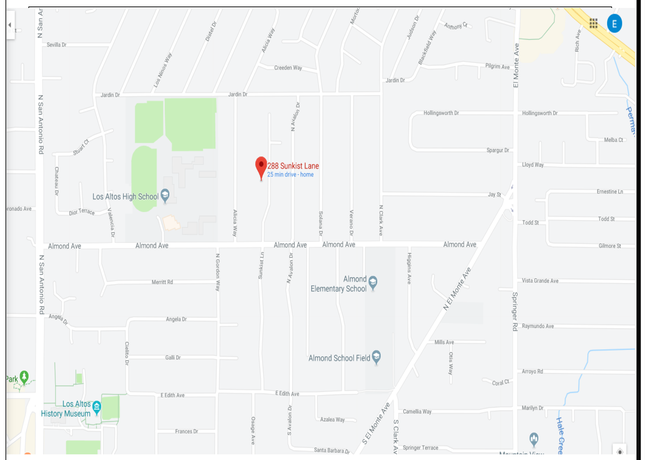
REMODELING & ADDITION

288 SUNKIST LN. LOS ALTOS, CA 94022

VICINITY MAP



☑ PLANNING DEPARTMENT ☑ DESIGN REVIEW SUBMITTAL ☐ BUILDING DEPARTMENT ☐ PLAN CHECK SUBMITTAL (NOT FOR CONSTRUCTION) ☐ APPROVED FOR CONSTRUCTION

ZONING COMPLIANCE

SHEET INDEX

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A-4	EXISTING & DEMOLITION SECOND FLOOR PLAN
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A-7	EXISTING & PROPOSED RIGHT ELEVATIONS
A-8	EXISTING & PROPOSED REAR ELEVATIONS
A-9	EXISTING & PROPOSED LEFT ELEVATIONS
A-10	EXISTING & PROPOSED ROOF PLANS
A-11	BUILDING SECTIONS

CONSULTANTS

1- OWNER	Mr. & Mrs. SANATKHANI 288 SUNKIST LN. LOS ALTOS, CA 95022	TEL: (408) 410-6252 E-MAIL: mahmoud@msengineering.net	
2- ARCHITECTURAL	RJ DESIGN 1404 PRIMROSE WAY CUPERTINO, CA 95014	TEL: (408) 371-5514 E-MAIL: rjn2248@gmail.com	
3- CIVIL & STRUCTURAL	MS ENGINEERING 5149 MOORPARK AVE. SUITE 208-B SAN JOSE, CA. 95129	TEL: (408) 377-6504 E-MAIL: mahmoud@msengineering.net	

PROJECT DATA

A.P.N.:		170-22-038
ZONING:		R1-10
LOT SIZE:		13,000 SQ. FT.
TYPE OF OCCUPANCY:		R3/U
TYPE OF CONSTRUCTION:		V-B
MAXIMUM LOT COVERAGE FOR TWO STORY BUILDING:	30%	3,900 SQ. FT.
MAXIMUM FLOOR AREA & RATIO:	35%+ (10% x 2,000)	4,050 SQ. FT.
MAXIMUM BUILDING HEIGHT FROM NATURAL GRADE:		27'-0"
EXISTING LIVING AREA:		2,573 + 621 = 3,194 SQ. FT.
EXISTING GARAGE AREA:		503 SQ. FT.
FIRE SPRINKLER:		NO

HARDSCAPE AREA:

BUILDING FOOTPRINT	3,332 SQ. FT.
BACK PORCH	1,771 SQ. FT.
FRONT PORCH	25 SQ. FT.
WALKWAY	463 SQ. FT.
DRIVEWAY	590 SQ. FT.
DECKS	166 SQ. FT.
TOTAL:	6,347 SQ. FT.

PROJECT DESCRIPTION:
ADD A BEDROOM AND A BATH ON SECOND FLOOR (244 SQ. FT.).

THE ADDRESS OF THE RESIDENCE SHALL BE PROVIDED AND PLACED IN POSITION THAT IS READILY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.

APPLICABLE CODES:

CALIFORNIA BUILDING CODE:	2016 EDITION
CALIFORNIA RESIDENTIAL CODE:	2016 EDITION
CALIFORNIA ELECTRICAL CODE:	2016 EDITION
CALIFORNIA MECHANICAL CODE:	2016 EDITION
CALIFORNIA PLUMBING CODE:	2016 EDITION
CALIFORNIA ENERGY CODE:	2016 EDITION
CALIFORNIA FIRE CODE:	2016 EDITION
CALIFORNIA GREEN BUILDING CODE:	2016 EDITION

ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

	Existing	Proposed	Allowed/Required
LOT COVERAGE: Land area covered by all structures that are over 6 feet in height	3,332 sq. ft. (25.63%)	3,332 sq. ft. (25.63%)	3,900 sq. ft. (30.00%)
FLOOR AREA: Measured to the outside of exterior walls.	1st Flr: 3,074 sq. ft. 2nd Flr: 621 sq. ft. Total: 3,695 sq. ft.	1st Flr: 3,074 sq. ft. 2nd Flr: 865 sq. ft. Total: 3,939 sq. ft.	4,050 sq. ft. (35% x 11,000) + (10% x 2,000)
SETBACKS: Front Rear Right side (1st/2nd) Left side (1st/2nd)	25.0 ft. 42.2 ft. 12.2 ft./ 38.9 ft. 12.0 ft./ 29.0 ft.	25.0 ft. 42.2 ft. 12.2 ft./ 38.9 ft. 12.0 ft./ 17.6 ft.	25.0 ft. 25.0 ft. 10.0 ft./ 17.5 ft. 10.0 ft./ 17.5 ft.
HEIGHT:	25.25 ft.	25.25 ft.	27.00 ft.

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: Includes habitable basement area	1st Flr: 2,572 sq. ft. 2nd Flr: 621 sq. ft. Total: 3,193 sq. ft.	1st Flr: 0 sq. ft. 2nd Flr: 244 sq. ft. Total: 244 sq. ft.	1st Flr: 2,572 sq. ft. 2nd Flr: 865 sq. ft. Total: 3,437 sq. ft.
NON-HABITABLE AREA: Does not include covered porches or open structures.	502 sq. ft.	0 sq. ft. △	502 sq. ft.

LOT CALCULATIONS

NET LOT AREA:	13,000 sq. ft.
FRONT YARD HARDSCAPE AREA:	708 sq. ft. (28.32%)
LANDSCAPE BREAKDOWN:	Total hardscape area (existing and proposed): 6,347 sq. ft. Existing softscape (undisturbed) area: 6,653 sq. ft. New softscape area: 0 sq. ft. Sum of all three should equal the site's net lot area

REVISIONS	BY
△	
△	
△	
△	
△	
△	

CLIENT'S REVISIONS	BY
☐	
☐	
☐	
☐	
☐	
☐	

Mr. & Mrs. Sanatkhani
288 Sunkist Ln.
Los Altos, CA 94022

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RJ DESIGN
1404 PRIMROSE WAY
CUPERTINO, CA. 95014
TEL: (408) 371-5514
E-MAIL: rjn2248@gmail.com

DATE: 05/15/19

SCALE: NONE

DRAWN: IL

JOB NO. SUNKIST LN.

A-0

OF SHEETS

REVISIONS	BY
1 01/08/19	IL

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

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RJ DESIGN
14204 PRIMROSE WAY
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TEL: (408) 371-5514
E-MAIL: rj0248@gmail.com

DATE: 12/05/17

SCALE: 1"=20'-0"

DRAWN: IL

JOB NO. SUNKIST LN

A-0.1

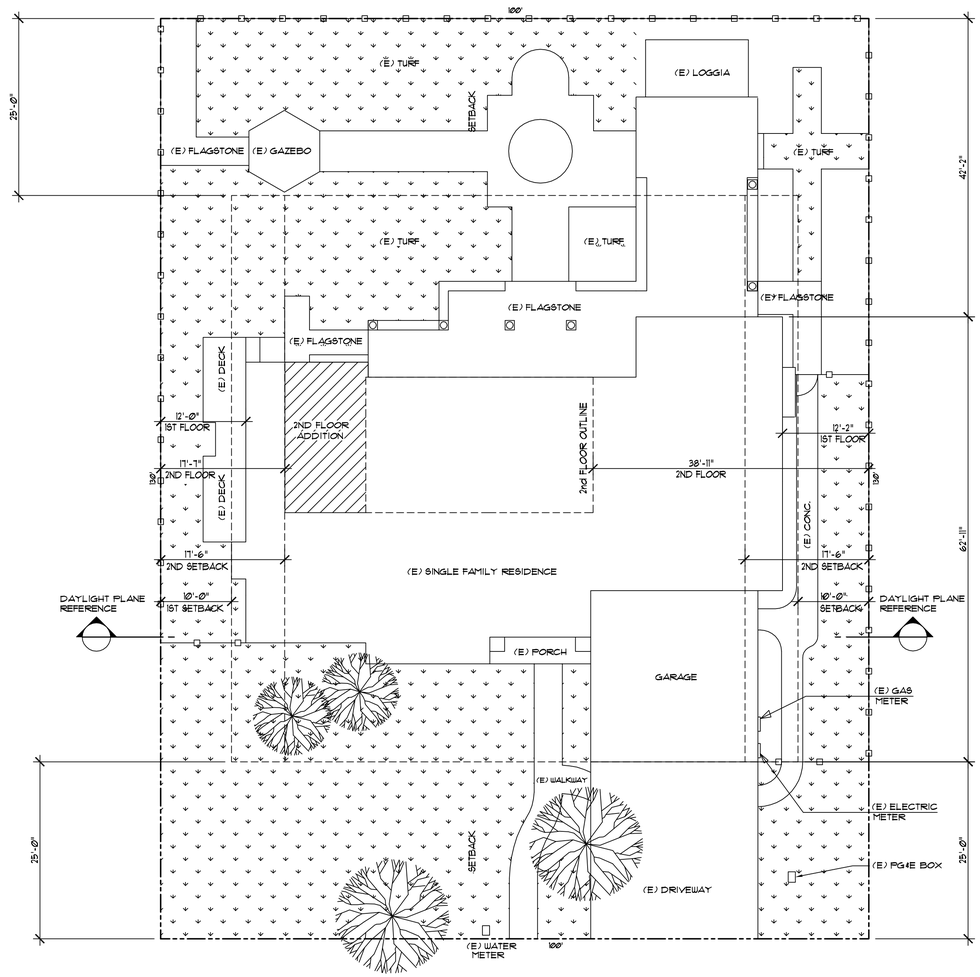
OF SHEETS

LEGENDS:

EXISTING BUILDING :

EXISTING CONCRETE AREA:

ADDITION TO BUILDING AREA:



SUNKIST LANE

(E) SANITARY SEWER MAN HOLE

PROPOSED SITE PLAN

(E) POWER POLE

N

GRAPHIC SCALE

10' 0 5' 10' 20' 40'

(IN FEET)
1 INCH = 10 FT.

REVISIONS	BY
1 01/08/19	IL

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

Mr. & Mrs. Sanatkhani
288 Sunkist Ln.
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CUPERTINO, CA. 95014
TEL: (408) 371-5514
E-MAIL: rjn22484@gmail.com

DATE: 12/05/17

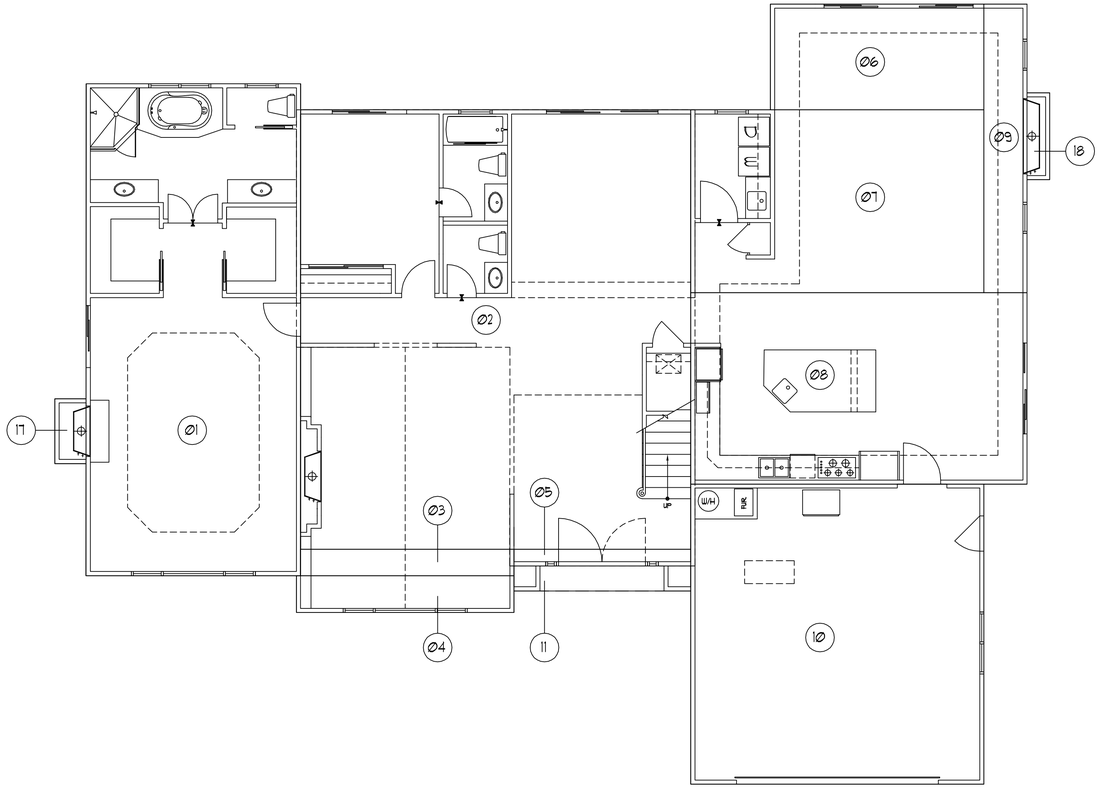
SCALE: 1" = 10'-0"

DRAWN: IL

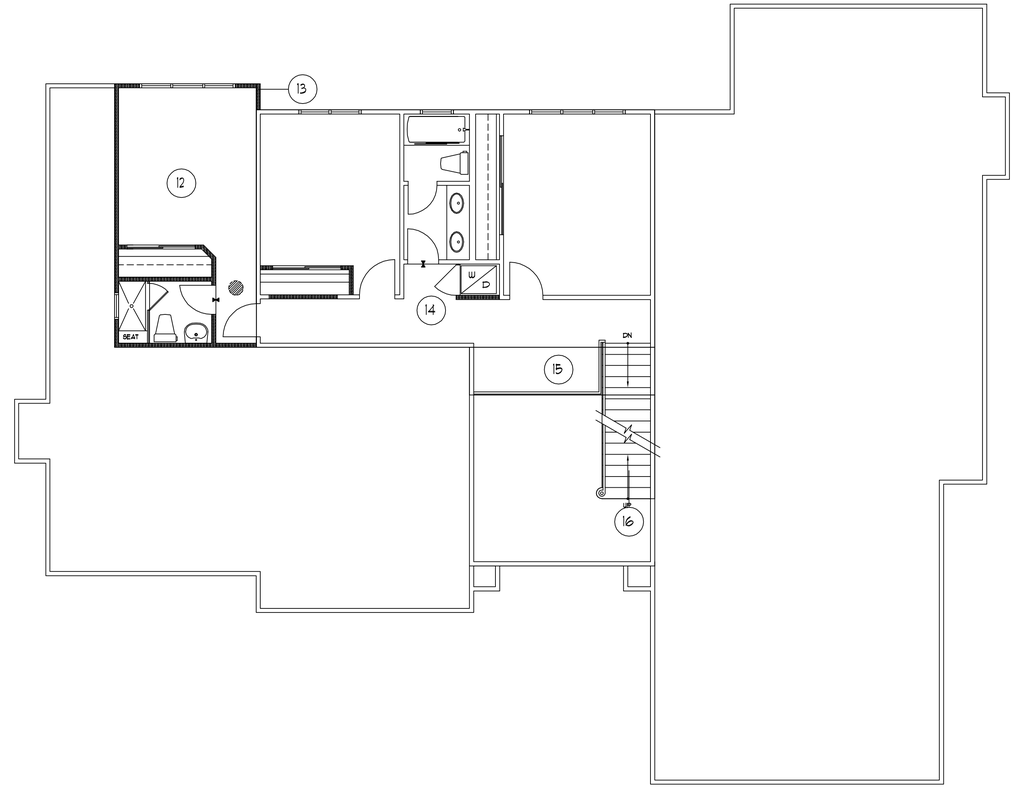
JOB NO. SUNKIST LN.

A-1

OF SHEETS



EXISTING FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN

FIRST FLOOR AREA:

01	(16'-2") x (37'-0") =	598 SQ. FT.
02	(29'-5") x (33'-2") =	976 SQ. FT.
03	(16'-2") x (2'-0") =	32 SQ. FT.
04	(16'-6") x (2'-10") =	47 SQ. FT.
05	(14'-3") x (1'-4") =	19 SQ. FT.
06	(16'-2") x (8'-0") =	129 SQ. FT.
07	(22-0") x (14'-8") =	323 SQ. FT.
08	(25'-4") x (14'-6") =	367 SQ. FT.
09	(3'-6") x (23'-3") =	81 SQ. FT.
	TOTAL:	2,572 SQ. FT.

GARAGE FLOOR AREA:

10	(22'-2") x (22'-8") =	502 SQ. FT.
	TOTAL:	502 SQ. FT.

FRONT PORCH AREA:

11	(14'-3") x (2'-0") =	29 SQ. FT.
	TOTAL:	29 SQ. FT.

FIREPLACE AREA:

17	(5'-0") x (2'-6") =	13 SQ. FT.
18	(1'-10") x (6'-8") =	12 SQ. FT.
	TOTAL:	25 SQ. FT.

SECOND FLOOR AREA:

12	(11'-5") x (21'-3") =	243 SQ. FT.	(ADDITION)
13	(0'-4") x (2'-2") =	1 SQ. FT.	(ADDITION)
14	(30'-0") x (18'-0") =	540 SQ. FT.	
15	(14'-0") x (3'-7") =	50 SQ. FT.	
16	(4'-0") x (7'-10") =	31 SQ. FT.	
	TOTAL:	865 SQ. FT.	

REVISIONS	BY

CLIENT'S REVISIONS	BY

Mr. & Mrs. Sanatkhani
288 Sunkist Ln.
Los Altos, CA 94022

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RJ DESIGN
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CUPERTINO, CA. 95014
TEL: (408) 371-5514
E-MAIL: rjr22489@gmail.com

DATE: 05/12/2019

SCALE: 3/16"=1'-0"

DRAWN: IL

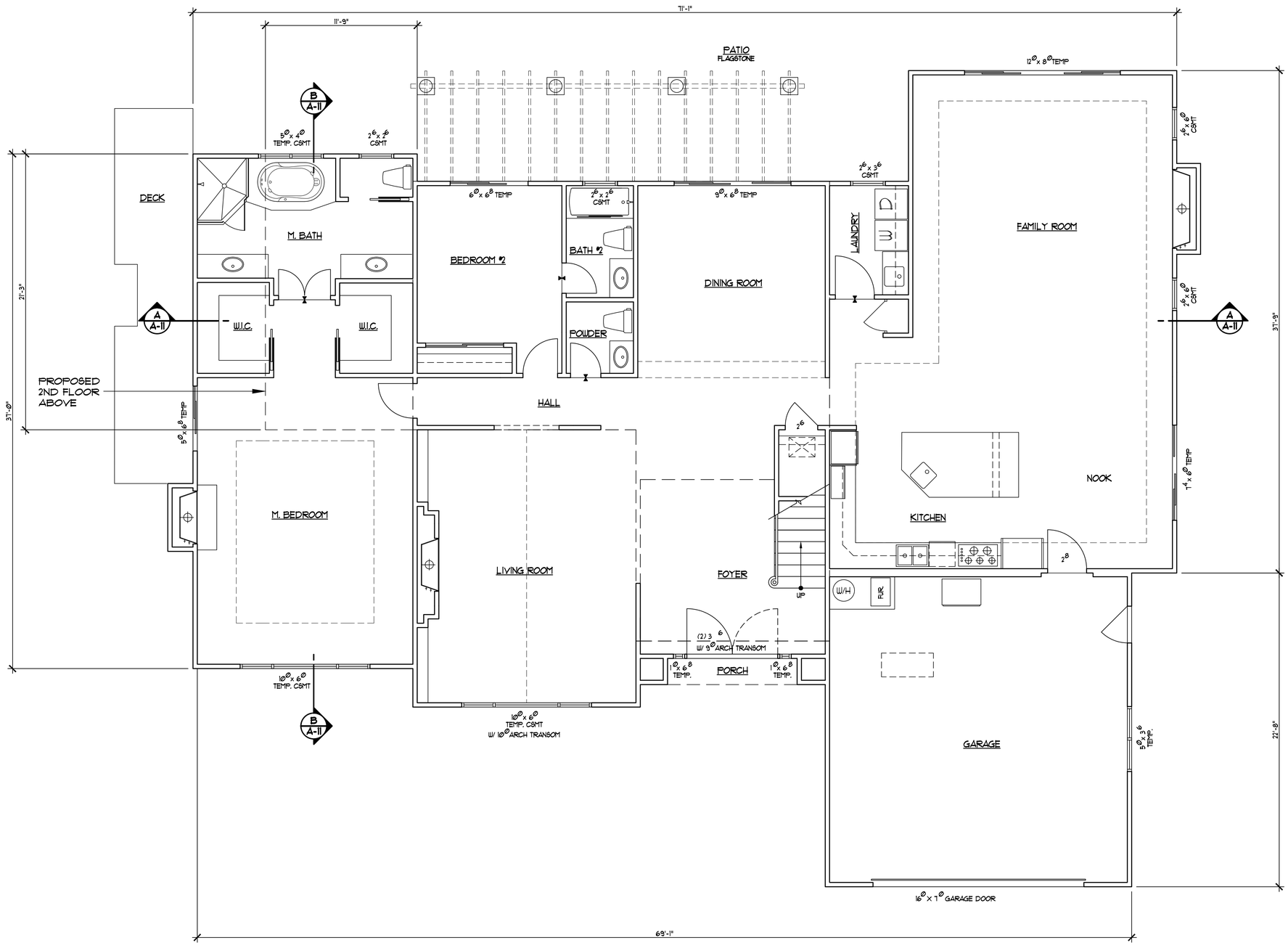
JOB NO SUNKIST LN.

A-2

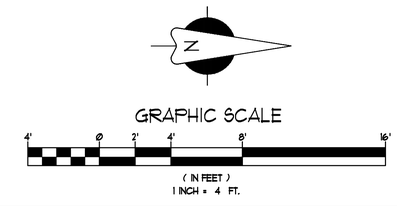
OF SHEETS

LEGEND:

EX. WALLS TO REMAIN



EXSITING FIRST FLOOR PLAN



REVISIONS	BY
1	

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

Mr. & Mrs. Sanatkhani
288 Sunkist Ln.
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14104 PRIMROSE WAY
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TEL: (408) 371-5514
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DATE: 12/05/17

SCALE: 1/4" = 1'-0"

DRAWN: IL

JOB NO. SUNKIST LN.

A—3

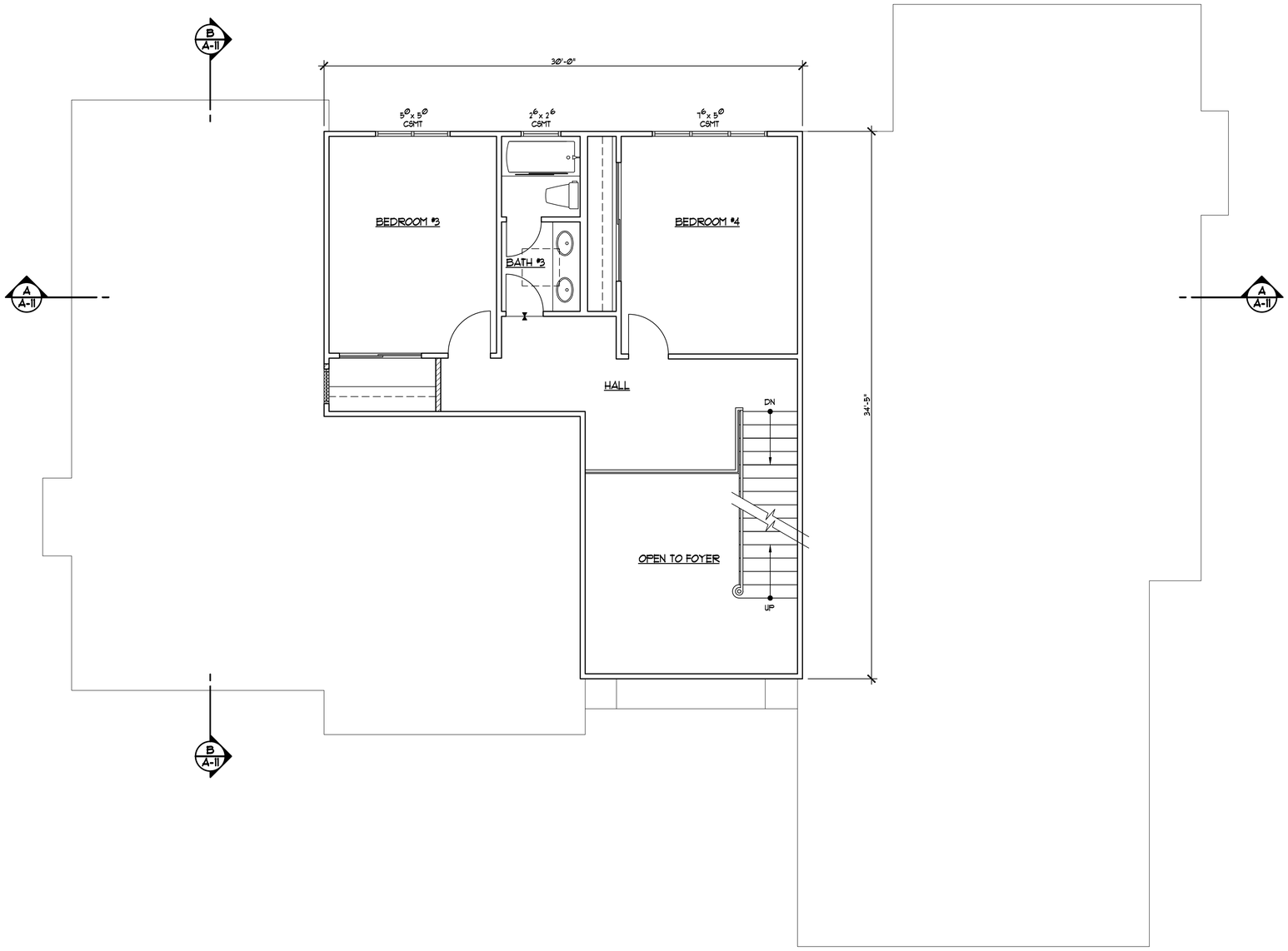
OF SHEETS

LEGEND:

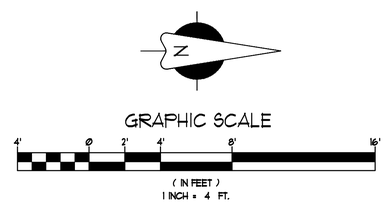
EX. WALLS TO REMAIN

EX. WALL TO BE REMOVED

EX. WINDOW TO BE REMOVED



EXISTING & DEMOLITION SECOND FLOOR PLAN



REVISIONS	BY
1	

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

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DATE: 12/05/17

SCALE: 1/4" = 1'-0"

DRAWN: IL

JOB NO. SUNKIST LN.

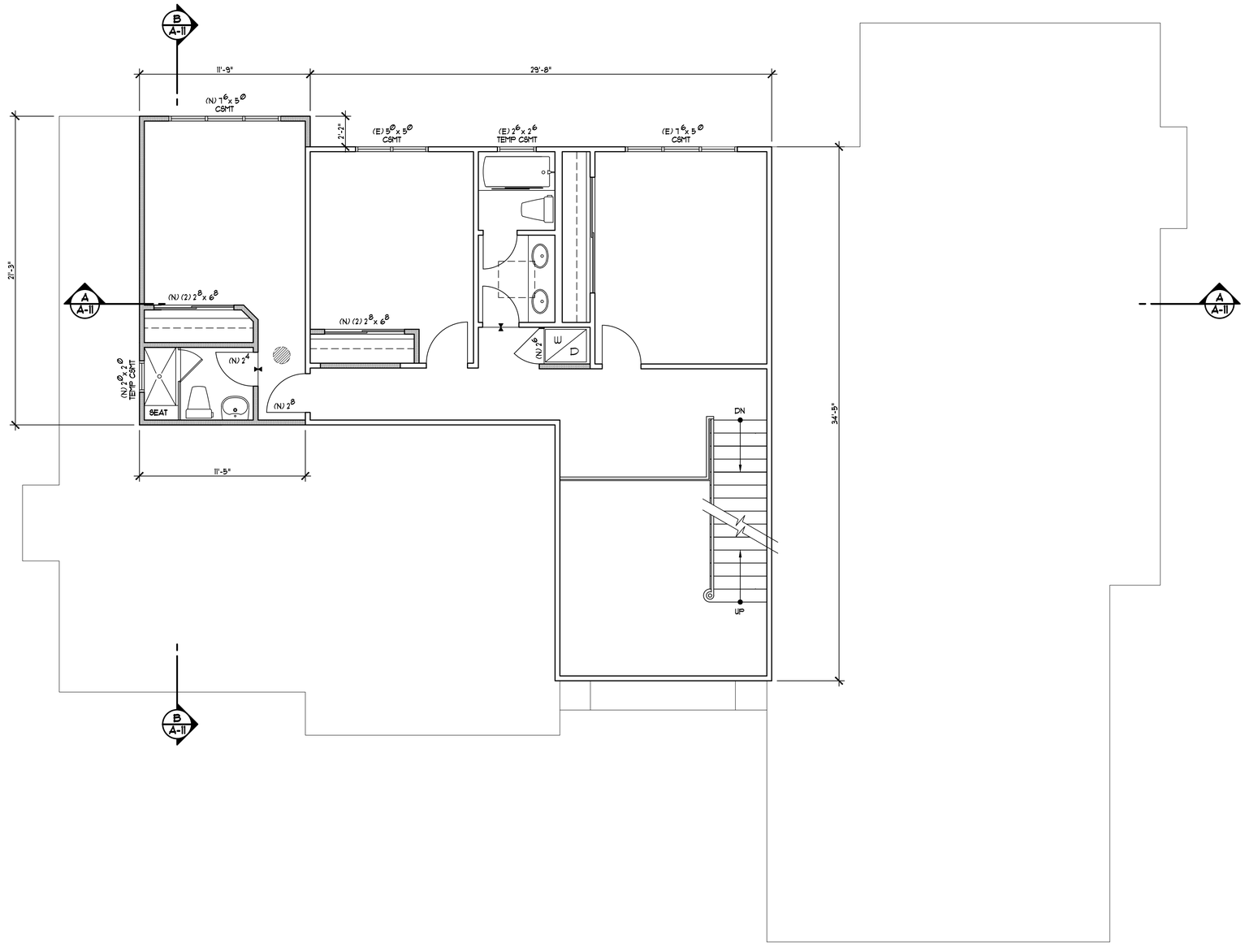
A-4

OF SHEETS

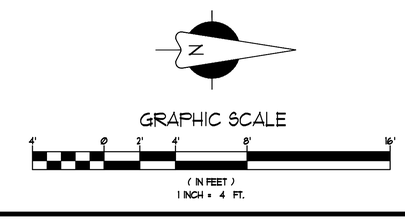
LEGEND:

EX. WALLS TO REMAIN

NEW WALL



PROPOSED SECOND FLOOR PLAN



REVISIONS	BY
1	

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

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E-MAIL: rjn2248@gmail.com

DATE: 12/05/17

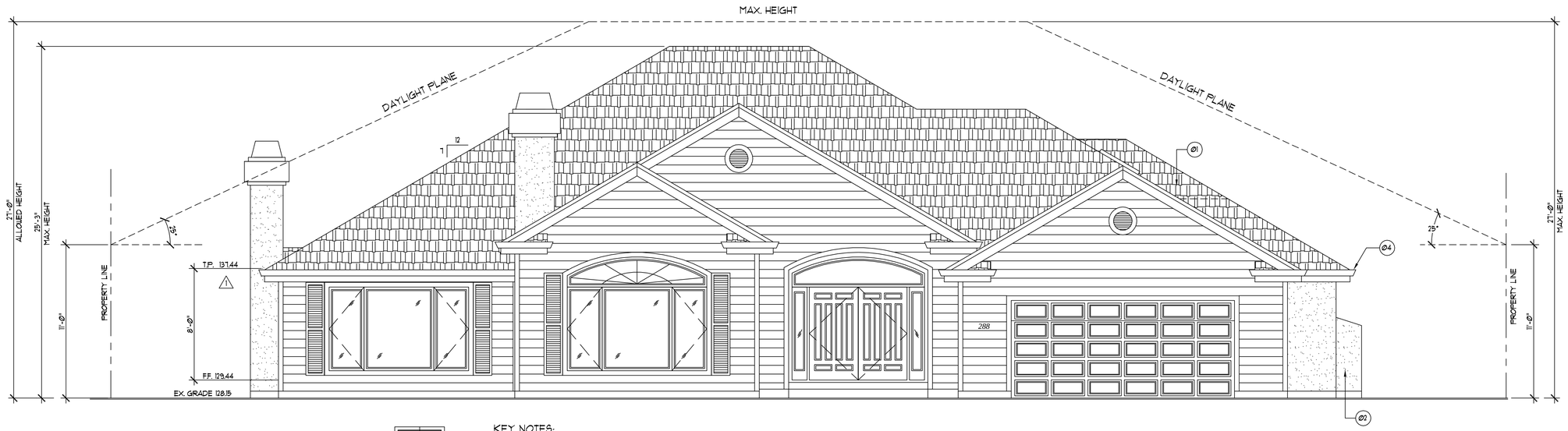
SCALE: 1/4" = 1'-0"

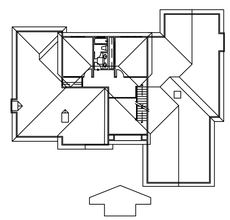
DRAWN: IL

JOB NO. SUNKIST LN.

A-5

OF SHEETS

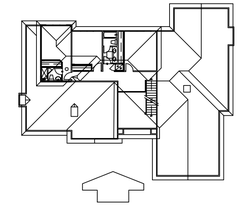




KEY NOTES:

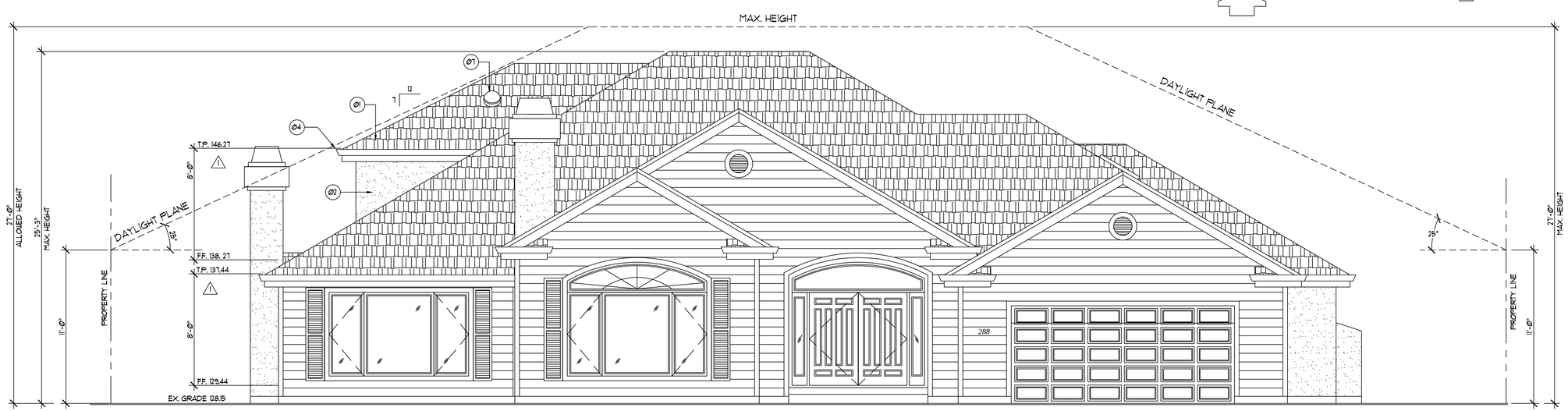
Ø1. COMP. SHINGLE ROOF
Ø2. STUCCO
Ø3. VINYL SLIDING DOOR
Ø4. PAINTED METAL GUTTER W/ DOWNSPOUT
Ø5. SKYLIGHT

EXISTING FRONT ELEVATION



KEY NOTES:

Ø1. (N) 40 YEARS COMP. SHINGLE ROOF THROUGHOUT
Ø2. (N) STUCCO TO MATCH (E)
Ø3. (N) VINYL CASEMENT WINDOW TO MATCH (E)
Ø4. (N) PAINTED METAL GUTTER W/ DOWNSPOUT TO MATCH (E)
Ø5. (N) WOOD SHUTTER TO MATCH (E)
Ø6. (E) SKYLIGHT
Ø7. (N) 14# SUNTUNNEL
Ø8. (N) 2x4 PAINTED WOOD TRIM TO MATCH (E)



PROPOSED FRONT ELEVATION

GRAPHIC SCALE

4' 0 2' 4' 8' 16'

(IN FEET)
1 INCH = 4 FT.

REVISIONS	BY
1 Ø1/Ø8/19	IL

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

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RJ DESIGN
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TEL:
E-MAIL: rj0248@gmail.com

DATE: 12/05/17

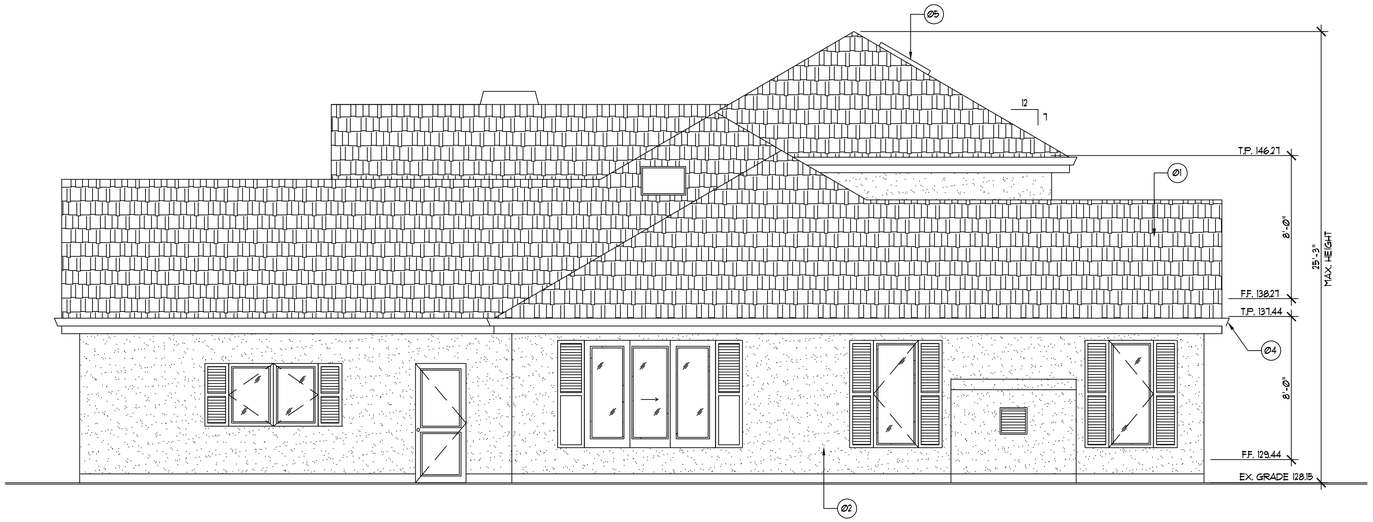
SCALE: 1/4" = 1'-0"

DRAWN: IL

JOB NO. SUNKIST LN

A-6

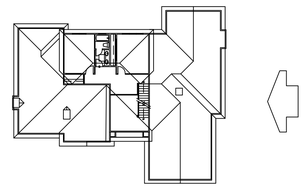
OF SHEETS

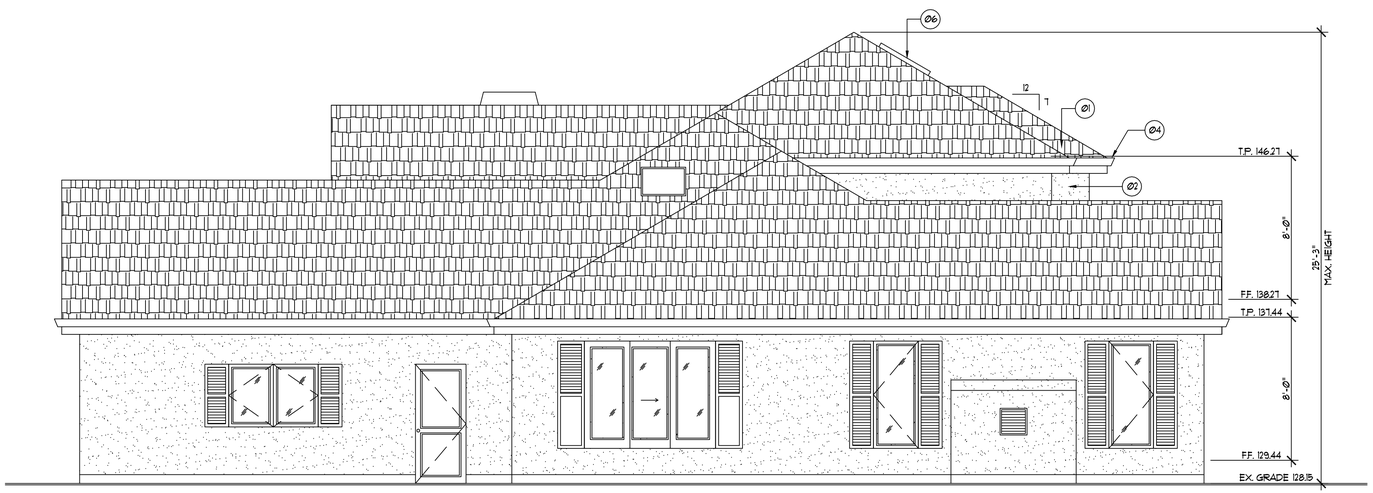


EXISTING RIGHT SIDE ELEVATION

KEY NOTES:

Ø1. COMP. SHINGLE ROOF
Ø2. STUCCO
Ø3. VINYL SLIDING DOOR
Ø4. PAINTED METAL GUTTER W/ DOWNSPOUT
Ø5. SKYLIGHT

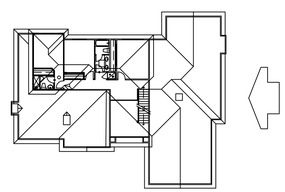




PROPOSED RIGHT SIDE ELEVATION

KEY NOTES:

Ø1. (N) 40 YEARS COMP. SHINGLE ROOF THROUGHOUT
Ø2. (N) STUCCO TO MATCH (E)
Ø3. (N) VINYL CASEMENT WINDOW TO MATCH (E)
Ø4. (N) PAINTED METAL GUTTER W/ DOWNSPOUT TO MATCH (E)
Ø5. (N) WOOD SHUTTER TO MATCH (E)
Ø6. (E) SKYLIGHT
Ø7. (N) 14# SUNTUNNEL
Ø8. (N) 2x4 PAINTED WOOD TRIM TO MATCH (E)



GRAPHIC SCALE

4' Ø 2' 4' 8' 16'

(IN FEET)
1 INCH = 4 FT.

REVISIONS	BY
1 Ø1/Ø8/19	IL

CLIENT'S REVISIONS	BY
1 12/11/17	IL
2 12/12/17	IL

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DATE: 12/Ø5/17

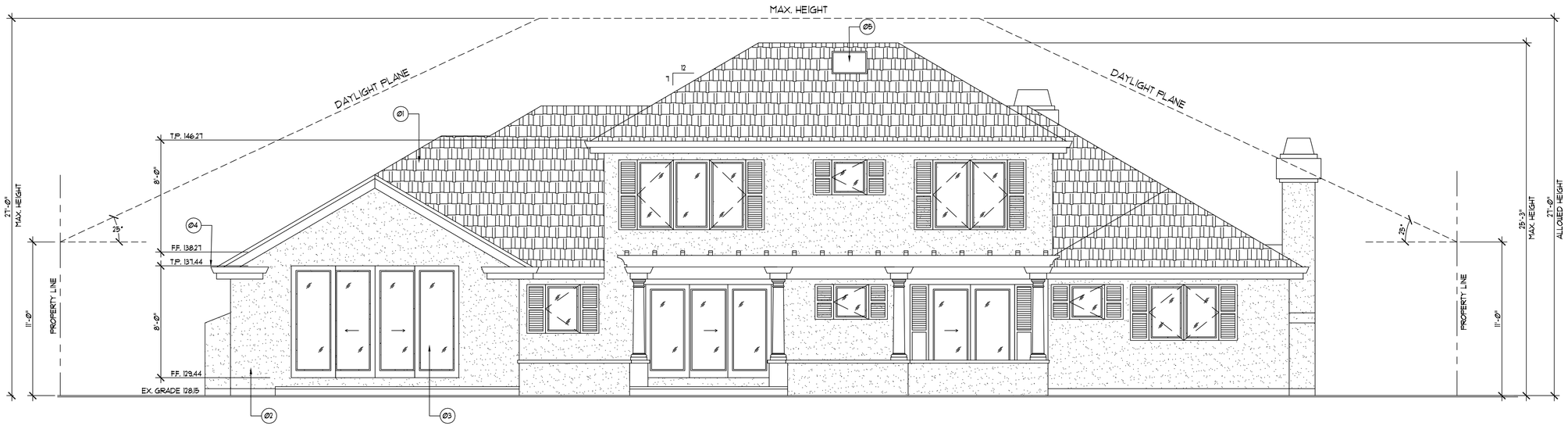
SCALE: 1/4" = 1'-Ø"

DRAWN: IL

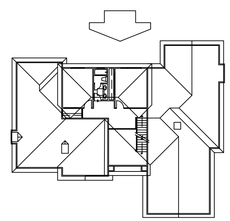
JOB NO. SUNKIST LN.

A-7

OF SHEETS

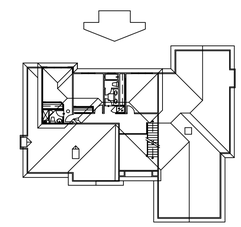


EXISTING REAR ELEVATION



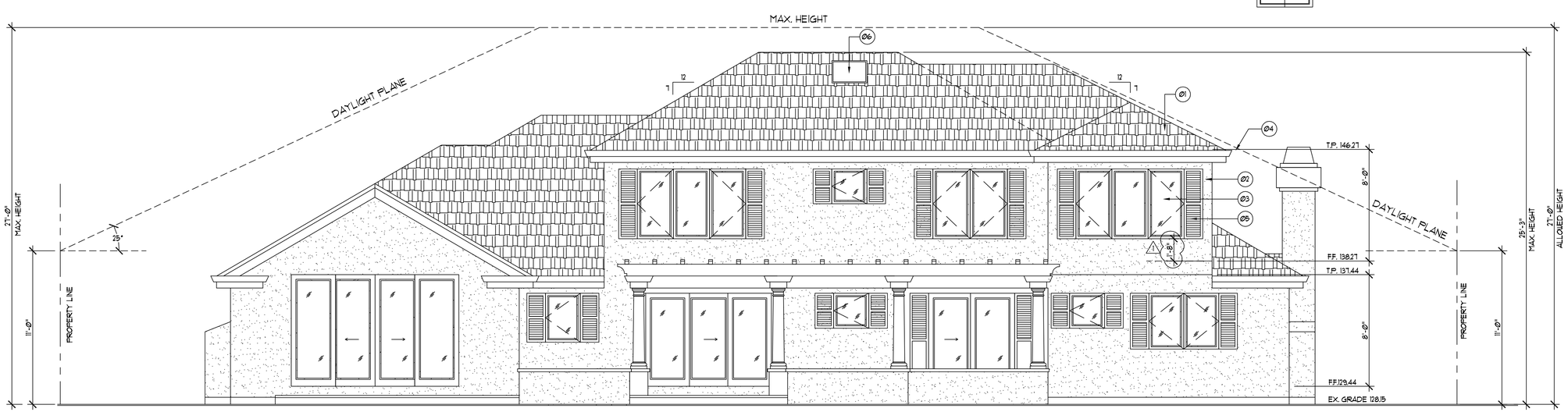
KEY NOTES:

Ø1. COMP. SHINGLE ROOF
Ø2. STUCCO
Ø3. VINYL SLIDING DOOR
Ø4. PAINTED METAL GUTTER W/ DOWNSPOUT
Ø5. SKYLIGHT



KEY NOTES:

Ø1. (N) 40 YEARS COMP. SHINGLE ROOF THROUGHOUT
Ø2. (N) STUCCO TO MATCH (E)
Ø3. (N) VINYL CASEMENT WINDOW TO MATCH (E)
Ø4. (N) PAINTED METAL GUTTER W/ DOWNSPOUT TO MATCH (E)
Ø5. (N) WOOD SHUTTER TO MATCH (E)
Ø6. (E) SKYLIGHT
Ø7. (N) 14" SUNTUNNEL
Ø8. (N) 2x4 PAINTED WOOD TRIM TO MATCH (E)



PROPOSED REAR ELEVATION

GRAPHIC SCALE

4' 0 2' 4' 8' 16'

(IN FEET)
1 INCH = 4 FT.

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2 12/12/17	IL

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DATE: 12/Ø5/17

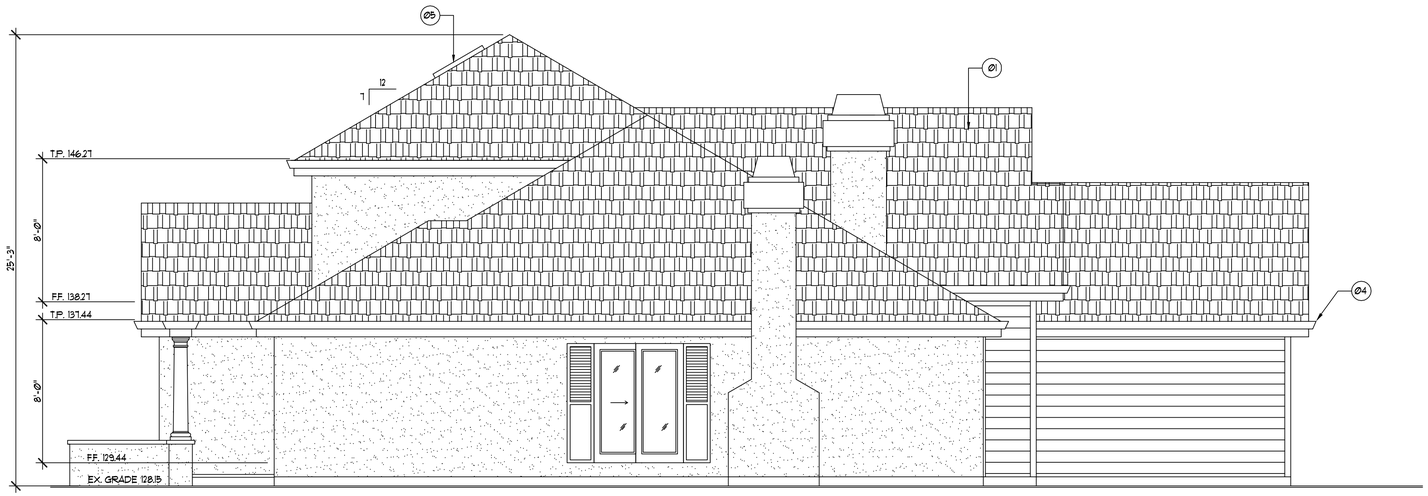
SCALE: 1/4" = 1'-Ø"

DRAWN: IL

JOB NO. SUNKIST LN.

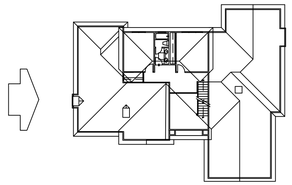
A-8

OF SHEETS

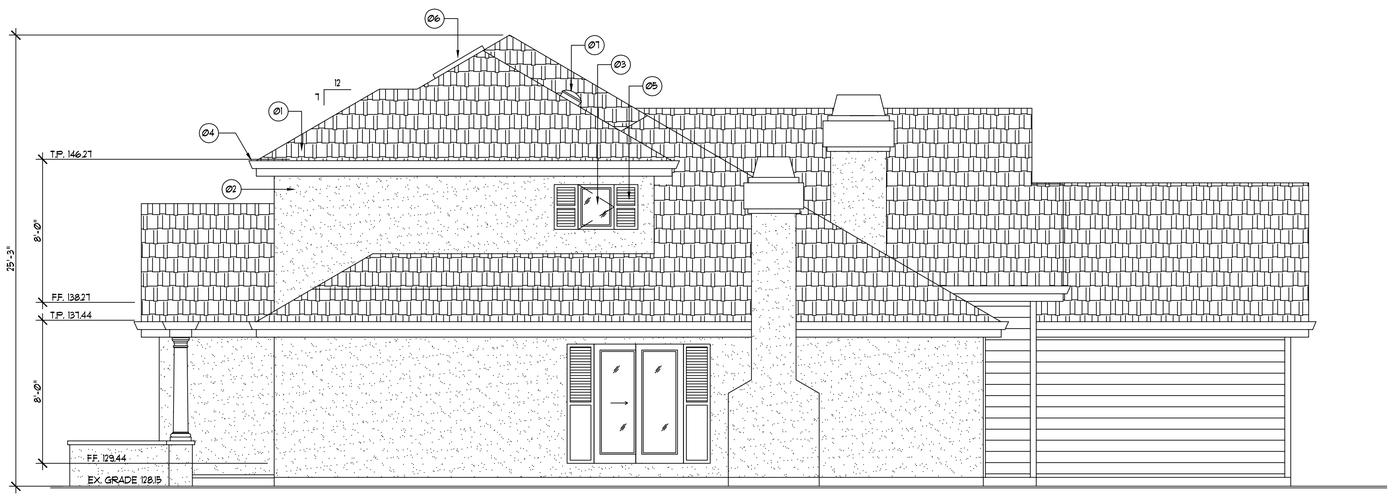


KEY NOTES:

Ø1. COMP. SHINGLE ROOF
Ø2. STUCCO
Ø3. VINYL SLIDING DOOR
Ø4. PAINTED METAL GUTTER W/ DOWNSPOUT
Ø5. SKYLIGHT

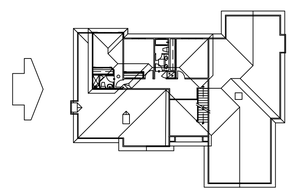


EXISTING LEFT SIDE ELEVATION



KEY NOTES:

Ø1. (N) 4Ø YEARS COMP. SHINGLE ROOF THROUGHOUT
Ø2. (N) STUCCO TO MATCH (E)
Ø3. (N) VINYL CASEMENT WINDOW TO MATCH (E)
Ø4. (N) PAINTED METAL GUTTER W/ DOWNSPOUT TO MATCH (E)
Ø5. (N) WOOD SHUTTER TO MATCH (E)
Ø6. (E) SKYLIGHT
Ø7. (N) 14" SUNTUNNEL
Ø8. (N) 2x4 PAINTED WOOD TRIM TO MATCH (E)



PROPOSED LEFT SIDE ELEVATION

GRAPHIC SCALE

4' Ø 2' 4' 8' 16'

(IN FEET)
1 INCH = 4 FT.

REVISIONS	BY
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2 12/12/17	IL

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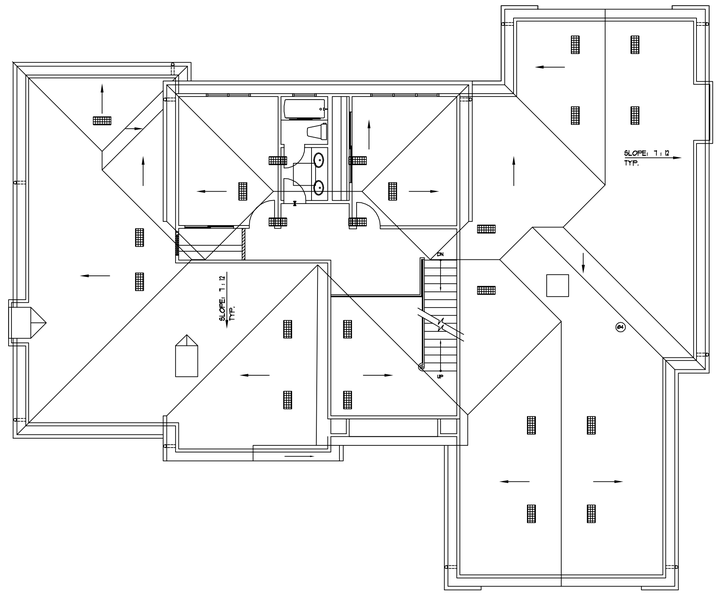
DRAWN: IL

JOB NO. SUNKIST LN.

A-9

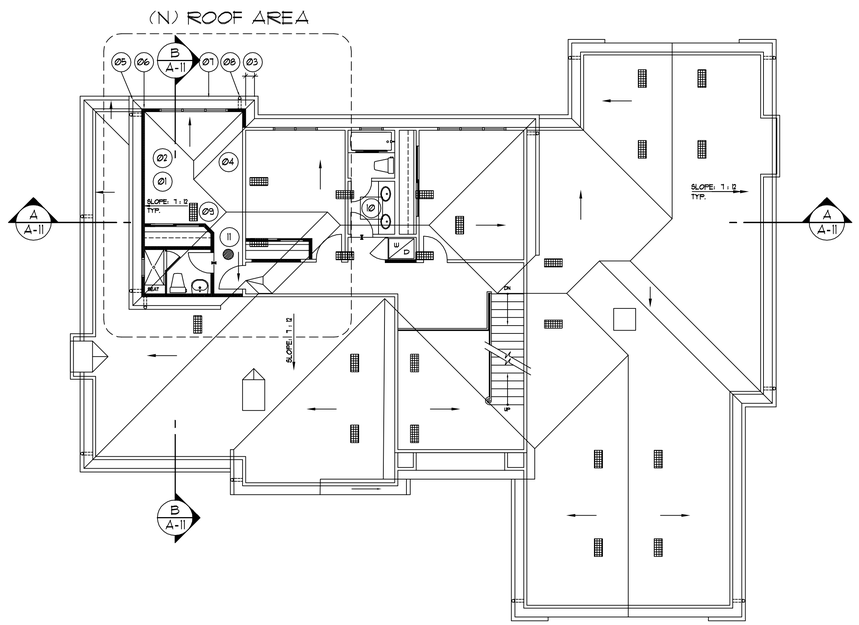
OF SHEETS



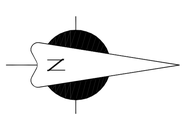
EXISTING ROOF PLAN

KEY NOTES:

01. ROOF SLOPES : 7 / 12 U.N.O.
02. ROOF MATERIAL:
    SLOPED ROOF: (N) COMPOSITION SHINGLE ROOF TO MATCH (E)
03. (N) EAVES TO MATCH (E) 12" EAVE
04. PROVIDE 26 GA. G.I. VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
05. ROOF OVERHANG
06. OUTLINE OF STRUCTURE
07. (N) 5" PAINTED METAL GUTTER TO MATCH (E)
08. (N) 3" ϕ PAINTED ROUND METAL DOWN SPOUT TO MATCH (E)
09. "O'HAGIN" ROOF VENT FOR COMPOSITION SHINGLE ROOF WITH 72 SQUARE INCHES NET FREE VENTILATION AREA.
10. (E) SKYLIGHT
11. (N) 14ϕ SUNTUNNEL



PROPOSED ROOF PLAN



GRAPHIC SCALE

10' 0 5' 10' 20' 40'

(IN FEET)
1 INCH = 8 FT.

REVISIONS	BY
1 01/08/19	IL

CLIENT'S REVISIONS	BY
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2 12/12/17	IL

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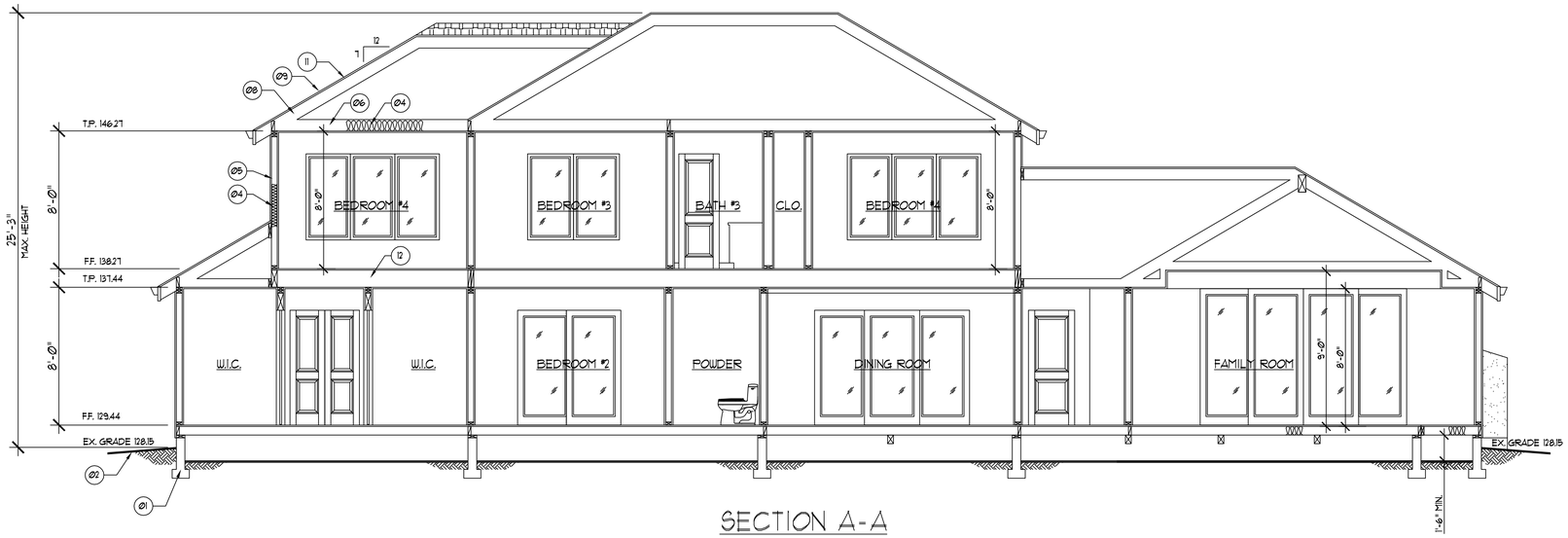
A-10

OF SHEETS



SECTION A-A

SECTION B-B

KEY NOTES:

NOTE: REFER TO STRUCTURAL PLANS FOR ALL MEMBER SIZES, LOCATION & ETC.

01. (E) FOOTING
02. EXISTING GRADE
03. FLOOR FRAMING
04. INSULATION, SEE TITLE 24 REPORT
05. WALL FRAMING
06. CEILING JOISTS
07. HEADER FOR DOORS, WINDOWS, AND OPENINGS
08. ROOF FRAMING
09. ROOF MATERIAL
10. ONE LAYER OF ⅝" GYPSUM BOARD, WALLS & CEILINGS THROUGHOUT THE BUILDING, U.N.O.
11. COOL ROOF, SEE TITLE 24.
12. FLOOR FRAMING

REVISIONS	BY
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CLIENT'S REVISIONS	BY
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DRAWN: IL

JOB NO. SUNKIST LN.

A-11

OF SHEETS