
2 EXISTING RIGHT SIDE ELEVATION
SCALE $\frac{1}{4}'' = 1'-0''$



3 EXISTING REAR ELEVATION
SCALE $\frac{1}{4}'' = 1'-0''$



4 EXISTING LEFT SIDE ELEVATION
SCALE $\frac{1}{4}'' = 1'-0''$



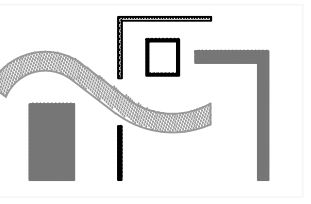
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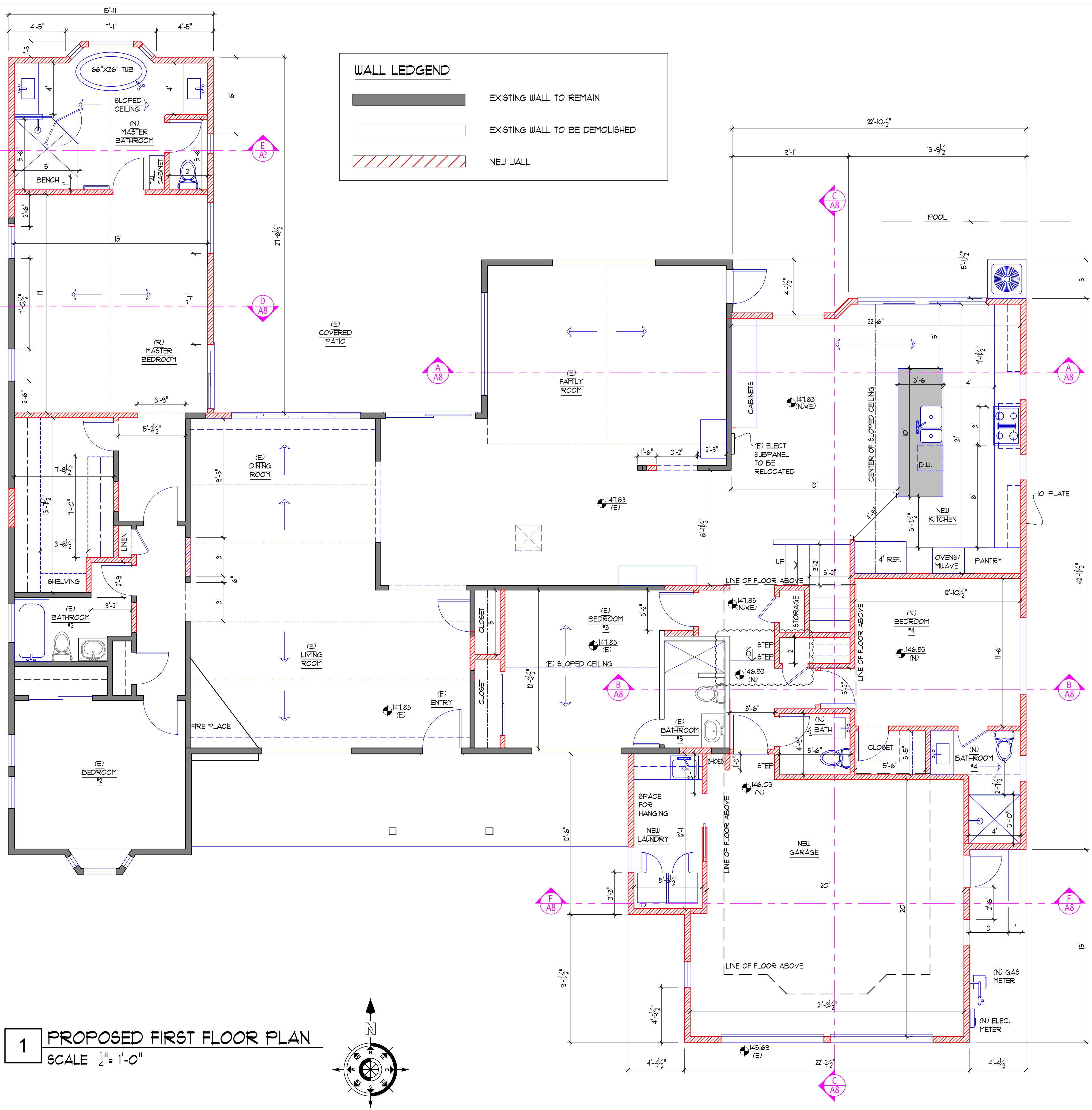
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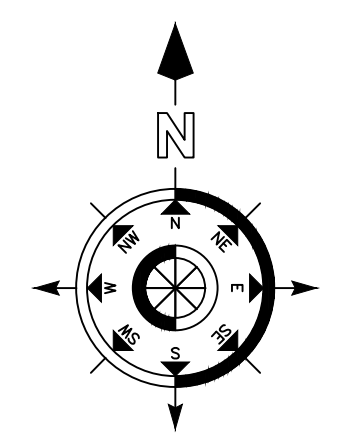
A3

WALL LEGEND

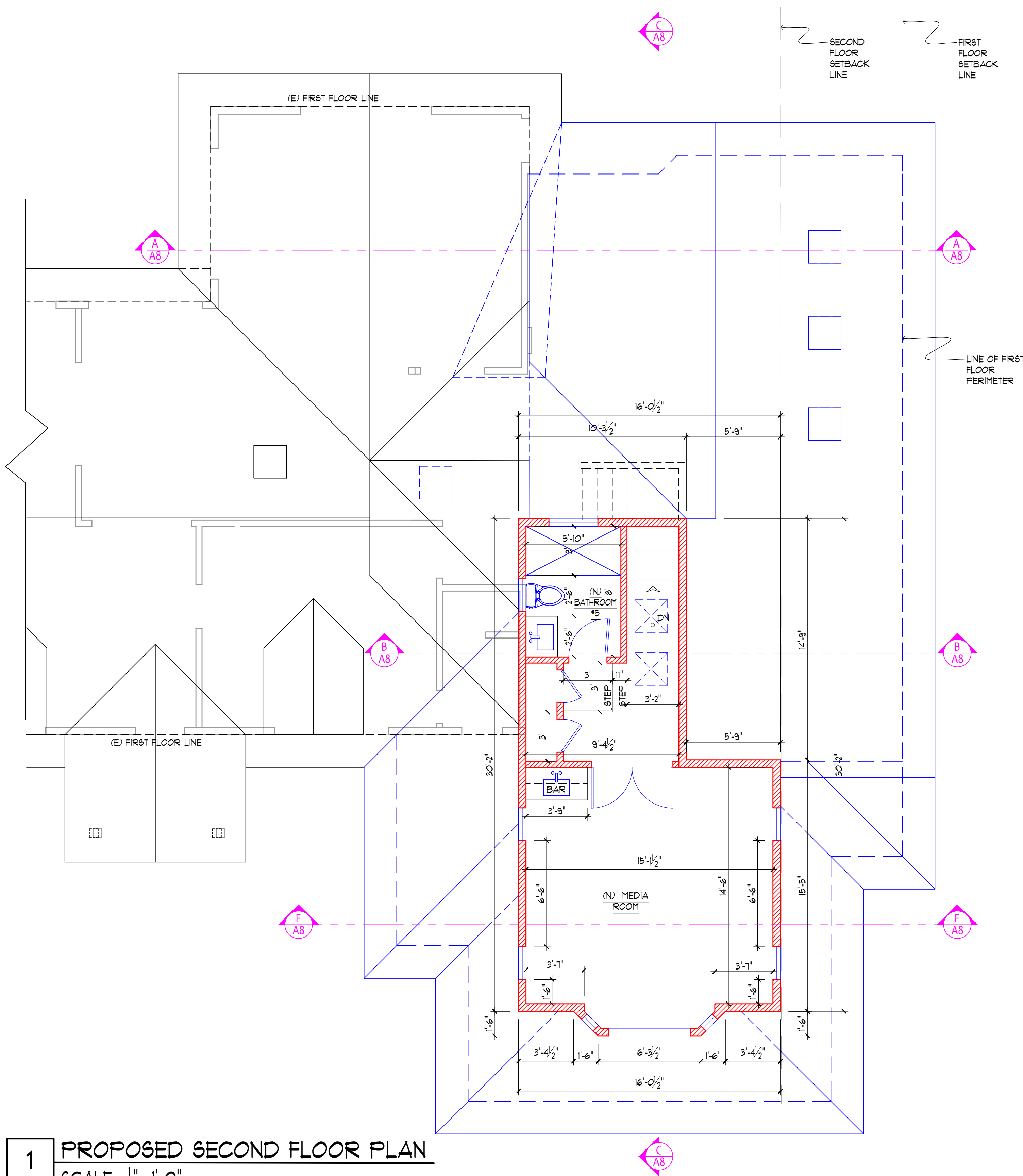
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL



1 PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



WALL LEDGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL



1 PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

PERFORMANCE™ 14 COMPACT CENTRAL AIR CONDITIONER 24AHA4

OUR LOCAL EXPERTS IN LOS ALTOS ARE AVAILABLE TO ANSWER ANY QUESTIONS AND SELECT THE RIGHT SYSTEM FOR YOU. [FIND A CARRIER® EXPERT IN YOUR AREA](#)



EFFICIENCY :
14 SEER
QUIET LEVEL :
Good
COMFORT FEATURES :
Good

[EMAIL PRODUCT INFO](#)

• 10-year parts limited warranty²

OPTIONAL FEATURES

- Low Ambient Kit
- Optional labor warranty available³

¹ Quietest size within each model group during most common operating condition.
² To the original owner, when product is used in an owner-occupied residence, a 10-year parts limited warranty upon timely registration of your new equipment. Warranty period is 5 years if not registered within 90 days. Jurisdictions where warranty benefits cannot be conditioned on registration will automatically receive a 10-year parts limited warranty. See warranty certificate for complete details.
³ Ask your Carrier® dealer for details.

Specifications

EFFICIENCY

- 14 SEER
- 12.2 EER

PERFORMANCE

- Sound: as low as 66 decibels¹

OUTDOOR OPERATING RANGE

- Cooling mode Min-Max DB: Varies by unit size and voltage. Range is -20° ~ 125° F (-28° ~ 52° C) (w/ Low Ambient Kit)

TECHNOLOGY

- Single-stage scroll compressor
- Filter drier
- Recommended control: Carrier® Cōr™ thermostat

CAPACITIES

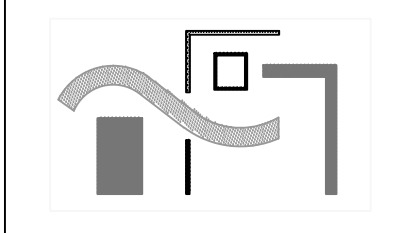
- 1.5-5 ton

REQUIREMENTS

- 208-230 V

AESTHETICS

- Heavy-gauge, galvanized steel construction
- Baked-on, durable powder coat paint
- Wire coil guard



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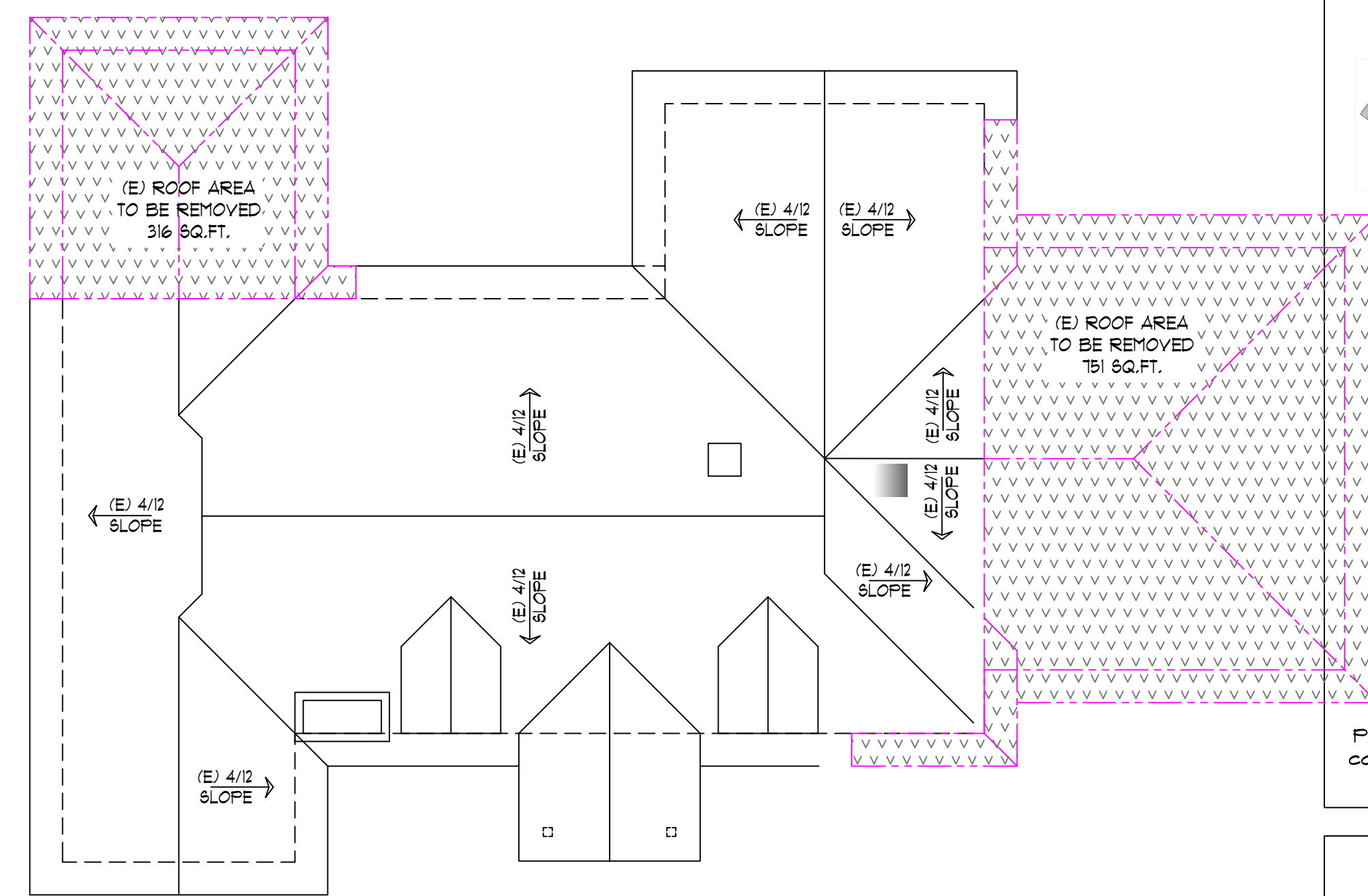
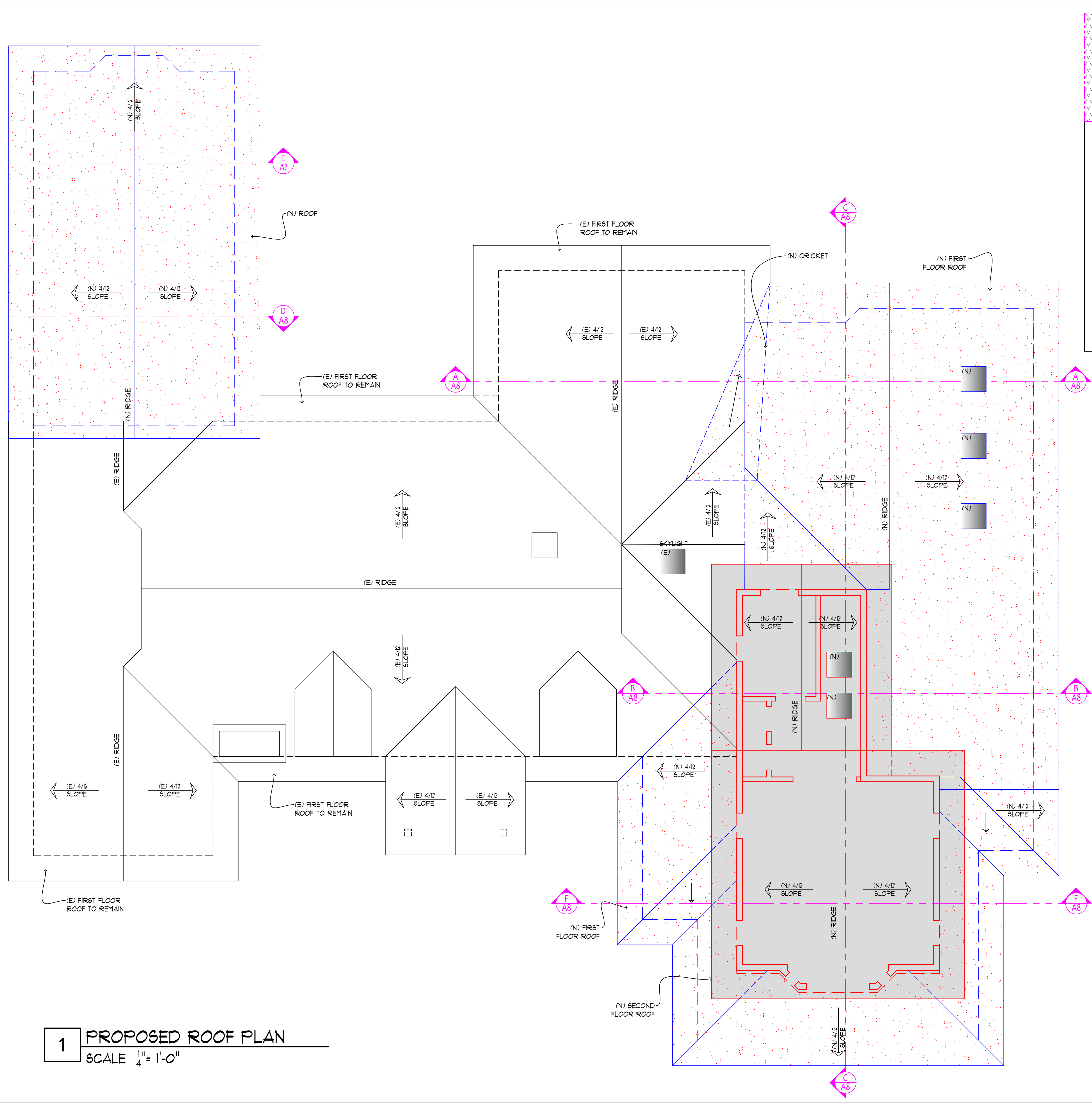
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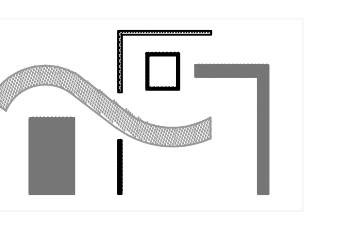


2 EXISTING AND DEMO ROOF PLAN
SCALE 1/8" = 1'-0"

ROOF AREA CALCULATIONS

EXISTING ROOF AREA	3,198 SQ.FT.
ROOF AREA TO BE REMOVED	1,061 SQ.FT.
ROOF AREA TO BE REMODELED	0
RATIO OF ROOF TO BE DEMOLISHED:	
1,061/ 3,198 = 33.3%	

1 PROPOSED ROOF PLAN
SCALE 1/4" = 1'-0"



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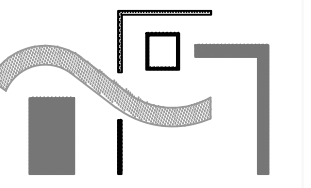
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A5



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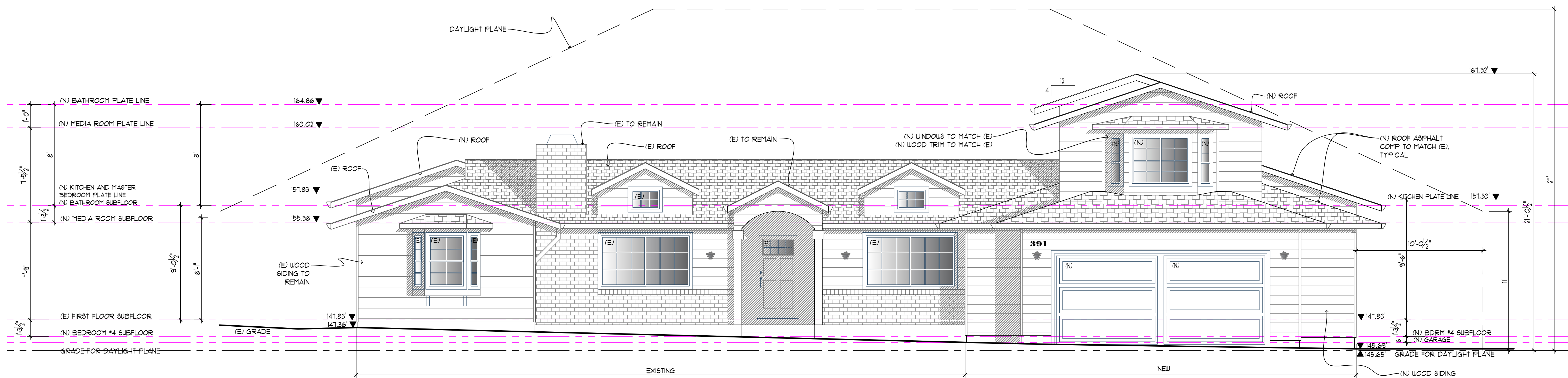
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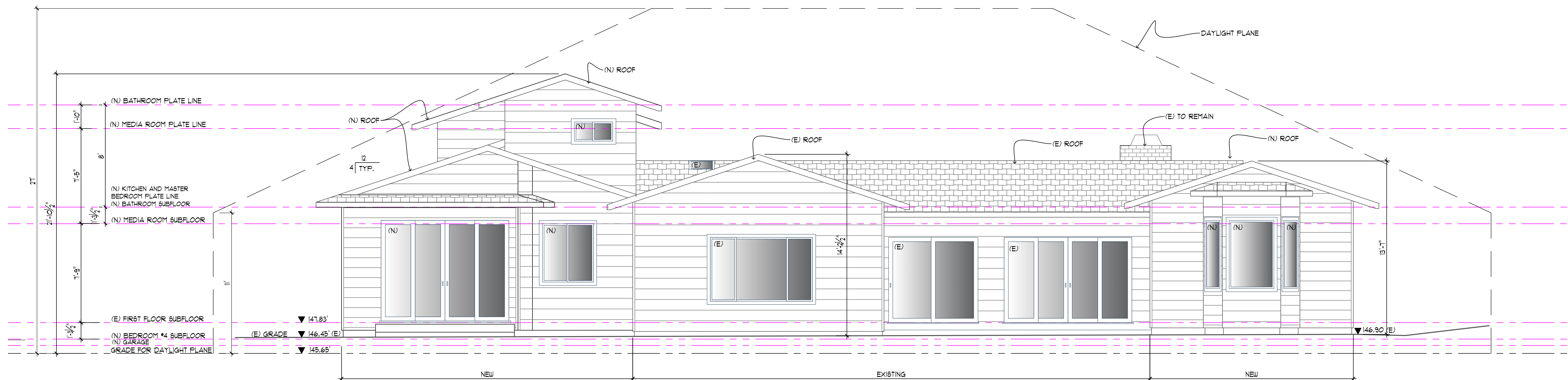
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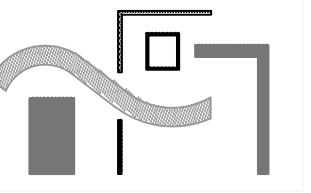
A6



1 FRONT ELEVATION
SCALE 1/4" = 1'-0"



2 REAR ELEVATION
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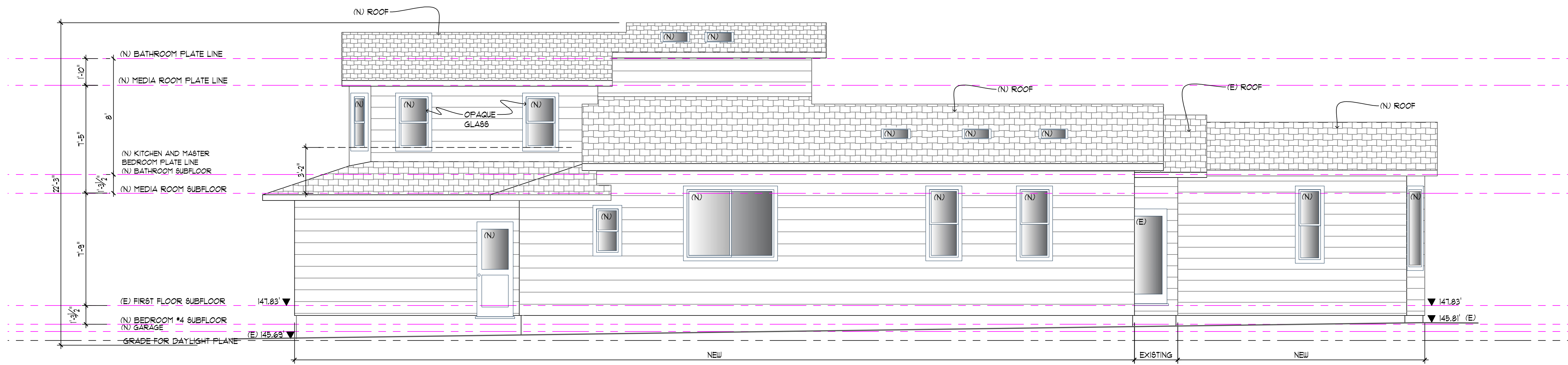
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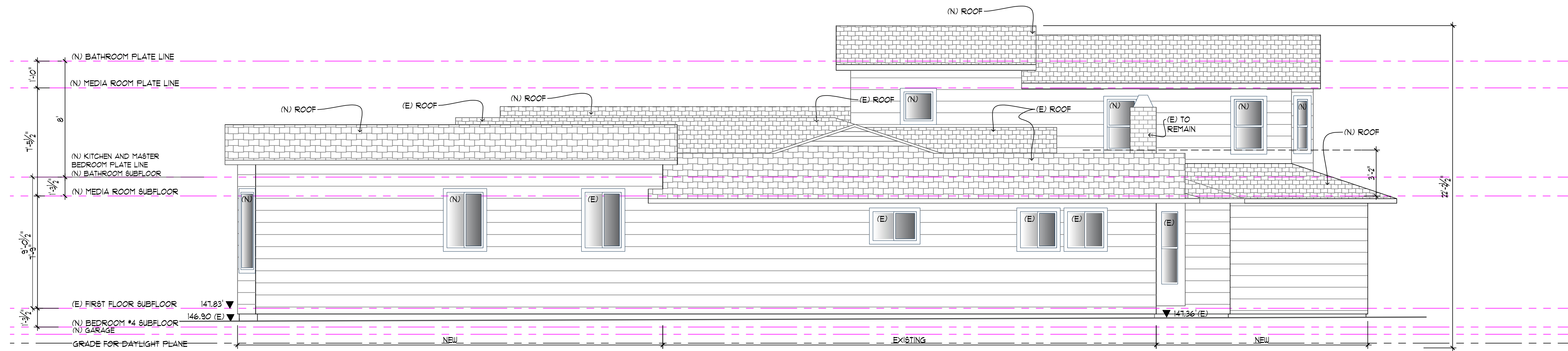
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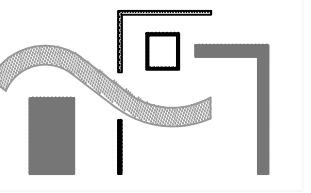
A7



1 RIGHT SIDE ELEVATION
SCALE 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
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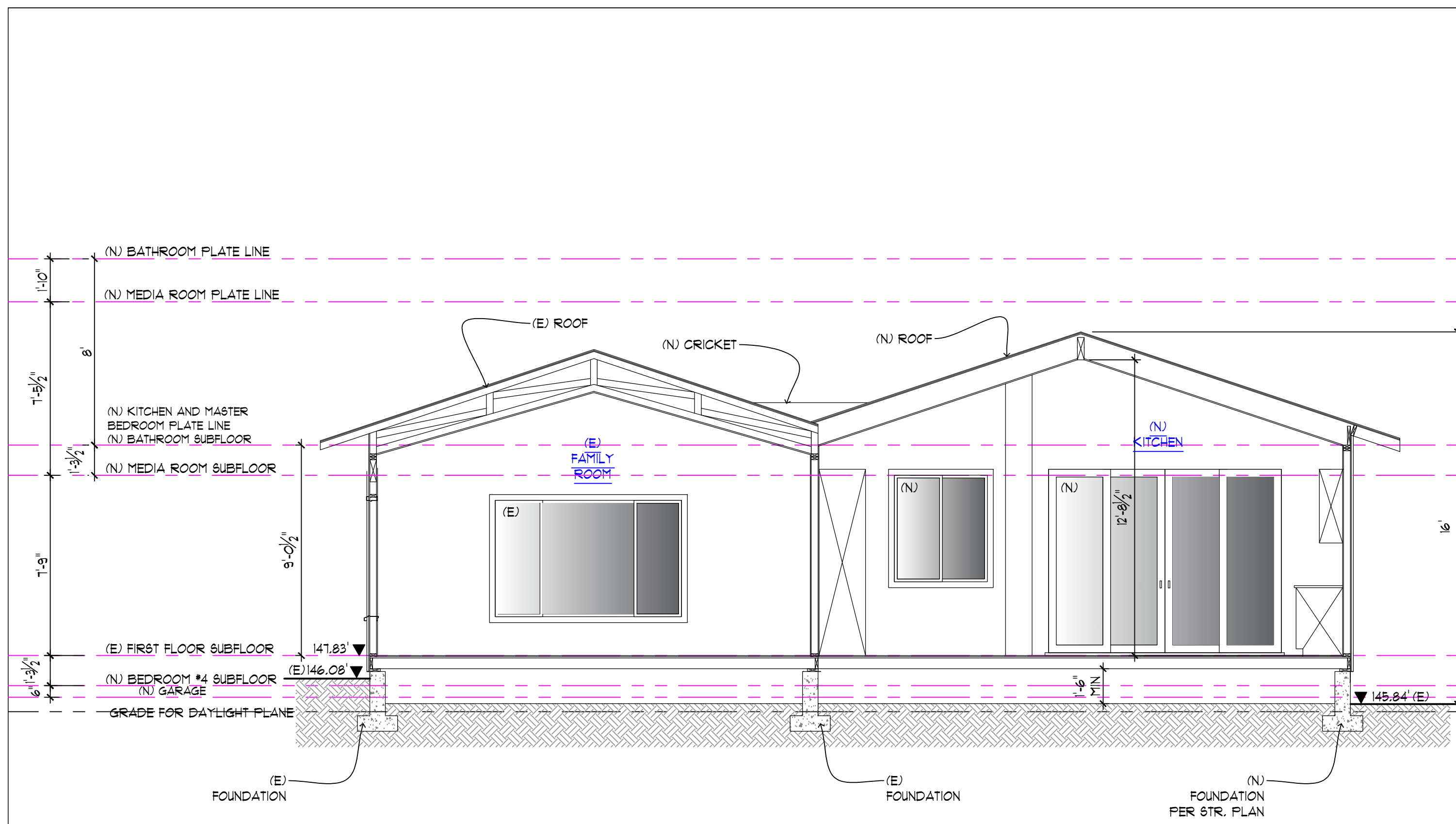
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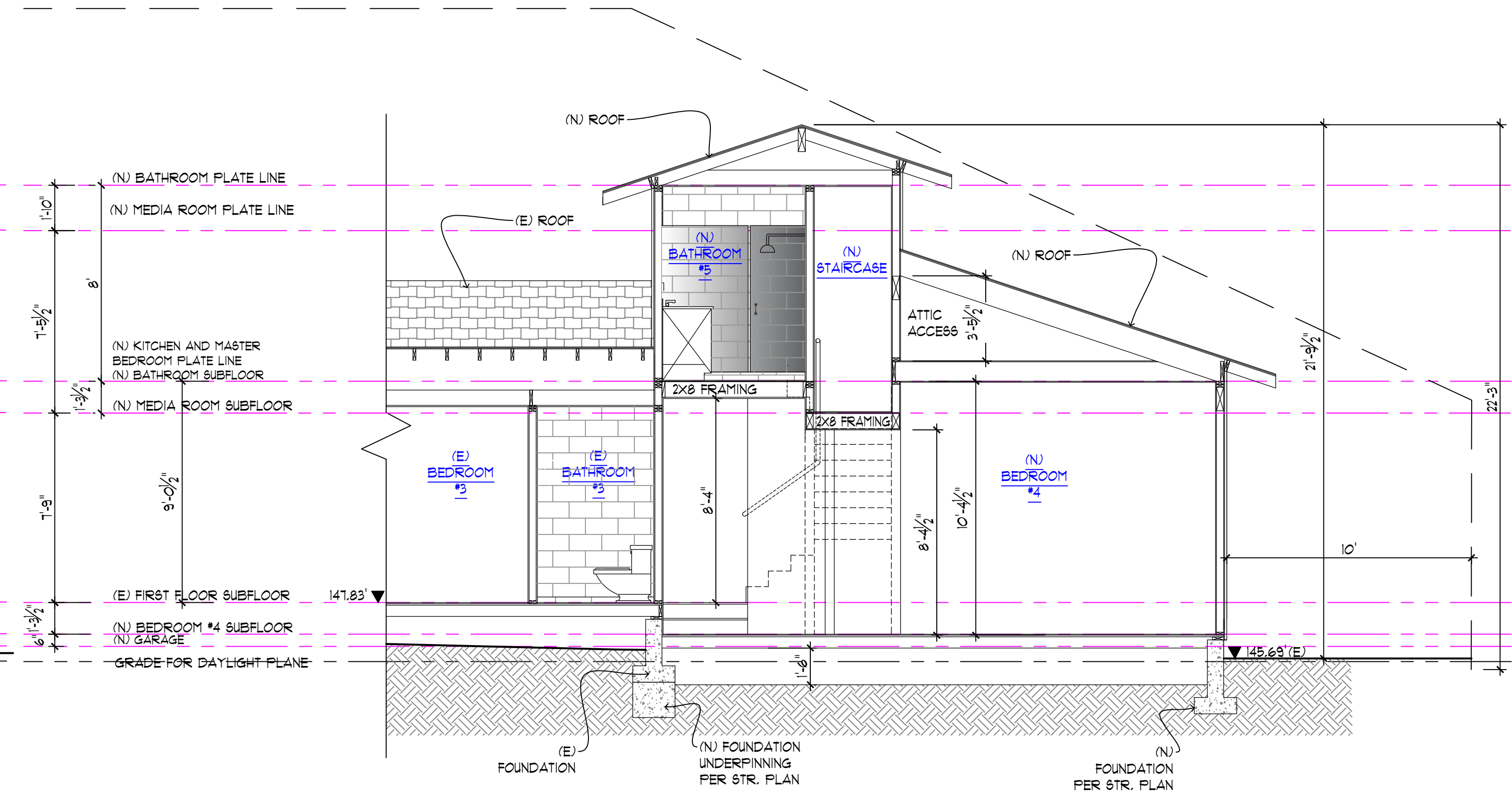
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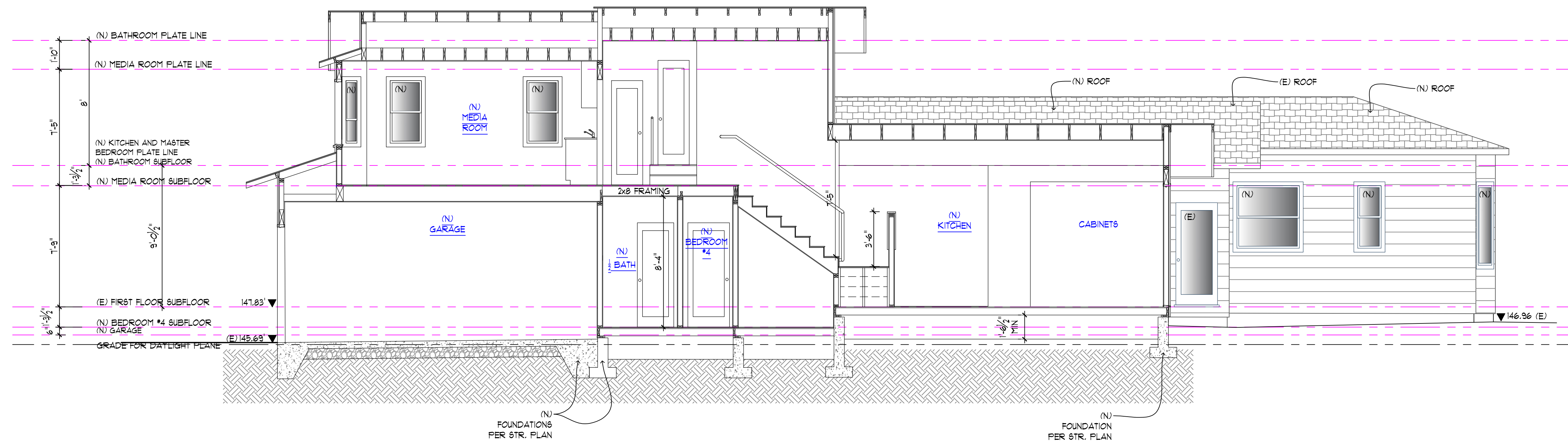
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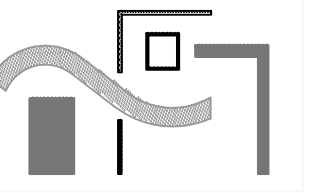
1 SECTION A-A
SCALE $\frac{1}{4}'' = 1'-0''$



2 SECTION B-B
SCALE $\frac{1}{4}'' = 1'-0''$



3 SECTION C-C
SCALE $\frac{1}{4}'' = 1'-0''$



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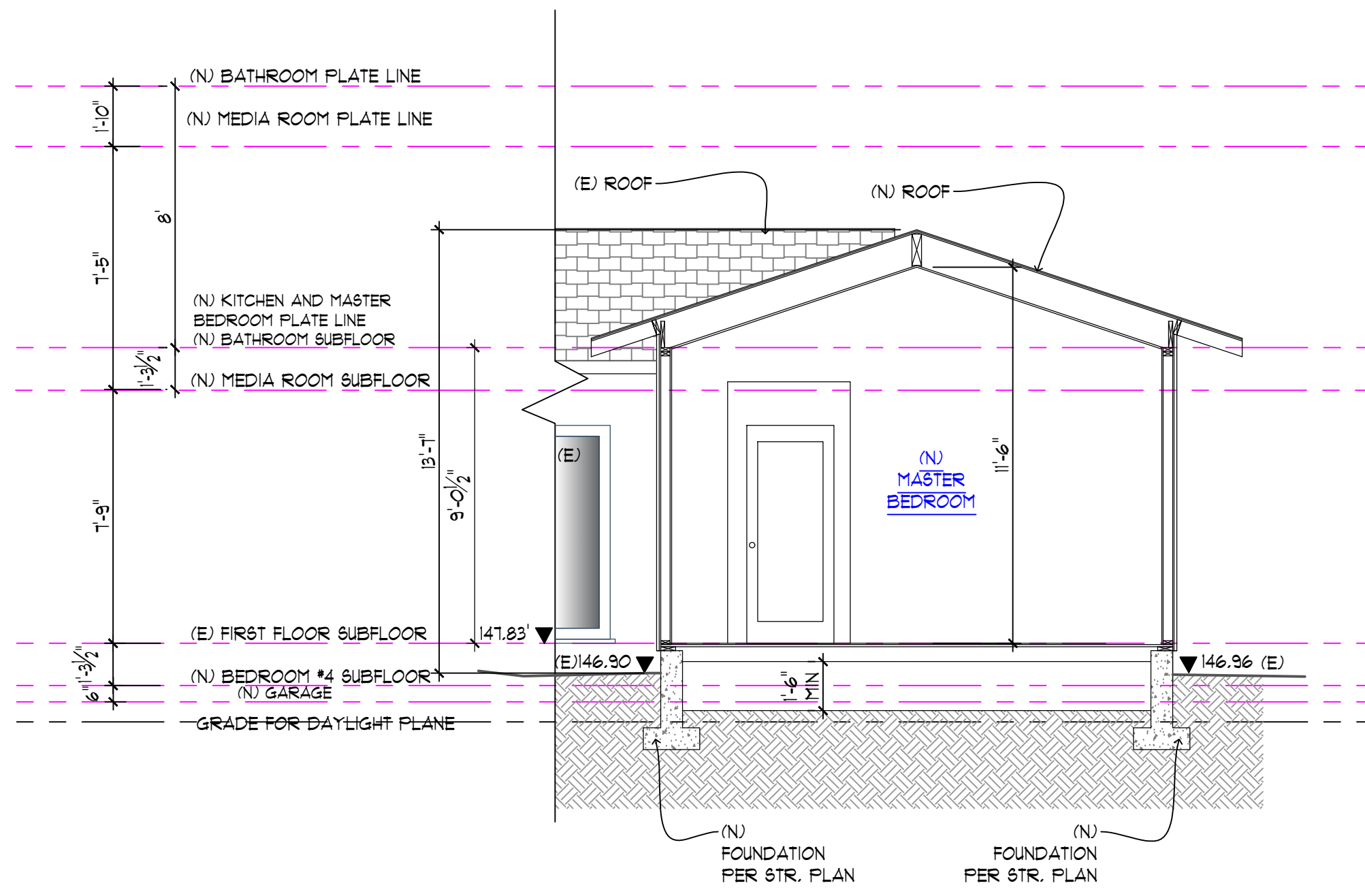
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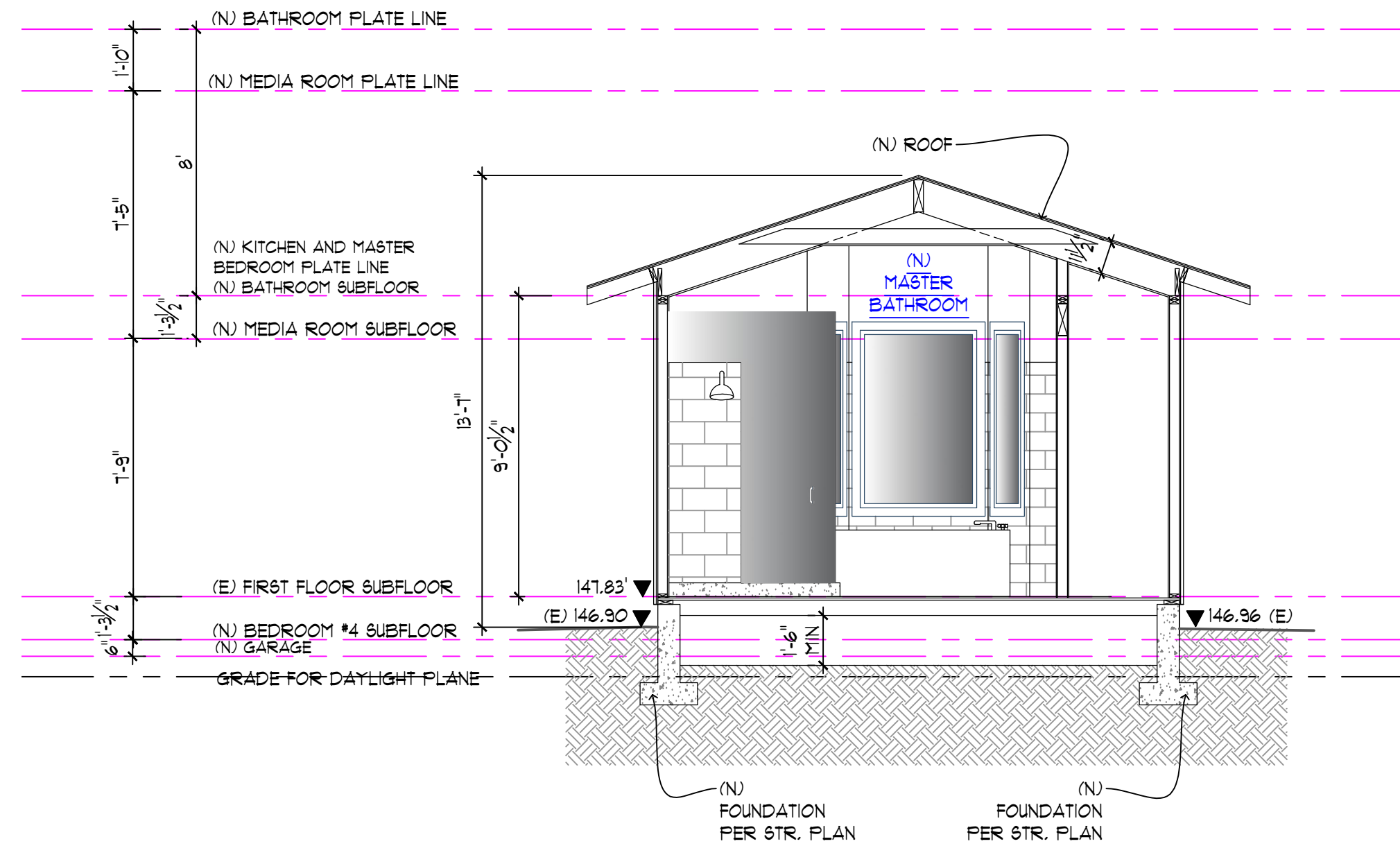
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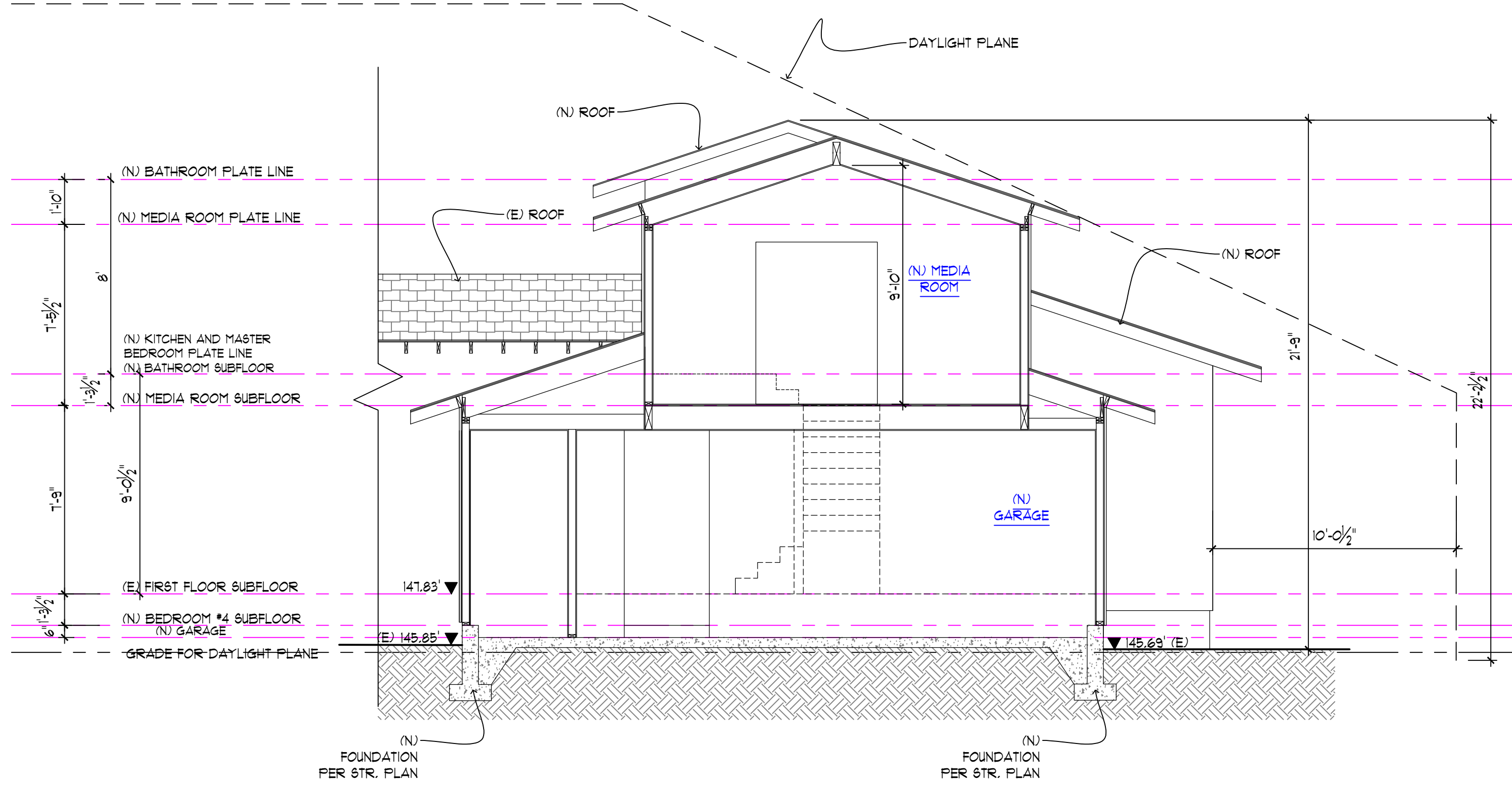
A9



1 SECTION D-D
SCALE 1/4" = 1'-0"



2 SECTION E-E
SCALE 1/4" = 1'-0"



3 SECTION F-F
SCALE 1/4" = 1'-0"