

SHEET INDEX
ARCHITECTURAL

- A0 COVER SHEET, ZONING COMPLIANCE AND GENERAL NOTES
- A0.1 FLOOR AREA AND COVERAGE CALCULATION
- A1.1 PROPOSED SITE PLAN
- A1.2 EXISTING SITE & HOUSE/ DEMOLITION PLAN
- A2.1 PROPOSED FLOOR PLAN
- A2.2 PROPOSED FLOOR PLAN
- A3.1 PROPOSED ROOF PLAN
- A4 PROPOSED EXTERIOR ELEVATIONS
- A5 PROPOSED EXTERIOR ELEVATIONS
- A6 PROPOSED SECTIONS
- A7 PROPOSED SECTIONS
- A8 PROPOSED 3D RENDERINGS
- A9 PROPOSED 3D RENDERINGS
- A10 MATERIAL BOARD

LANDSCAPE

- L1 PROPOSED LANDSCAPE PLAN
- IR-1 IRRIGATION PLAN
- IR-2 IRRIGATION LEGEND AND NOTES
- IR-3 IRRIGATION DETAILS
- IR-4 IRRIGATION DETAILS
- IR-5 WATER CALCULATIONS

GRADING AND DRAINAGE

- C1 GRADING AND DRAINAGE PLAN

PROJECT INFORMATION

LOT 12 , AREA : 10,903 S.F.±
ZONING: R-1
ADDRESS: 1400 RICHARDSON AVE.
LOS ALTOS, CA 94024

EXISTING :ONE STORY FRAME HOUSE.
ENTIRE EXISTING STRUCTURE TO BE REMOVED.
HOUSE FINISH FLOOR = 210.90'
GARAGE FINISH FLOOR = 209.25'

PROPOSED: NEW TWO STORY FAMILY HOUSE.
SLAB ON GRADE FOUNDATION WITH WOOD FRAMING AT FLOORS AND WALLS.
BALCONIES TO BE SUPPORTED WITH STEEL STRUCTURE .
WOOD STRUCTURE ROOF WITH GAF SHINGLES.
FIRST FLOOR AREA= 2406 SF
SECOND FLOOR AREA= 1410 SF
TOTAL FLOOR AREA PROPOSED = 3816 SF
TOTAL LOT COVERAGE = 2793 SF
HOUSE FINISH FLOOR = 210'
GARAGE FINISH FLOOR = 210'

PROPERTY OWNER:
IFAT AND GUY PIEKARZ
(408) 505-5859

DESIGN PROFESSIONALS:
KEMBCONE ENGINEERS
1003 Edwards Rd, Burlingame,
CA 94010
PHONE: (650) 343-8310

RAVIT KAPLAN - DESIGNER
166 DOWNEY STREET
SAN FRANCISCO, CA 94117
PHONE: (513) 237-8673

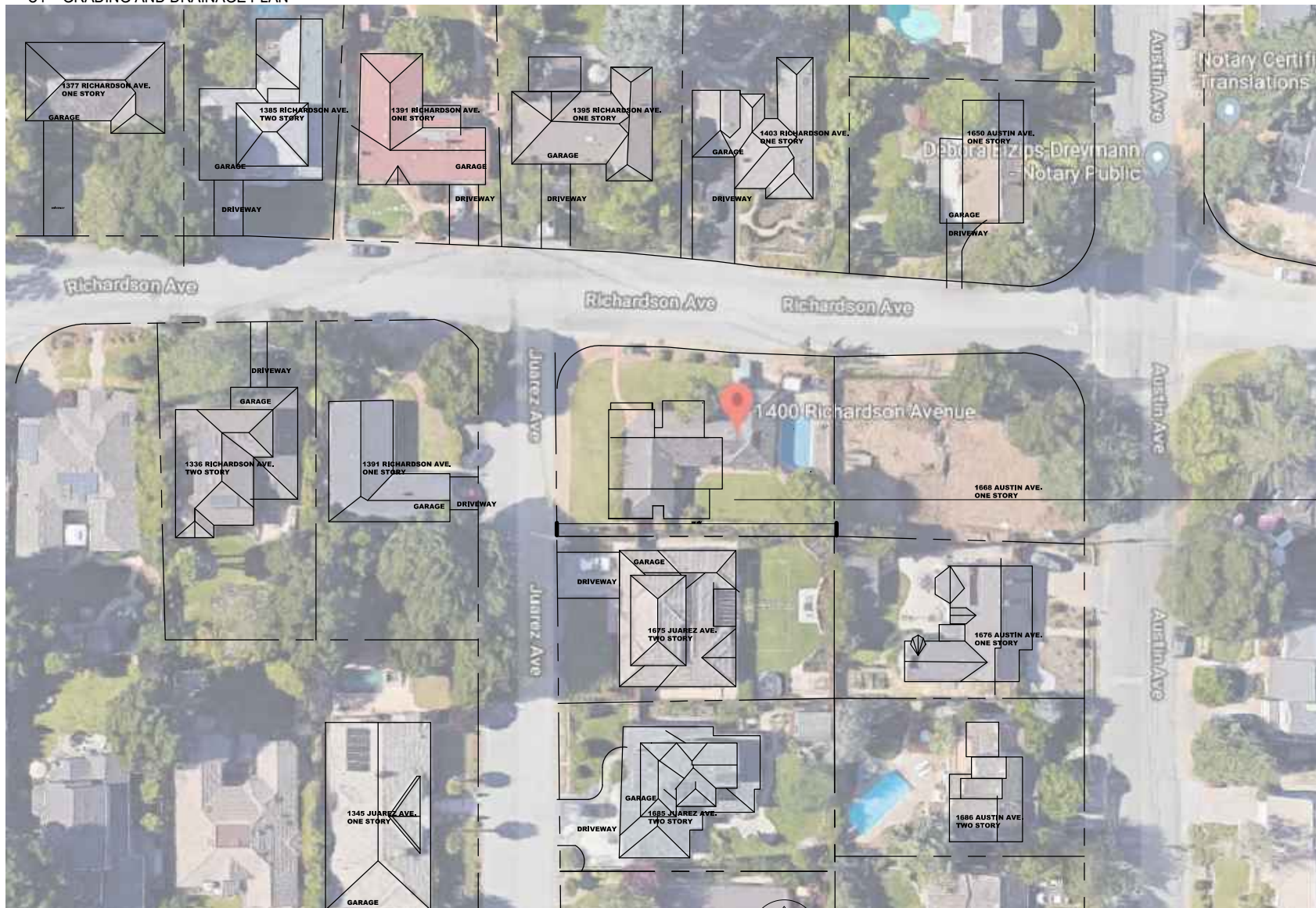
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2090 square feet (19.16 %)	2,793 square feet (25.61 %)	3271 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	First Floor - 2090 Second floor - 2090 Total - 4180 square feet (19 %)	First Floor - 2406 Second floor - 1410 Total - 3816 square feet (35 %)	3816 square feet (35%)
SETBACKS: Front Rear Right side (1 st /2 nd) Left side (1 st /2 nd)	29.28 feet 30.45 feet 9.88 feet/___feet 28.56 feet/___feet	25 feet 57.7 feet 10 feet/24.7 feet 22'10" / 22'10" 20'1" / 20'1" * Lot is tapered towards east side	25 feet 25 feet 10 feet/17'6"feet 20 feet/20 feet
HEIGHT:	13.95 feet	24'6" feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1576 square feet	2240 square feet	3816 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	380 square feet	13 square feet	393 square feet

LOT CALCULATIONS

NET LOT AREA:	10903 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	840 square feet (38.94%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 5,323 sq ft Existing softscape (undisturbed) area: ___sq ft New softscape (new or replaced landscaping) area: 5,580 sq ft <i>Sum of all three should equal the site's net lot area</i>



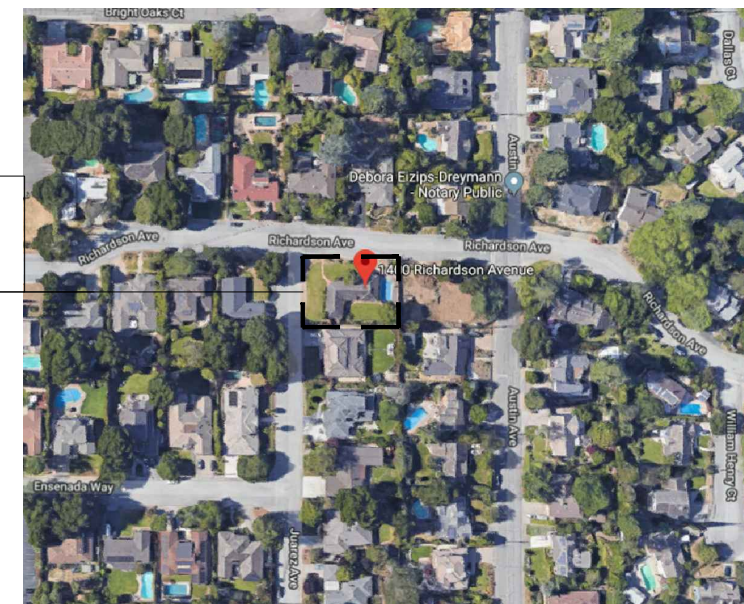
1 Neighborhood Context Map

Scale: 1"=40'-0"



2 Zoning Compliance Table

NTS



3 Vicinity Plan

NTS



Cover Sheet, Zoning Compliance & General Notes

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

NO.	DATE	REVISION
△		plan check comments

DATE	2/19/2019
SCALE	AS SHOWN
DRWAN	
JOB	

A0

FLOOR AREA AND COVERAGE CALCULATIONS
FLOOR AREA CALCULATIONS

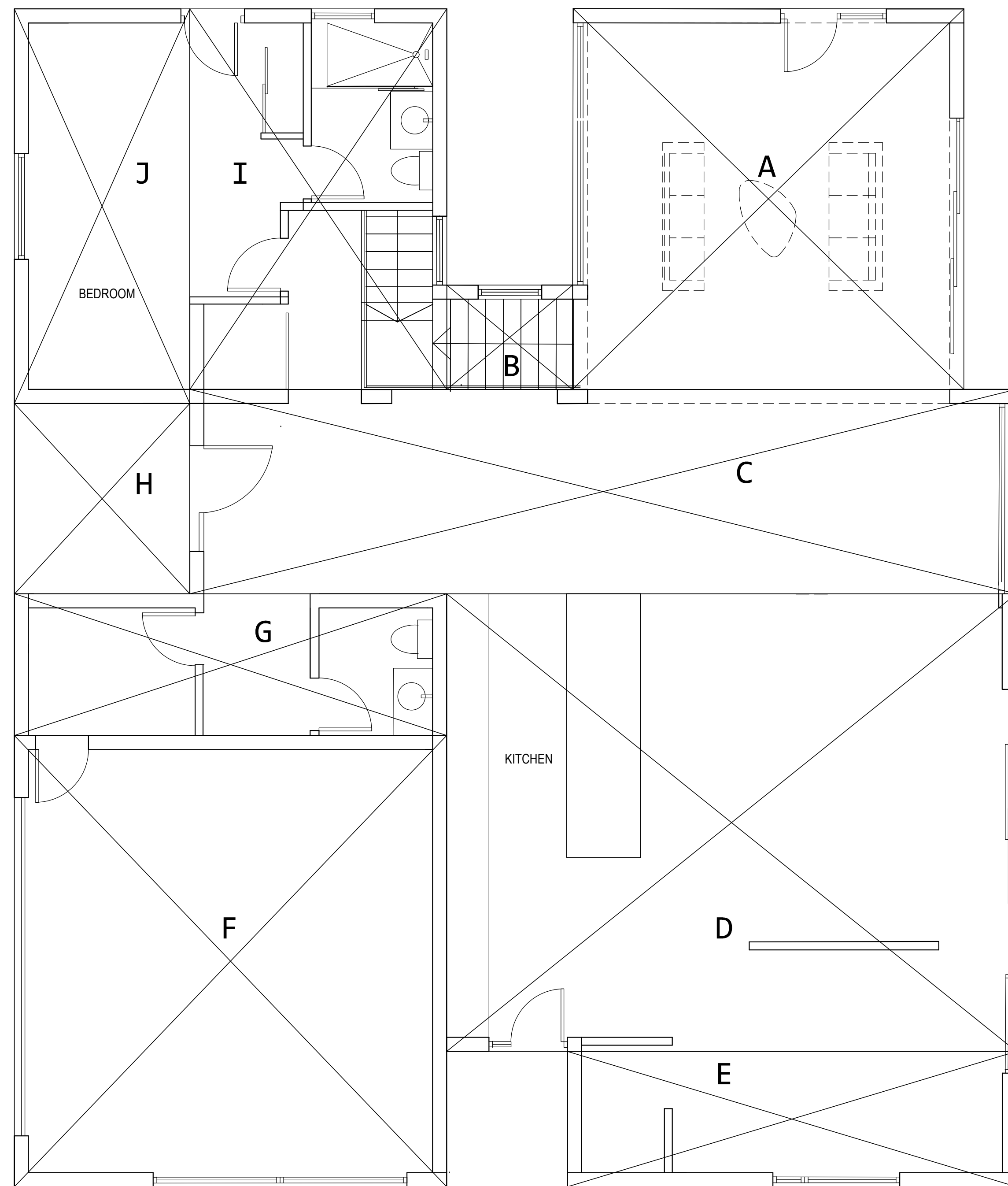
FIRST FLOOR SUBTOTAL		
SECTIONS	DIMENSIONS	AREA
A	18'-5 1/2" X 18'-0"	333 sq. ft.
B	4'-11" X 6'-0"	29 sq. ft.
C	39'-1" X 9'-8"	378 sq. ft.
D	26'-11 3/4" X 21'-7 1/2"	583 sq. ft.
E	21'-3" X 6'-5"	136 sq. ft.
F	20'-5 1/2" X 21'-4"	436 sq. ft.
G	20'-5 1/2" X 6'-8 1/2"	137 sq. ft.
I	12'-2" X 18'-0"	219 sq. ft.
J	18'-8" X 8'-3 1/2"	155 sq. ft.
FIRST FLOOR SUBTOTAL		2406 sq. ft.

SECOND FLOOR SUBTOTAL		
SECTIONS	DIMENSIONS	AREA
L	20'-5 1/2" X 3'-11"	80 sq. ft.
M	9'-10 1/2" X 16'-5"	162 sq. ft.
N	47'-5" X 23'-1 1/2"	1129 sq. ft.
Q	9" X 4'-11"	3 sq. ft.
R	7'-4" X 8"	5 sq. ft.
S	8" X 13'- 1/2"	9 sq. ft.
T	18'-5 1/2" X 8"	11 sq. ft.
U	8" X 17'-4"	11 sq. ft.
SECOND FLOOR SUBTOTAL		1410 sq. ft.

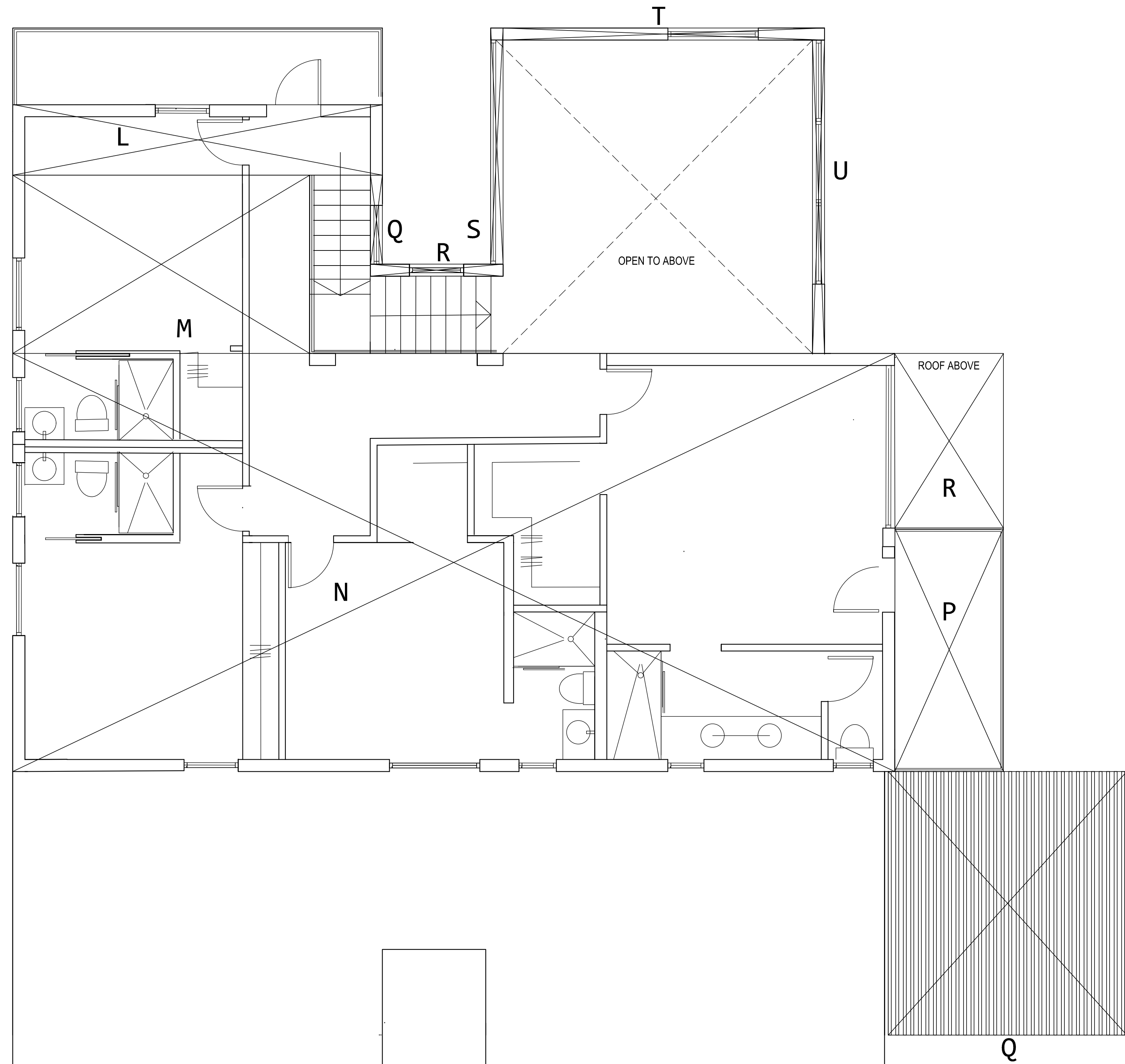
FIRST FLOOR SUBTOTAL		2406 sq. ft.
SECOND FLOOR SUBTOTAL		1410 sq. ft.
TOTAL FLOOR AREA		3816 sq. ft.

COVERAGE CALCULATIONS		
SECTIONS	DIMENSIONS	AREA
H	9'-8" X 8'-3 1/2"	75 sq. ft.
P	6'-0" X 13'-5 1/2"	81 sq. ft.
Q	13'-2 1/2" X 14'-7"	192 sq. ft.
R	6'-0" X 9'-8"	58 sq. ft.
FIRST FLOOR SUBTOTAL		2406 sq. ft.

TOTAL 2812 sq. ft.



① **level 1**
1/4" = 1'-0"



② **level 2**
1/4" = 1'-0"

Floor Area and Coverage Calculations

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

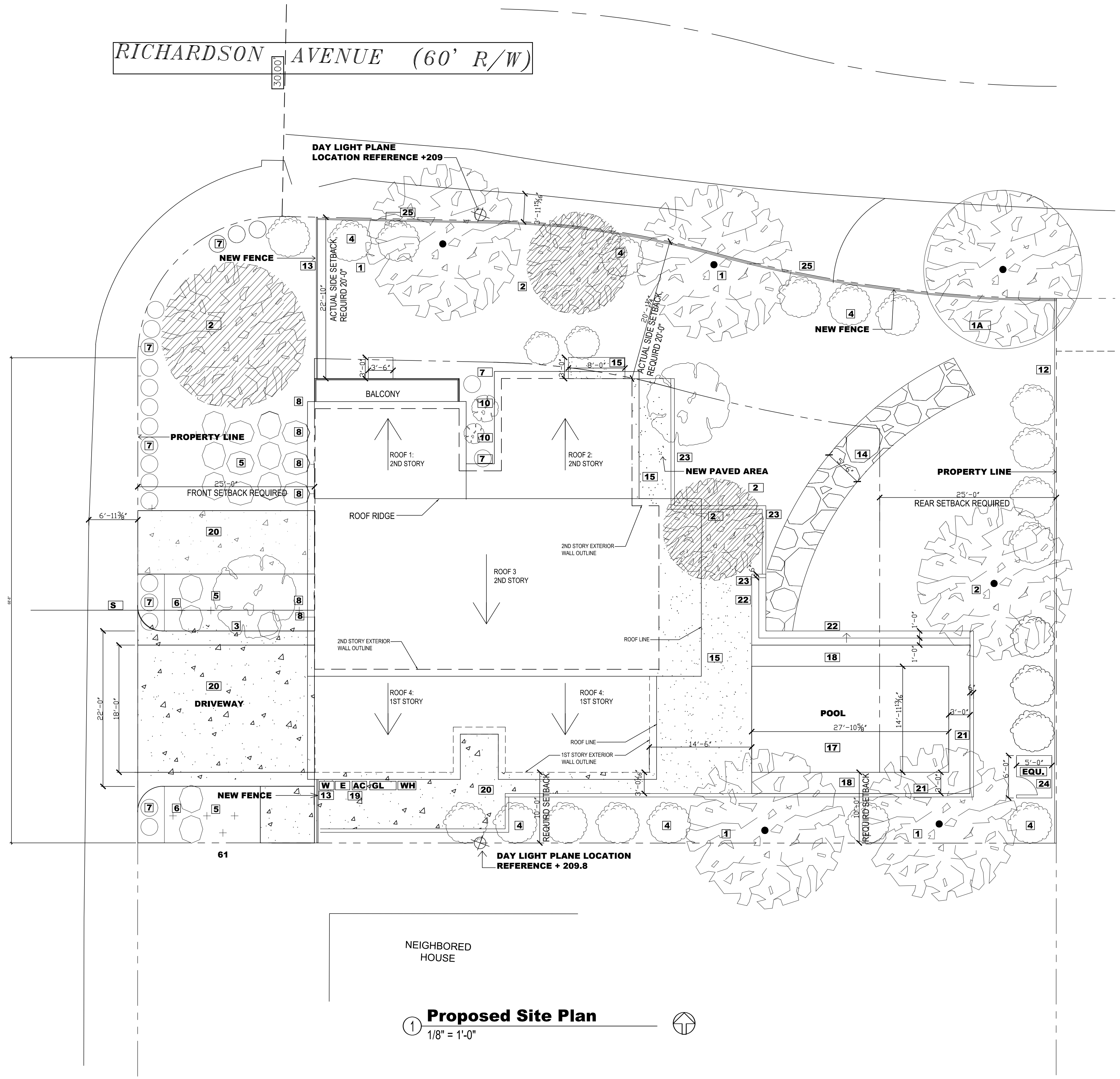
plan check comments		
NO.	DATE	REVISION

DATE 3/30/2019
SCALE AS SHOWN
DRWAN
JOB

A0.1

JUAREZ AVENUE (50' R/W)

RICHARDSON AVENUE (60' R/W)



Proposed Site Plan
 1/8" = 1'-0"

LANDSCAPE AND SITE PLAN LEGEND

COMMON NAME	HEIGHT AND SPREAD	RATE OF GROWTH
1. CALIFORNIA PEPPER TREE	25'-40" TALL AND WIDE	FAST
1A. EXISTING TREE TO REMAIN JUNIPER TREE	APPROX. 20 FT TALL	
2. AUSTRALIAN WILLOW TREE	30'X 20'	MODERATE
3. MULTI TRUNK FRUITLESS OLIVE	25'-30'X25'	SLOW
4. PITTOSPORUM TENUIFOLIUM SILVER SHEEN	12'-18'X6'-8'	MODERATE TO FAST
5. FOUNTAIN GRASS	UP TO 5'	FAST
6. BLUE OAT GRASS	UP TO 4'	FAST
7. JAPANESE FOREST GRASS	UP TO 1'	FAST
8. HARDY PAMPAS GRASS	8'-10'X4'-6"	FAST
9. OAK SEDGE	8'-10'X10'-12"	FAST
10. GREEN SHOWERS MAYTAN TREE	20'X12'	MODERATE
11. SOD LAWN DOUBLE DWARF CHAMPION		
12. EXISTING FENCE TO REMAIN		
13. NEW FENCE 2X6 CEDAR WOOD @ 6'-0" HIGH		
14. PAVED AREA BLUE STONE GARDEN PATHWAY		
15. PAVED AREA GRAY STONE TILE		
16. OUTDOOR BAR/ SITTING AREA		
17. POOL		
18. PAVED AREA COPING AND SHOULDERS		
19. WATER METER		
20. POURED CONCRETE		
21. 6" WIDE X18" TALL CONCRETE WALL		
22. CONCRETE STEPS		
23. 6" WIDE X12" TALL CONCRETE WALL		
24. WOOD STRUCTURE FOR POOL EQUIP 5'-10" TALL		
25. NEW FENCE 2X6 CEDAR WOOD @ 4'-0" HIGH		

GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION DRAWINGS TO DETERMINE DIMENSIONS AND TO ENSURE THAT NO ITEMS OR SERVICES WHICH ARE TO REMAIN ARE DISTURBED.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION, CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF DEMOLITION OPERATIONS.
3. THE SCOPE OF WORK SHALL INCLUDE ALL REMOVALS AS REQUIRED BY THE DRAWINGS AS WELL AS ALL REMOVALS NOT SPECIALLY INDICATED ON DRAWINGS BUT NECESSARY FOR THE COMPLETION OF THE WORK.
4. UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL LEAVE AREAS BROOM CLEAN.

LEGEND

- E** ELECTRICAL METER
- W** WATER METER
- AC** AC UNIT LOCATION
- EQU** POOL EQUIPMNT
- S** SEWER CONNECTION
- F** NEW FENCE 2X6 CEDAR WOOD @ 6'-0" HIGH
- GL** GAS LINE
- WH** TANKLESS WATER HEATER

Proposed Site Plan

Piekarz Residence
 1400 Richardson Ave
 Los Altos, CA 94024

plan check comments	
NO.	REVISION
DATE	2/19/2019
SCALE	AS SHOWN
DRWAN	
JOB	

A1.1

RICHARDSON AVENUE (60' R/W)

JUAREZ AVENUE (50' R/W)

DEMO SHEET NOTES

- A** REMOVE ENTIRE EXISTING HOUSE, GARAGE AND ROOF. REFER TO PROPOSE FLOOR PLAN.
- B** REMOVE ENTIRE EXISTING STRUCTURE AND CRAWL SPACE. REFER TO PROPOSED SITE PLAN AND FLOOR PLAN FOR NEW HOUSE LOCATION.
- C** REMOVE EXISTING POOL AND INFILL REFER TO PROPOSED SITE AND GRADING PLAN.
- D** EXISTING SHED TO BE REMOVED.
- E** TREE # 5 TO REMAIN . ALL OTHER EXISTING TREES TO BE REMOVED. REFER TO TREES SCHEDULE
- F** ALL PAVED OUTDOORS SURFACES AND ENTRY PATH ARE TO BE REMOVED. REFER TO PROPOSED SITE PLAN.
- G** EXISTING FENCE ON SOUTH AND EAST SIDE ARE TO REMAIN.
- H** EXISTING CONCRETE PATH TO BE REMOVED

TABLE OF EXISTING TREES SCHEDULE

TREE #	TREE SPECIES	DIA. (IN.)	HEIGHT	CONDITION	TO BE REMOVED
1	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
2	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
3	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
4	JUNIPER TREE	6"	APPROX. 5 FT TALL	FAIR	YES
5	JUNIPER TREE	8"	APPROX. 20 FT TALL	GOOD	NO
6	LAWN TREE	6"	APPROX. 20 FT TALL	FAIR	YES
7	LAWN TREE	6"	APPROX. 10 FT TALL	FAIR	YES
8	ORANGE TREE	6"	APPROX. 120 FT TALL	FAIR	YES
9	JUNIPER TREE	6"	APPROX. 9 FT TALL	FAIR	YES
10	JUNIPER TREE	6"	APPROX. 9 FT TALL	FAIR	YES
11	JUNIPER TREE	6"	APPROX. 9 FT TALL	FAIR	YES
12	JUNIPER TREE	4"	APPROX. 9 FT TALL	FAIR	YES
13	LAWN TREE	4"	APPROX. 20 FT TALL	FAIR	YES
14	JUNIPER TREE	4"	APPROX. 7 FT TALL	FAIR	YES

GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION DRAWINGS TO DETERMINE DIMENSIONS AND TO ENSURE THAT NO SERVICES WHICH ARE TO REMAIN ARE DISTURBED.
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION, CONDITIONS PRIOR T COMMENCEMENT OF DEMOLITION OPERATIONS.
3. THE SCOPE OF WORK SHALL INCLUDE ALL REMOVALS AS REQUIRED BY THE DRAWINGS AS WELL AS ALL REMOVALS NOT SPECIALLY INDICATED ON DRAWINGS BUT NECESSARY FOR THE COMPLETION OF THE WORK.
4. UPON COMPLETION OF THE DEMOLITION WORK, THE CONTRACTOR SHALL LEAVE AREAS BROOM CLEAN.
5. TREES #1-4, #6-7, TO BE REPLACED WITH LARGER SCALE TREES TO PROVIDE BETTER SCREENING & SHADE.
6. TREE #5 - CREATE TREE PROTECTIVE FENCE AROUND EXISTING TREE TO REMAIN AS REQUIRED
7. TREES #8-14 TO BE REMOVED DUE TO PROPOSED HOUSE LOCATION ON SITE.



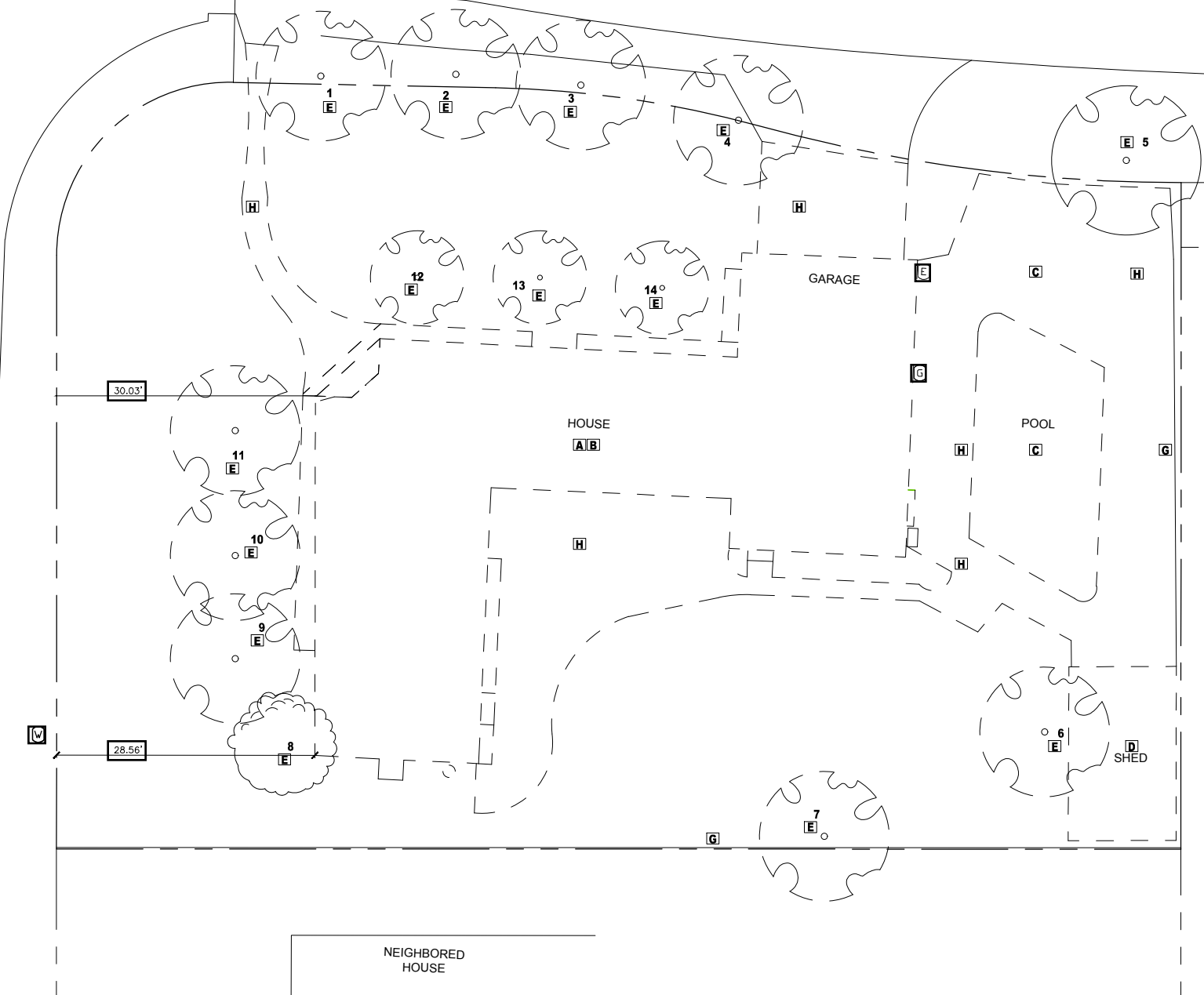
AERIAL VIEW NTS



VIEW OF EXISTING FROM JUAREZ AVE.



VIEW OF EXISTING FROM RICHARDSON AVE.



EXISTING HOUSE AND DEMO PLAN
SCALE 1/16" = 1'-0"



Existing Site and House / Demolition Plan

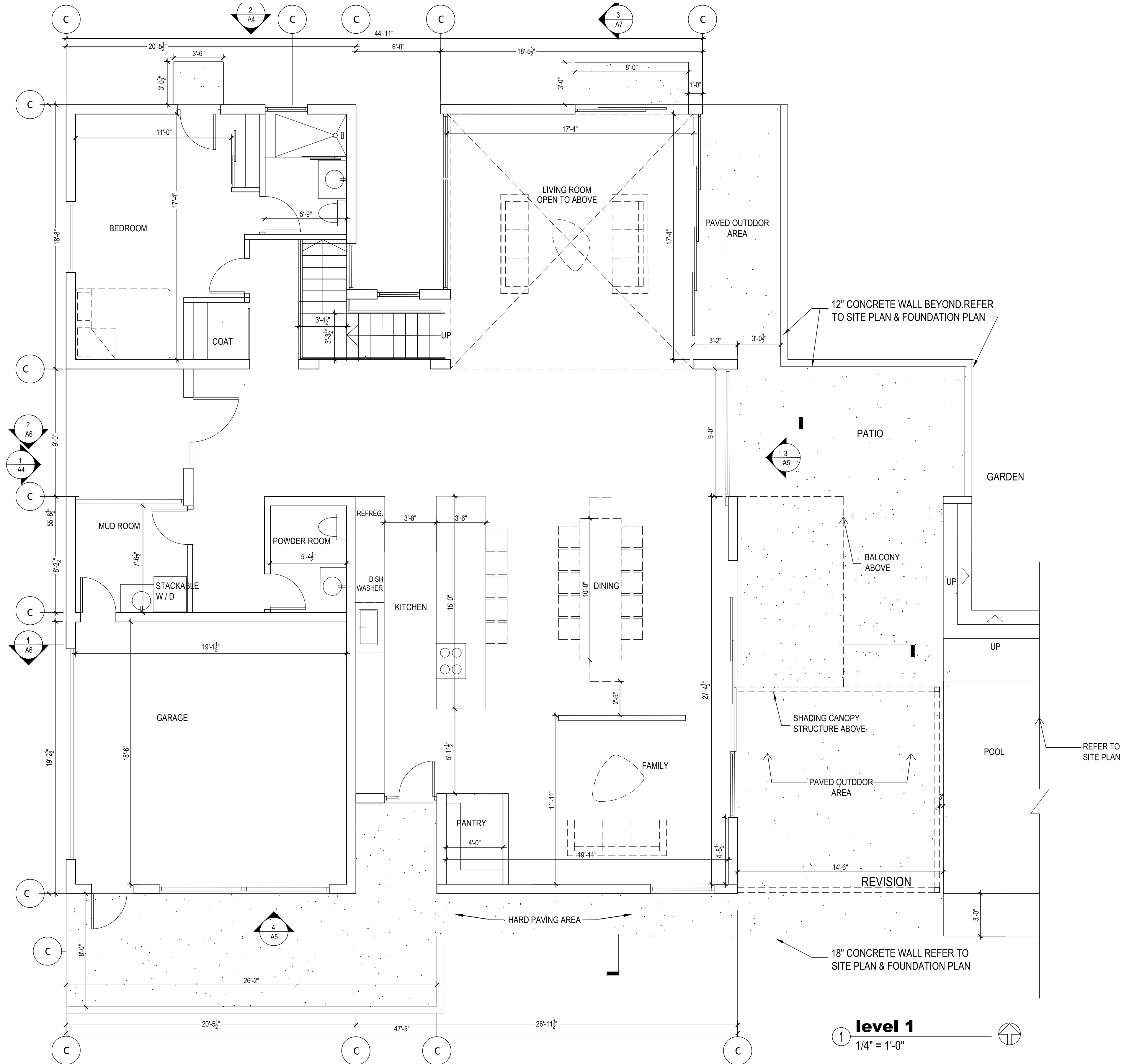
Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

△ plan check comments	
NO.	REVISION
DATE	2/19/2019
SCALE	AS SHOWN
DRWAN	
JOB	

A1.2

GENERAL NOTES

- ALL INTERIOR PARTITIONS UNLESS NOTED OTHERWISE ARE 4 1/2" THICK WITH 3 1/2" STUD AND 1/2" SHEETROCK FINISH ON EACH SIDE.
- ALL WET WALL PARTITIONS UNLESS NOTED OTHERWISE ARE 6 1/2" THICK WITH 5 1/2" STUD AND 1/2" SHEETROCK FINISH ON EACH SIDE.
- ALL DIMENSIONS ARE TO WALL FINISH UNO.
- ALL DROPPED CEILING IS 5/8" THICK SHEETROCK FINISH UNO.
- ALL DOORS ARE 8'-0" HIGH UNO REFER TO DOOR SCHEDULE
- NOT USED
- ALL INTERIOR DOORS ARE WOOD UNO. REFER TO DOOR SCHEDULE.
- SAFETY GLAZING FOR WINDOW ADJACENT TO SHOWER, (R308.4) GLAZING AND WET SURFACES. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR
- NO FURNACE IS REQUIRED DUE TO INSTALLATION OF RADIANT HEAT IN ALL FLOORS.
- REFER TO WINDOW AND DOOR SCHEDULE FOR DIMS AND TYP
- SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.



Proposed First Floor Plan

Piekarz Residence
 1400 Richardson Ave
 Los Altos, CA 94024

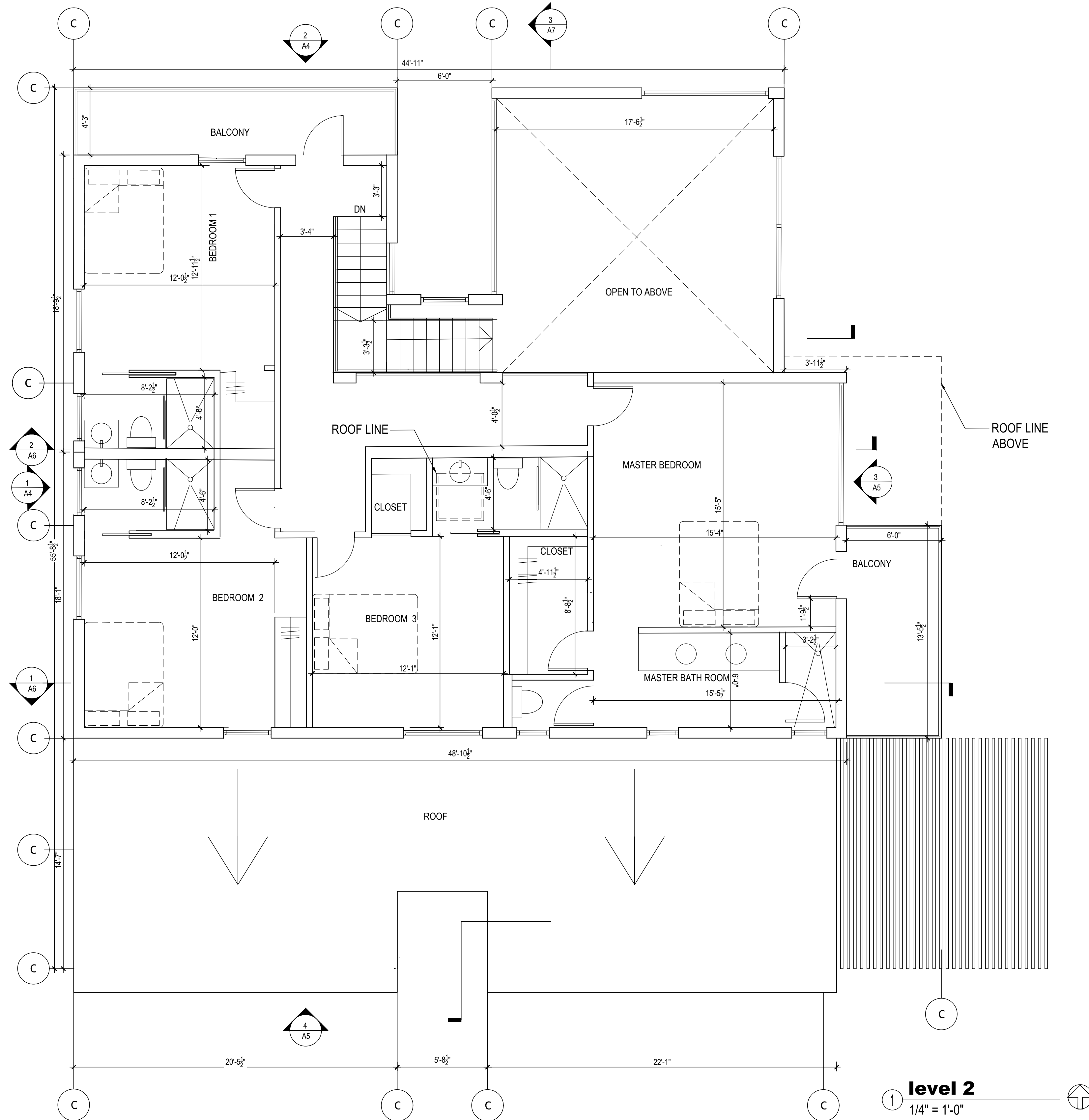
plan check comments	
NO.	REVISION

DATE 3/30/2019
 SCALE AS SHOWN
 DRAWN
 JOB

A2.1

GENERAL NOTES

- 1. ALL INTERIOR PARTITIONS UNLESS NOTED OTHERWISE ARE 1/2" THICK WITH 3 1/2" STUD AND 1/2" SHEETROCK FINISH ON EACH SIDE.
- 2. ALL WET WALL PARTITIONS UNLESS NOTED OTHERWISE ARE 6 1/2" THICK WITH 5 1/2" STUD AND 1/2" SHEETROCK FINISH ON EACH SIDE.
- 3. ALL DIMENSIONS ARE TO WALL FINISH UNO.
- 4. ALL DROPPED CEILING IS 5/8" THICK SHEETROCK FINISH UNO.
- 5. ALL DOORS ARE 8'-0" HIGH UNO REFER TO DOOR SCHEDULE
- 6. NOT USED
- 7. ALL INTERIOR DOORS ARE WOOD UNO. REFER TO DOOR SCHEDULE.
- 8. SAFETY GLAZING FOR WINDOW ADJACENT TO SHOWER, (R308.4) GLAZING AND WET SURFACES. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR
- 9. NO FURNACE IS REQUIRED DUE TO INSTALLATION OF RADIANT HEAT IN ALL FLOORS.
- 10. SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING. EXCEPTION: GLAZING THAT IS MORE THAN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL OR SWIMMING POOL.
- 11. REFER TO WINDOW AND DOOR SCHEDULE FOR DIMS AND TYPES

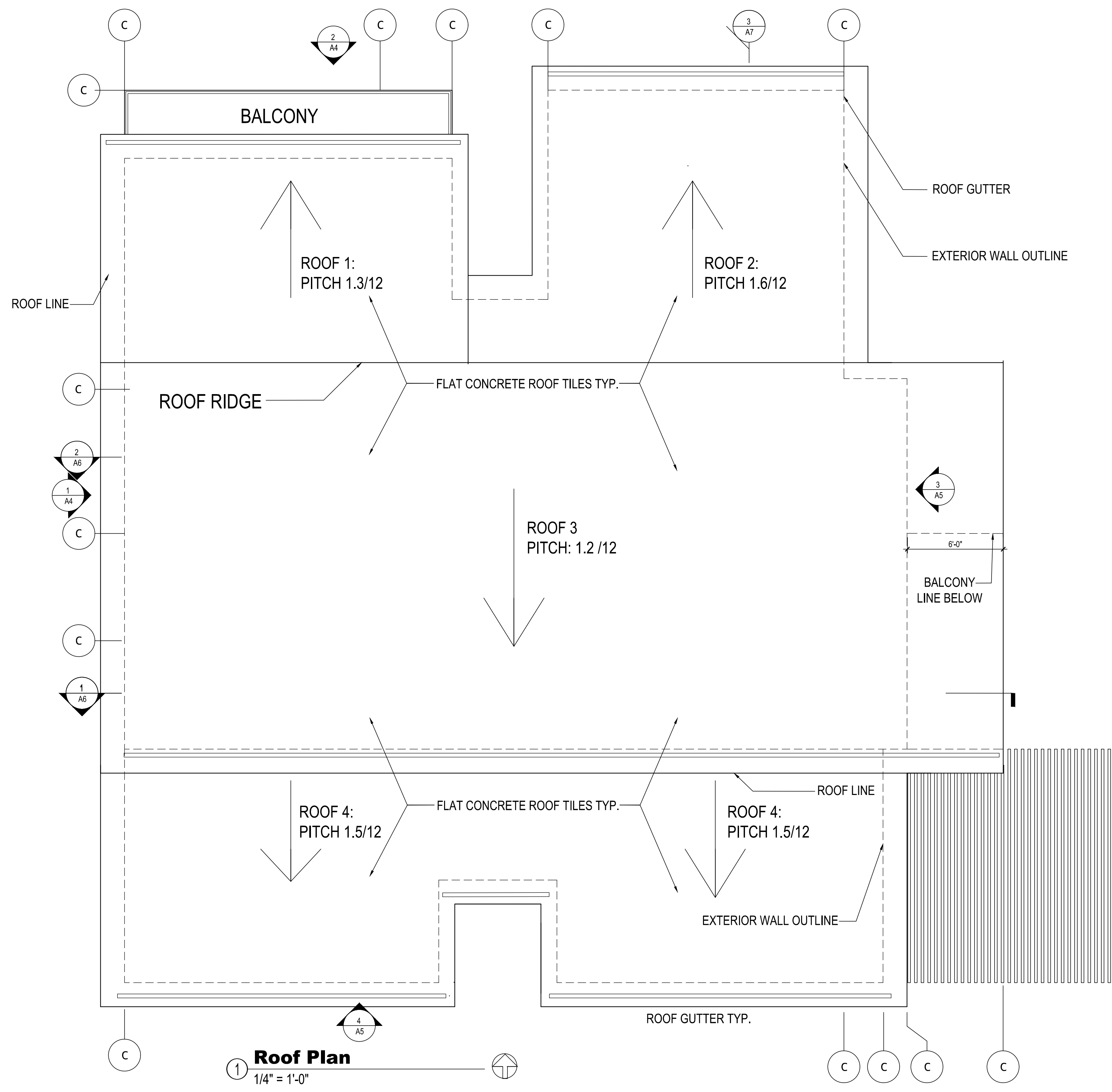


Proposed Second Floor Plan

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

plan check comments	
NO.	REVISION
DATE	3/30/2019
SCALE	AS SHOWN
DRWAN	
JOB	

A2.2



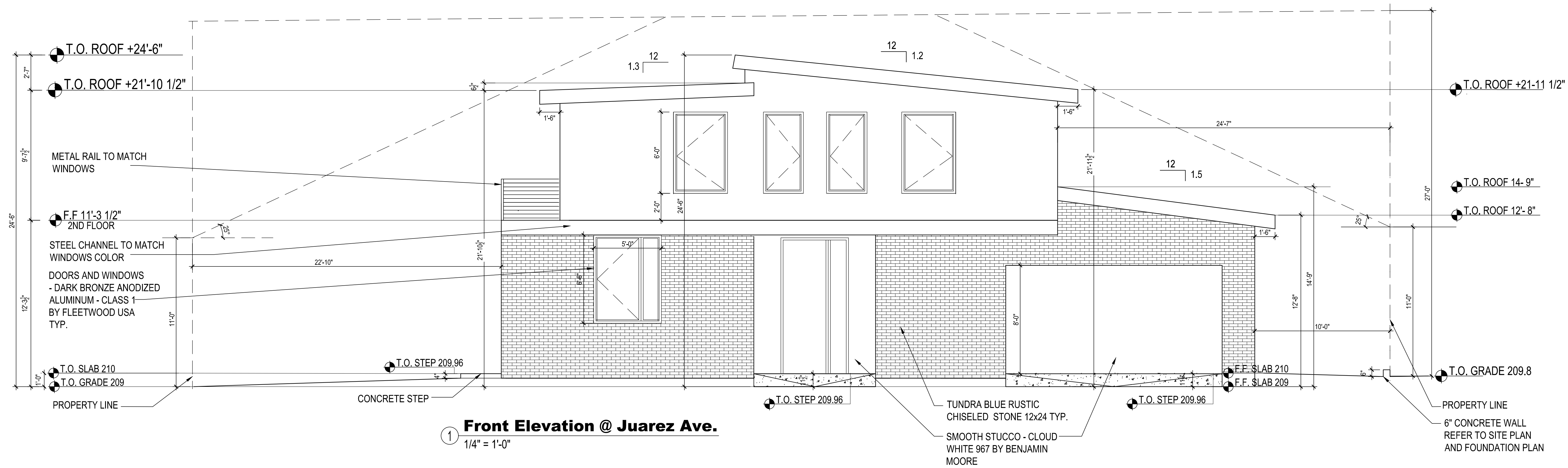
Proposed Roof Plan

Piekarz Residence
 1400 Richardson Ave
 Los Altos, CA 94024

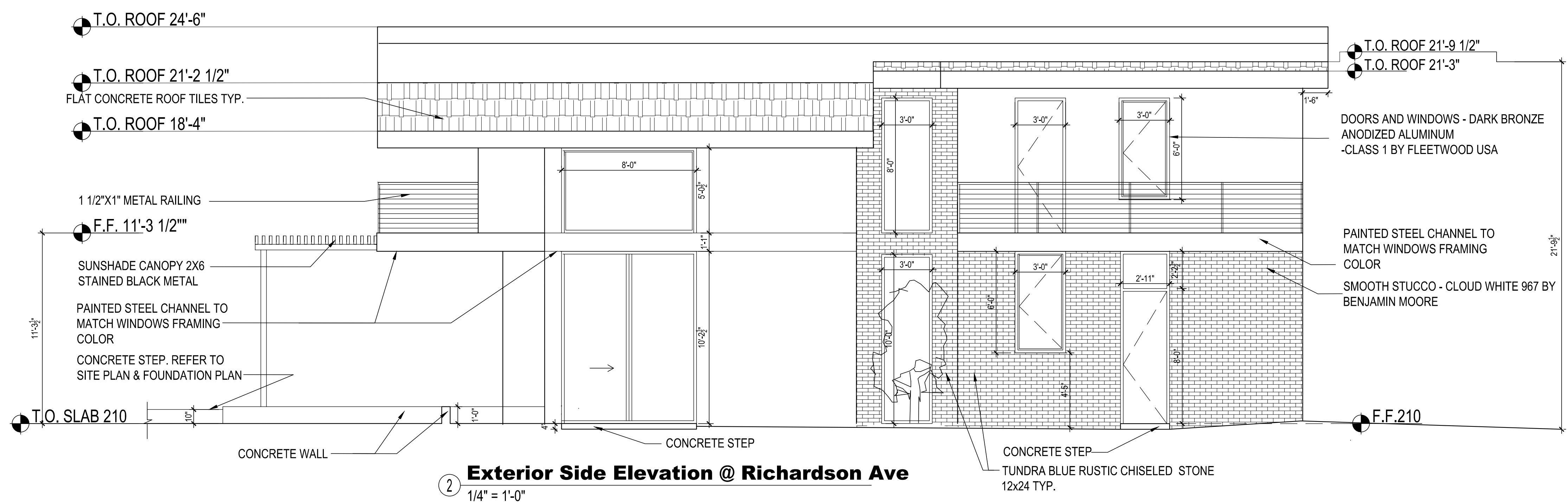
plan check comments	
NO.	REVISION

DATE 3/30/2019
 SCALE AS SHOWN
 DRWAN
 JOB

A3.1



① **Front Elevation @ Juarez Ave.**
1/4" = 1'-0"



② **Exterior Side Elevation @ Richardson Ave**
1/4" = 1'-0"

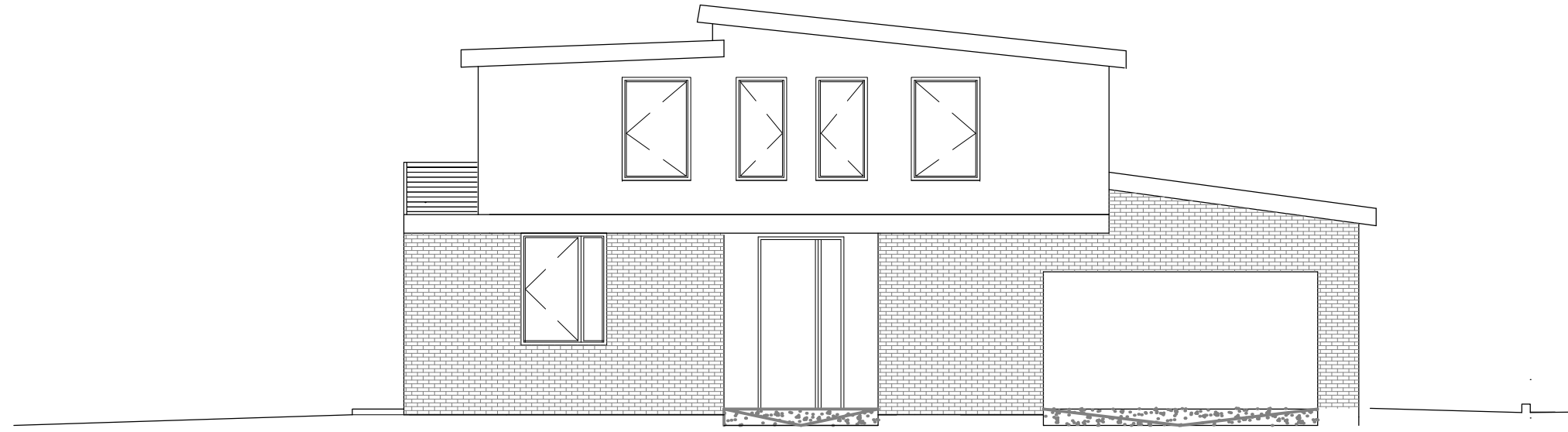
Proposed Exterior Elevations

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

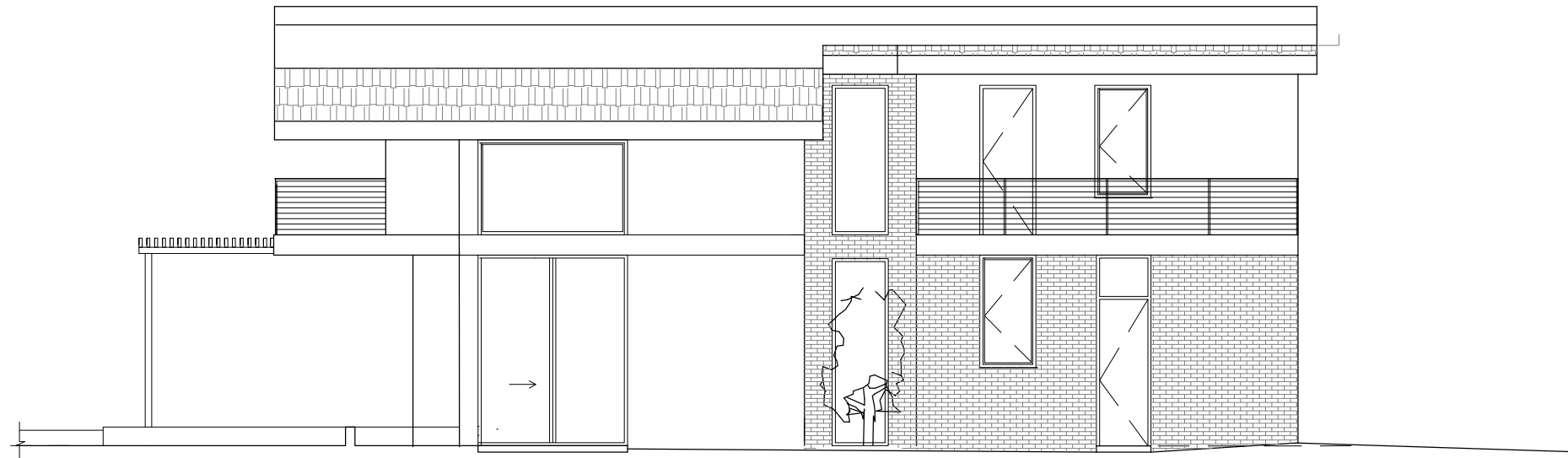
NO.	DATE	REVISION

DATE 3/30/2019
SCALE AS SHOWN
DRWAN
JOB

A4



① **Front Elevation @ Juarez Ave.**
1/8" = 1'-0"



② **Exterior Side Elevation @ Richardson Ave**
1/8" = 1'-0"

Proposed Exterior Elevations

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

NO.	DATE	REVISION

DATE	3/7/2019
------	----------

SCALE	AS SHOWN
-------	----------

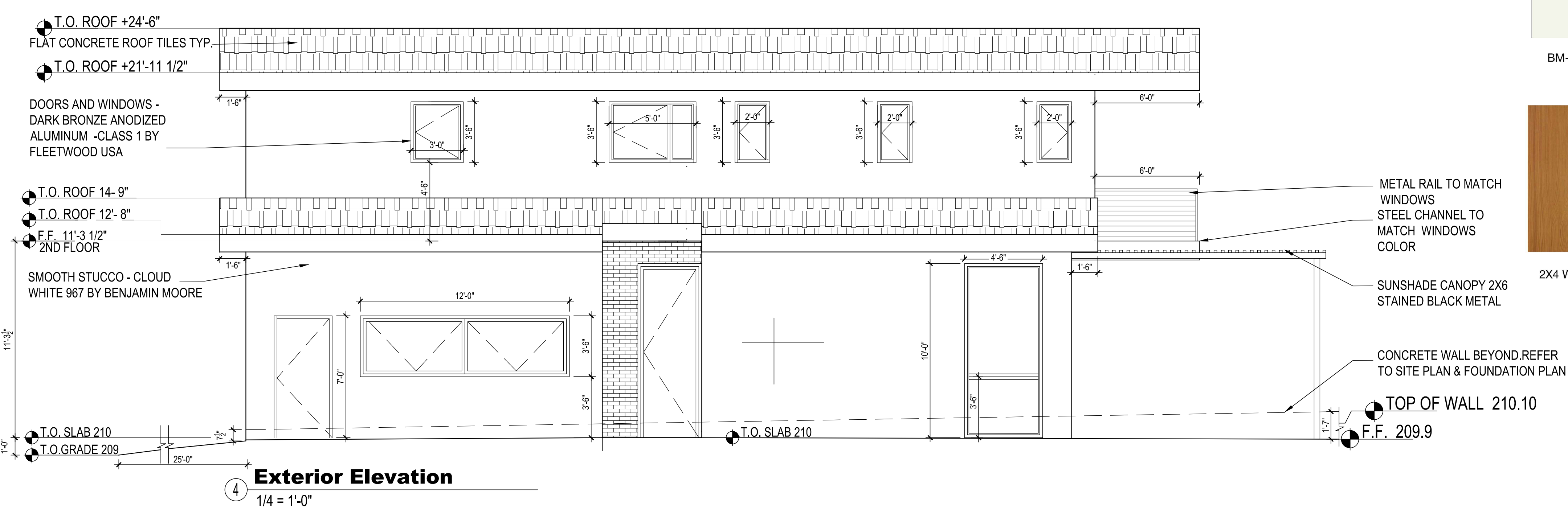
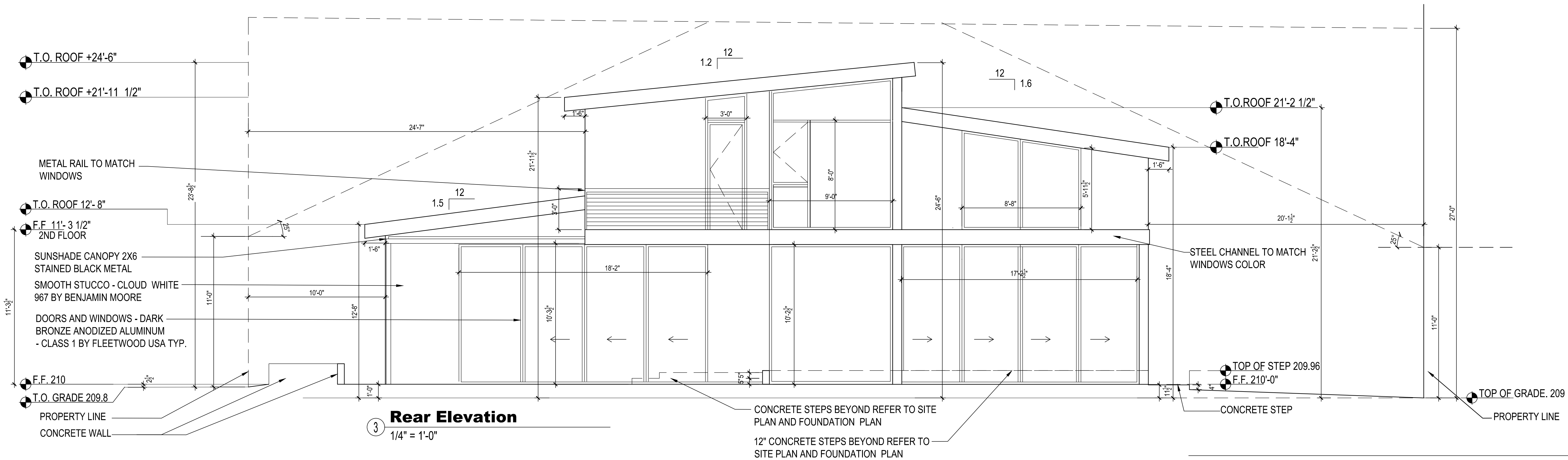
DRWAN	
-------	--

JOB	
-----	--

A4

Proposed Exterior Elevations

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

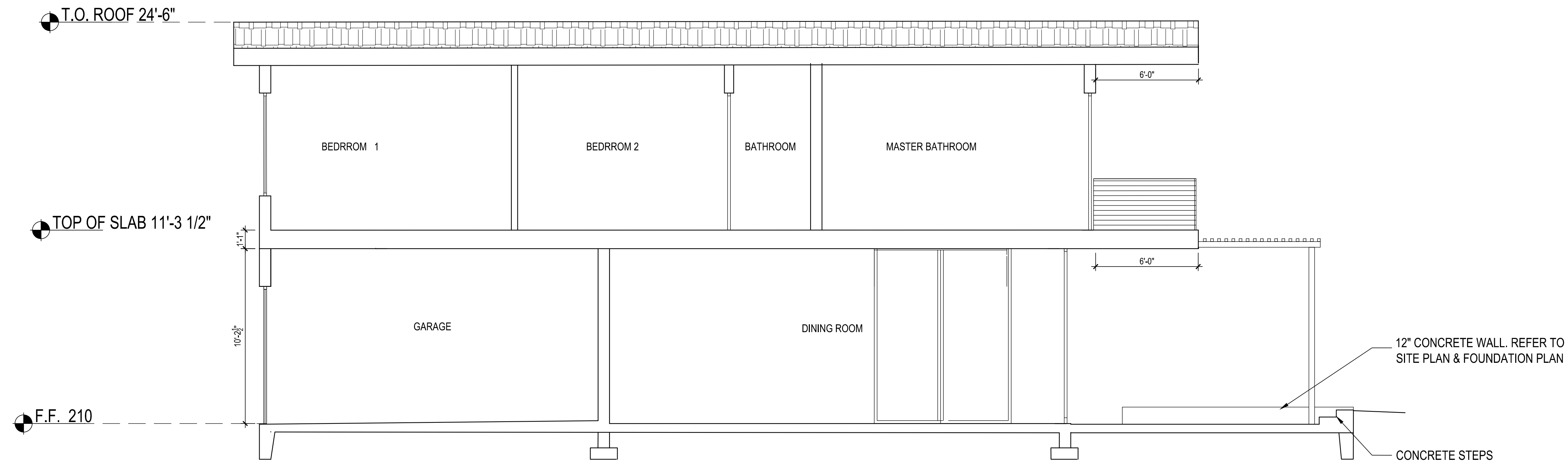


BM-967 Cloud White	Blue Tundra Stone - Chisled	Dark Bronze Anodized Aluminum
2X4 Western Red Cedar	Blue Stone Garden Pathway	Poured Gray Exterior Concrete

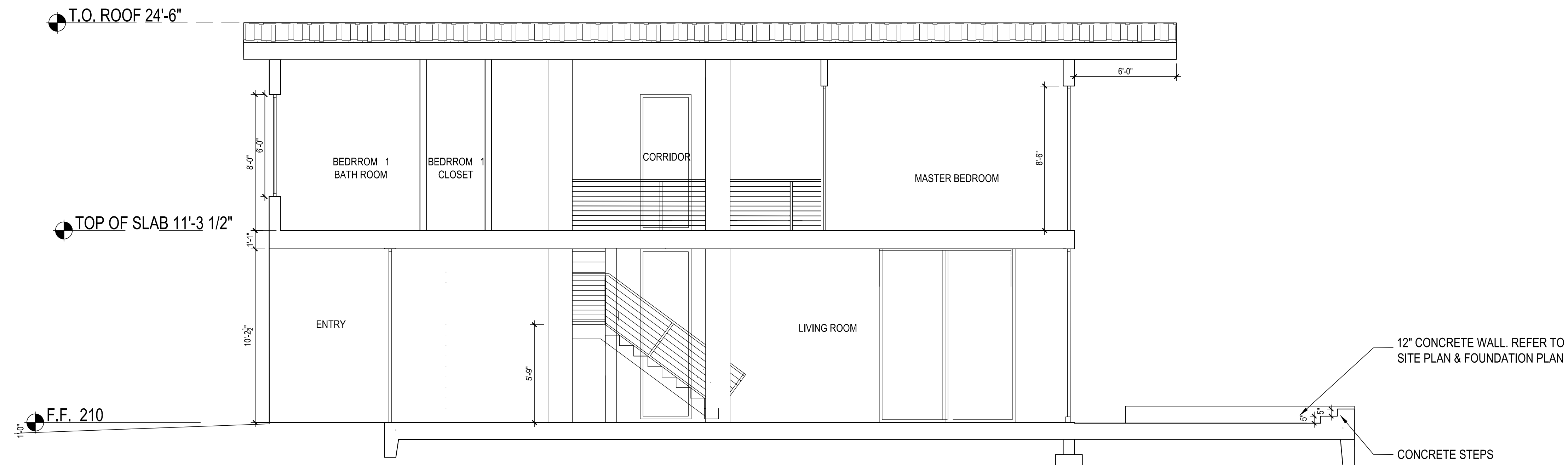
Material Board

NO.	DATE	REVISION
	3/30/2019	
		AS SHOWN

A5



① **Section**
1/4" = 1'-0"



② **Section**
1/4" = 1'-0"

Proposed Sections

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

NO.	DATE	REVISION

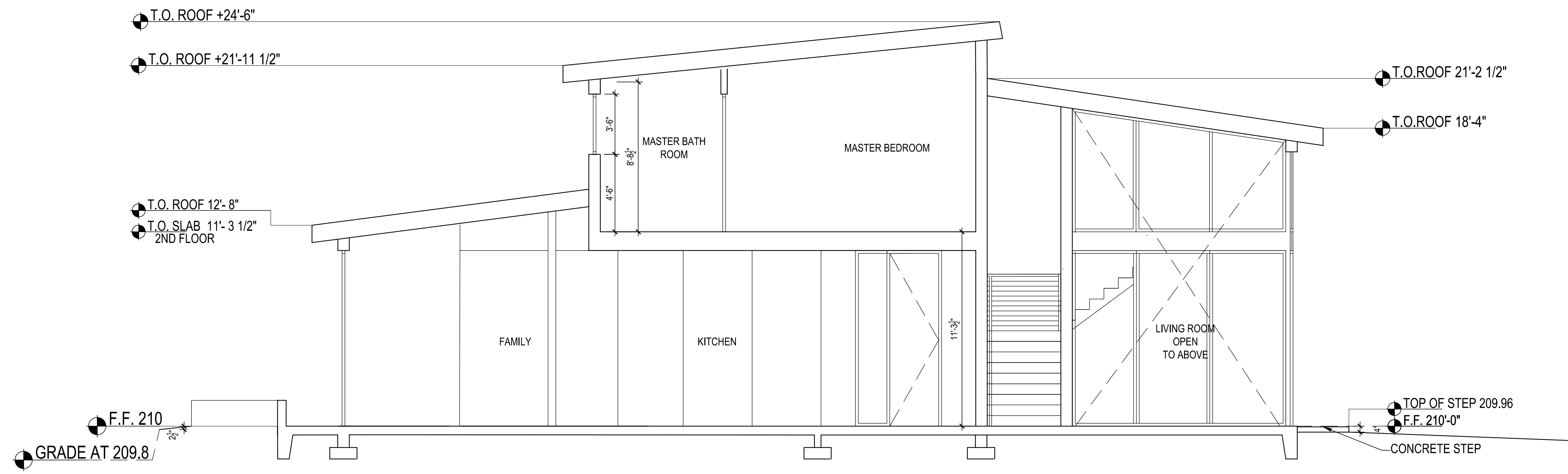
DATE 3/30/2019

SCALE AS SHOWN

DRWAN

JOB

A6



③ **Section**
1/4" = 1'-0"

Proposed Sections

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

NO.	DATE	REVISION

DATE 3/30/2019
SCALE AS SHOWN
DRWAN
JOB

A7



FRONT VIEW FROM JUAREZ AVE.



SIDE VIEW FROM RICHARDSON AVE.



REAR VIEW



SIDE VIEW

Proposed 3d Renderings

Piekarz Residence
 1400 Richardson Ave
 Los Altos, CA 94024

plan check comments		
NO.	DATE	REVISION

DATE 3/30/2019
 SCALE AS SHOWN
 DRWAN
 JOB

A8



FRONT VIEW FROM JUAREZ AVE.



SIDE VIEW FROM RICHARDSON AVE.



REAR VIEW



SIDE VIEW

Proposed 3D Renderings

Piekarz Residence
 1400 Richardson Ave
 Los Altos, CA 94024

plan check comments		
NO.	DATE	REVISION

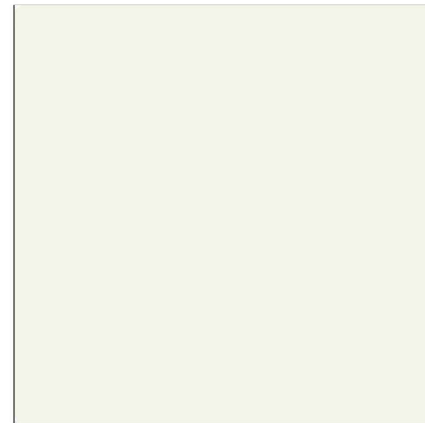
DATE	3/9/2019
SCALE	AS SHOWN
DRWAN	
JOB	

A9

MATERIAL BOARD		
MATERIAL	COLOR	MANUFACTURER
1. CONCRETE FLAT ROOF	CHARCOAL -BEL AIR	ARCAT OR EAGLE ROOFING OR EQUAL
2. STUCCO -SMOOTH FINISH	BM 967 CLOUD WHITE	BENJAMIN MOORE OR EQUAL
3. STONE CLADDING - BLUE TUNDRA STONE OR NEOLITH STONE PANELS		AGORA OR NEOLITH
4. GARAGE DOOR - STEEL GARAGE DOOR WITH FLUSH PANELS	GRAY	LUX GARAGE DOORS OR EQUAL
5. METAL WINDOWS FRAME AND SLIDING DOORS	BLACK	FLEETWOOD OR EQUIVALENT
6. HARDSCAPE - POURED GRAY EXTERIOR CONCRETE	GRAY	PBM COMPANY OR EQ
7. BLUE STONE GARDEN PATHWAY	GRAY	PBM COMPANY OR EQ
8. FENCE AND EVE - 2X4 WESTERN RED CEDAR	CEDAR	



#1 CONCRETE FLAT ROOF



#2 BM-967 Cloud White



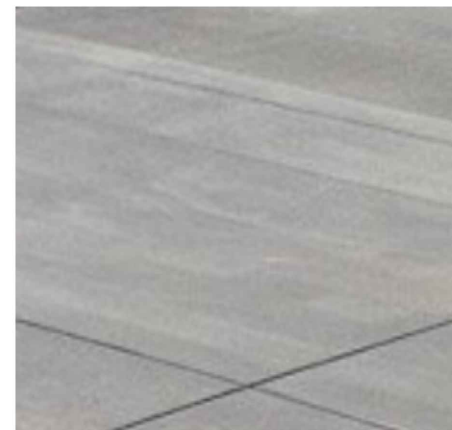
#3 Blue Tundra Stone - Chisled



#4 GARAGE DOORS



#5 WINDOWS AND SLIDING DOORS



#6 Poured Gray Exterior Concrete



#7 Blue Stone Garden Pathway



#8 2X4 Western Red Cedar

Material Board

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

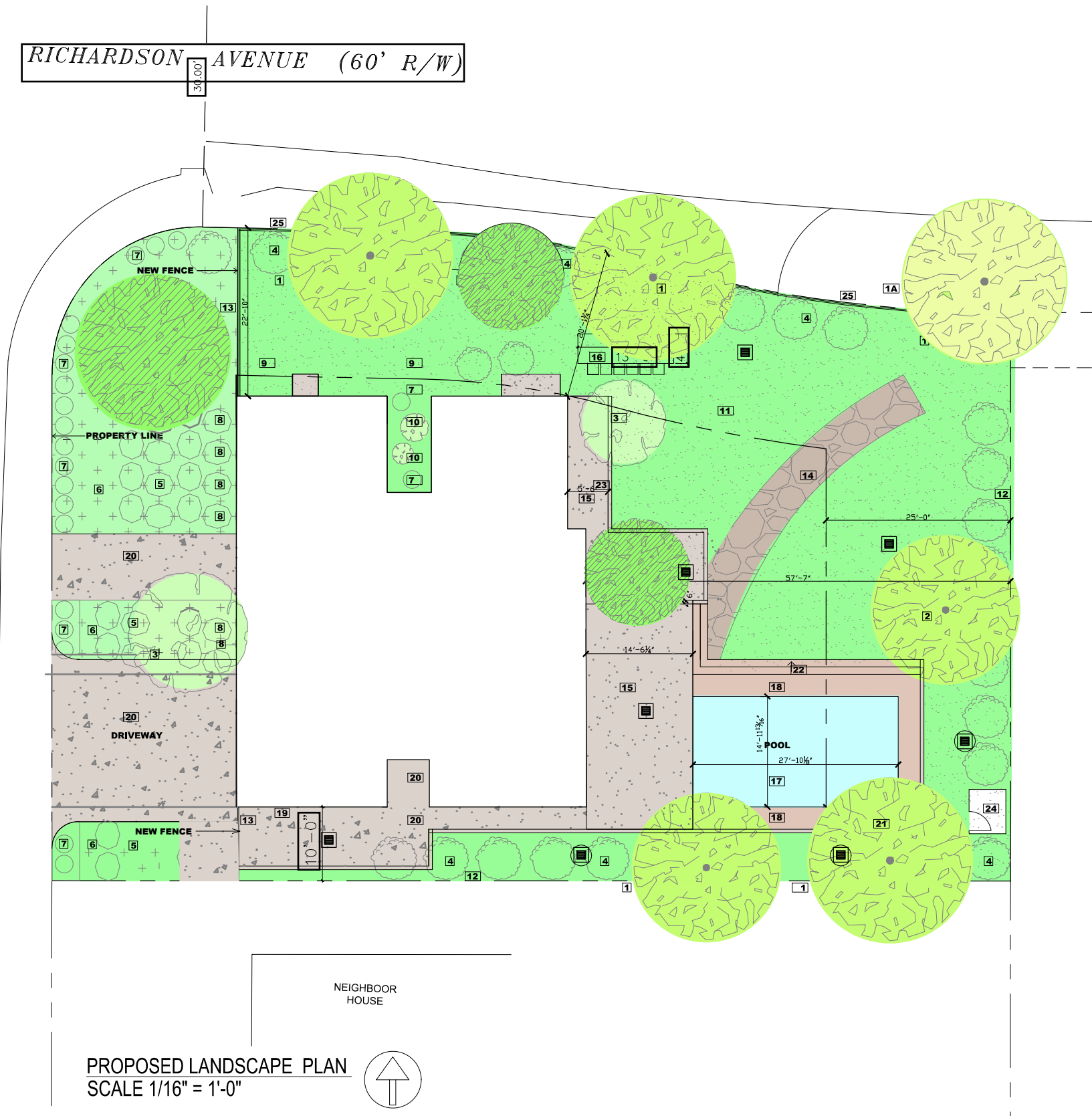
plan check comments		
NO.	DATE	REVISION

DATE	2/19/2019
SCALE	AS SHOWN
DRWAN	
JOB	

A10

JUAREZ AVENUE (50' R/W)

RICHARDSON AVENUE (60' R/W)



LANDSCAPE AND SITE PLAN LEGEND

COMMON NAME	HEIGHT AND SPREAD	RATE OF GROWTH
1. CALIFORNIA PEPPER TREE	25'-40' TALL AND WIDE	FAST
1A. EXISTING TREE TO REMAIN JUNIPER TREE	APPROX. 20 FT TALL	
2. AUSTRALIAN WILLOW TREE	30'X 20'	MODERATE
3. MULTI TRUNK FRUITLESS OLIVE	25'-30'X25'	SLOW
4. PITTOSPORUM TENUIFOLIUM SILVER SHEEN	12'-18'X6'-8'	MODERATE TO FAST
5. FOUNTAIN GRASS	UP TO 5'	FAST
6. BLUE OAT GRASS	UP TO 4'	FAST
7. JAPANESE FOREST GRASS	UP TO 1'	FAST
8. HARDY PAMPAS GRASS	8'-10'X4'-6'	FAST
9. OAK SEDGE	8"-10"X10"-12"	FAST
10. GREEN SHOWERS MAYTAN TREE	20'X12'	MODERATE
11. SOD LAWN DOUBLE DWARF CHAMPION		
12. EXISTING FENCE TO REMAIN		
13. NEW FENCE 2X6 CEDAR WOOD @ 6'-0" HIGH		
14. PAVED AREA BLUE STONE GARDEN PATHWAY		
15. PAVED AREA GRAY STONE TILE		
16. OUTDOOR BAR/ SITTING AREA		
17. POOL		
18. PAVED AREA COPING AND SHOULDERS		
19. WATER METER		
20. POURED CONCRETE		
21. 6" WIDE X18" TALL CONCRETE WALL		
22. CONCRETE STEPS		
23. 6" WIDE X12" TALL CONCRETE WALL		
24. WOOD STRUCTURE FOR POOL EQUIP 5'-10" TALL		
25. NEW FENCE 2X6 CEDAR WOOD @ 4'-0" HIGH		



California Pepper Tree



Australian Willow



Multi Trunk Fruitless Olive



Pittosporum Tenuifolium Silver Sheen



Fountain Grass



Blue Oat Grass



Japanese Forest Grass



Hardy Pampas Grass



Oak Sedge



Green Showers Maytan

Proposed Landscape Plan

Piekarz Residence
1400 Richardson Ave
Los Altos, CA 94024

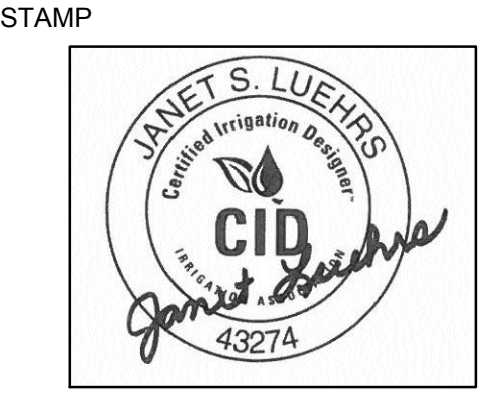
NO.	DATE	REVISION
△		plan check comments

DATE	2/19/2019
SCALE	AS SHOWN
DRWAN	
JOB	

L1

PROPOSED LANDSCAPE PLAN
SCALE 1/16" = 1'-0"





CONSULTANT

**PIEKARZ
 RESIDENCE**

 1400 RICHARDSON
 AVENUE
 LOS ALTOS

ISSUANCE

NO	REVISIONS	DATE

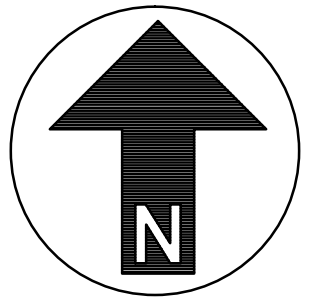
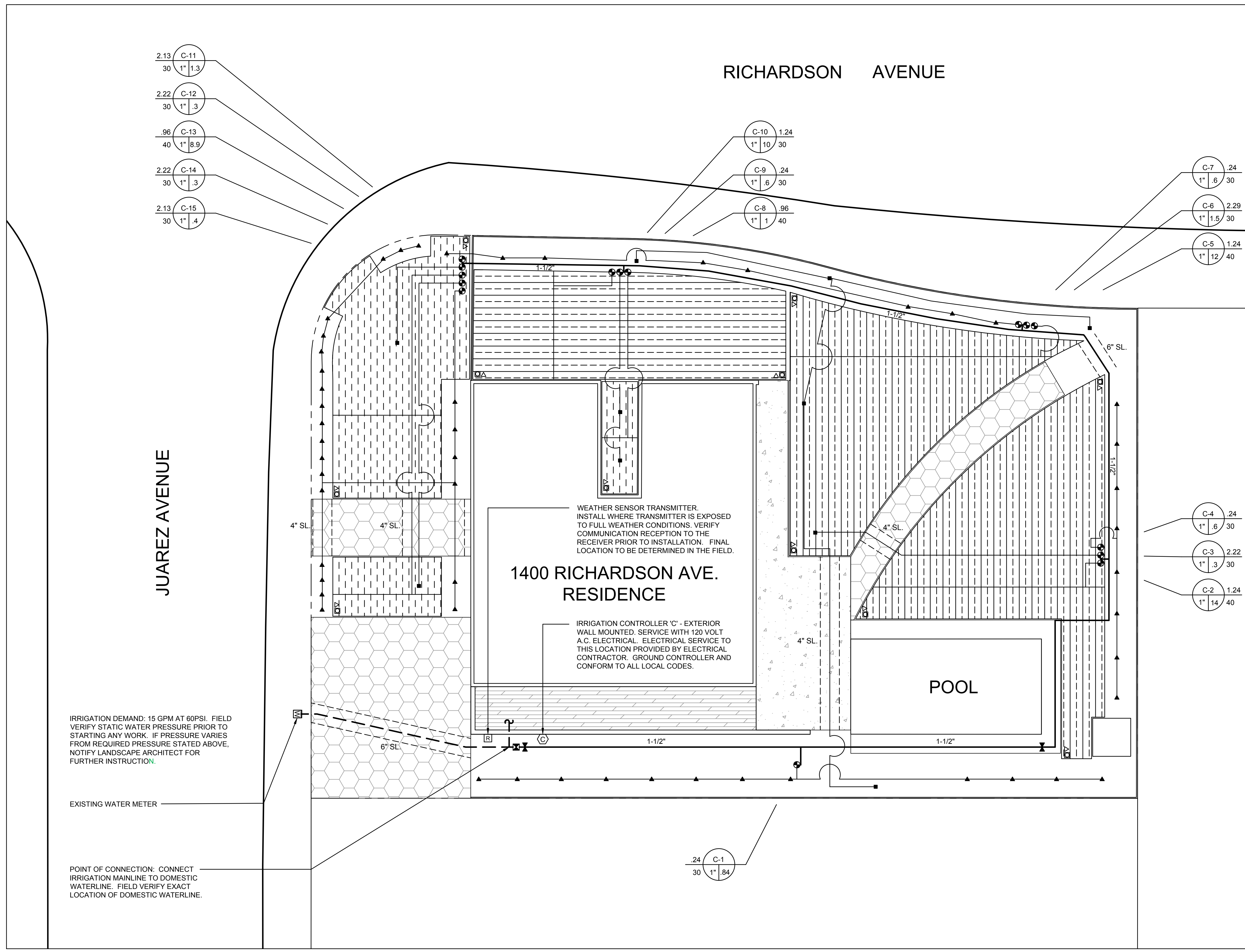
SHEET TITLE
**IRRIGATION
 PLAN**

DRAWN BY BG	CHECKED BY JL
DATE 11/26/18	SCALE 1/8" = 1'-0"

JOB NO. **BW-18-159**

SHEET NO.

IR-1



"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"

IRRIGATION NOTES

1. THE CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL ENSURE COORDINATION WITH ALL APPLICABLE TRADES PRIOR TO SUBMITTING BID.
2. THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY LICENSED CONTRACTORS AND EXPERIENCED WORKERS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO THEIR WORK.
3. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. PARALLEL PIPES MAY BE INSTALLED IN COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED DIRECTLY ABOVE ONE ANOTHER.
4. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. COORDINATE WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR IS TO REPAIR ANY DAMAGE CAUSED BY THEIR WORK AT NO ADDITIONAL COST TO THE OWNER.
6. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL WORK AND PLAN WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
7. ELECTRICAL CONTRACTOR TO SUPPLY 120 VAC (2.5 AMP) SERVICE TO CONTROLLER LOCATION. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER. IRRIGATION CONTROL WIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #12 U.L. APPROVED AND SHALL BE WHITE IN COLOR. WIRING TO INDIVIDUAL REMOTE CONTROL VALVES SHALL BE COLOR OTHER THAN WHITE.
8. EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.
9. REMOTE CONTROL VALVES SHALL BE WIRED TO CONTROLLER IN SEQUENCE AS SHOWN ON PLANS. RUN WIRE FROM EACH RCV TO THE CONTROLLER. SPLICING WIRES TOGETHER OUTSIDE OF VALVE BOXES WILL NOT BE PERMITTED.
10. SPLICING OF 24-VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 36" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
11. WIRE CONNECTORS SHALL BE 3M-DBR/Y-6 DIRECT BURY UNLESS OTHERWISE NOTED.
12. INSTALL TWO (2) SPARE CONTROL WIRES ALONG THE ENTIRE MAIN LINE. SPARE WIRES SHALL BE THE SAME COLOR (ONE WITH A WHITE STRIPE) AND OF A DIFFERENT COLOR THAN OTHER CONTROL WIRES. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
13. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS WHERE POSSIBLE (NOT IN LAWN AREA.)
14. INSTALL VALVE BOXES MINIMUM 12" FROM AND PERPENDICULAR TO WALK, CURB, BUILDING OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE MINIMUM 12" APART. SHORT SIDE OF VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, ETC.
15. PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
16. ALL MAIN LINES SHALL BE FLUSHED PRIOR TO THE INSTALLATION OF IRRIGATION BUBBLERS AND DRIP TUBING. AT 30 DAYS AFTER INSTALLATION EACH SYSTEM SHALL BE FLUSHED TO ELIMINATE GLUE AND DIRT PARTICLES FROM THE LINES.
17. NOTIFY ARCHITECT OF ANY ASPECTS OF LAYOUT THAT WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS/HER INSTRUCTIONS ARE OBTAINED.
18. IN ADDITION TO THE SLEEVES AND CONDUITS SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF SLEEVES AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
19. ALL EXCAVATIONS ARE TO BE FILLED WITH COMPACTED BACKFILL. REPAIR ALL SETTLED TRENCHES PROMPTLY, FOR A PERIOD OF 1 YEAR AFTER COMPLETION OF WORK.
20. CONTRACTOR SHALL WARRANT THAT THE IRRIGATION SYSTEM WILL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF WORK.
21. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
22. IRRIGATION DEMAND: REFER TO IRRIGATION POINTS OF CONNECTION.
23. CONTRACTOR SHALL VERIFY REMOTE AND WEATHER SENSOR RECEPTION TO THE RECEIVER PRIOR TO INSTALLING THE CONTROLLER. IF SIGNAL IS TOO WEAK, EXTEND THE RECEIVER OUT TO A MAXIMUM OF 10' FROM THE CONTROLLER USING A 6 PIN PHONE CABLE WITH FEMALE ADAPTER. IF RECEPTION IS STILL TOO WEAK, CONTACT THE LANDSCAPE ARCHITECT FOR FURTHER INSTRUCTION.
24. OPERATE IRRIGATION CONTROLLER(S) BETWEEN THE HOURS OF 10:00 PM AND 7:00 AM.
25. NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
26. NOTIFY UNDERGROUND SERVICE ALERT AT 811 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION.
27. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
28. A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
29. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.

IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION	PSI	FLOW RATE (GPM)	MAX. RADIUS	MAX. SPACING
▲	HEB-40	HUNTER PRESSURE COMPENSATING DRIP BUBBLER INSTALL ONE BUBBLER PER VINE	25	4 GPH	-	-
■	HEB-40	HUNTER PRESSURE COMPENSATING DRIP BUBBLER INSTALL TWO BUBBLERS PER TREE	25	4 GPH	-	-
△	EBV-0500-S	KBI BALL VALVE FOR FLUSHING				
□	ECO-ID	HUNTER ECO INDICATOR CONNECT VIA 1/2" MPT CONNECTION				
NOT SHOWN	PLD-AVR	HUNTER AIR RELIEF VALVE				
☉	ICZ-101-25 / LT-1000-T	HUNTER DRIP ZONE VALVE KIT - INCL. REMOTE CONTROL VALVE, WYE FILTER WITH 150 MESH SCREEN, AND PRESET PRESSURE REGULATOR / KBI PVC BALL VALVE				
✂	T-113-LF	NIBCO LEAD FREE GATE VALVE (LINE SIZE)				
⊠	975XL2-1.5"	WILKINS LEAD-FREE REDUCED PRESSURE BACKFLOW PREVENTER				
⊞	WSS-SEN	HUNTER SOLAR SYNC WIRELESS WEATHER SENSOR				
Ⓢ	IC-1800-PL ROAM-KIT	HUNTER I-CORE MODULAR CONTROLLER (18 STATIONS) - EXTERIOR WALL MOUNTED HUNTER MAINTENANCE REMOTE				
<p>CONTROLLER AND STATION NUMBER</p> <p>APPLICATION RATE (INCHES)</p> <p>OPERATING PRESSURE (PSI) OR AIR RELIEF VALVE QUANTITY</p> <p>APPROXIMATE GALLONS PER MINUTE</p> <p>REMOTE CONTROL VALVE SIZE</p>						
<p>MAIN LINE SIZE 1-1/2": 1120-SCHEDULE 40 PVC SOLVENT WELD PLASTIC PIPE WITH SCHEDULE 80 AND SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 18" COVER.</p>						
<p>LATERAL LINE: 1120-CLASS 200 PSI PVC SOLVENT WELD PIPE WITH SCHEDULE 40 PVC SOLVENT WELD FITTINGS. 12" COVER.</p>						
<p>SUB-SURFACE DRIPLINE (SHRUBS): HUNTER DRIPLINE, HDL-06-18-500-CV. USE ONLY PLD-LOC DRIPLINE FITTINGS. 4" COVER. (18" EMITTER SPACING, 18" ROW SPACING AT GRADE. VARIES ON SLOPE, SEE SLOPE LAYOUT DETAIL 24 SHEET 14.0, .6 GPH PER EMITTER)</p>						
<p>SUB-SURFACE DRIPLINE (TURF): HUNTER ECO-MAT FLEECE-WRAPPED DRIPLINE, HDL-06-12-500-CV WITH ECO-MAT FLEECE. USE ONLY PLD-LOC DRIPLINE FITTINGS. 6" DEPTH. (12" EMITTER SPACING, 14" ROW SPACING .6 GPH PER EMITTER)</p>						
<p>SLEEVE (SL): 1120-CLASS 200 PVC PLASTIC PIPE. 24" COVER.</p>						

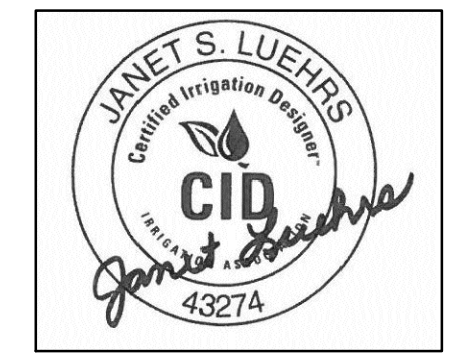
DRIPLINE NOTES

1. PLANS ARE DIAGRAMMATIC. INSTALL DRIPLINE AND COMPONENTS PER MANUFACTURERS INSTRUCTIONS AND INSTALLATION DETAILS.
2. INSTALL DRIPLINE A MAXIMUM OF 12' APART WITH EMITTERS TRIANGULARLY SPACED. INSTALL 2' FROM PERIMETER OF PLANTED AREA. THERE SHOULD BE A MINIMUM OF TWO DRIPLINE LATERALS IN EACH PLANTED AREA. DRIPLINE SHALL BE INSTALLED AT A CONSISTANT DEPTH THROUGHOUT THE CIRCUIT.
3. PLACE AIR/VACUUM RELIEF VALVES AT THE HIGHEST POINTS OF EACH ZONE AND JUST BELOW CHECK VALVES ON SLOPES. INSTALL ONE AIR/VACUUM RELIEF VALVE FOR EVERY 390' OF TOTAL DRIPLINE PER ZONE.
4. PLACE FLUSH VALVES AT THE HYDRAULIC CENTER OF THE EXHAUST HEADER OR AT LOW POINT ON SLOPES. INSTALL MINIMUM OF ONE FOR EVERY 15 GPM.
5. INSTALL IN-LINE CHECK VALVES ON SLOPES GREATER THAN 3% AND WHERE LOW-LINE DRAINAGE COULD CAUSE WET AREAS IN THE LOWEST AREAS OF AN IRRIGATION ZONE. CHECK VALVES SHALL BE PLACED EVERY 4-5 FEET BETWEEN DRIPLINE LATERALS AND BEFORE THE FLUSH VALVE.
6. ON ALL SLOPES AND MOUNDS, PLACE THE DRIPLINE LATERALS PARALLEL TO THE SLOPE CONTOUR WHERE POSSIBLE. INCREASE THE LATERAL SPACING BY 25% ON THE LOWER ONE-THIRD OF THE SLOPE TO AVOID EXCESS DRAINAGE.
7. PVC SUPPLY AND FLUSH LINE SIZING GUIDE (ALL SUPPLY AND FLUSH LINES SHALL BE THE SAME SIZE FOR THE ENTIRE ZONE):
 - 0-8 GPM - 3/4"
 - 8.1-15 GPM - 1"
 - 15.1-25 GPM - 1 1/4"
8. FITTINGS SHALL BE OF THE SAME MANUFACTURER AS DRIPLINE.
9. STAPLE DRIPLINE TO GROUND EVERY 3 FEET. USE ADDITIONAL STAPLES OVER EACH TEE, ELBOW OR CROSS. USE U-SHAPED STAPLES TO AVOID PINCHING THE DRIPLINE.
10. THOROUGHLY FLUSH EACH INSTALLATION SEGMENT TO ENSURE NO DEBRIS CONTAMINATION OCCURS.
11. IN TURF OR NOW-MOW GRASS AREAS, A TEMPORARY OVERHEAD SPRAY SYSTEM WILL NEED TO BE PROVIDED UNTIL THE TURF SEED OR SOD IS ESTABLISHED. OVERHEAD WATERING CAN BE DISCONTINUED WHEN EDGES OF THE SOD CANNOT BE PULLED UP. RUN THE DRIPLINE SYSTEM SEVERAL TIMES DAILY IN ADDITION TO THE TEMPORARY OVERHEAD SYSTEM.
12. RUN THE DRIPLINE SYSTEM EVERY DAY OR EVERY OTHER DAY TO ESTABLISH PLANT MATERIAL. MAINTAIN A CONSISTENT MOISTURE BALANCE IN THE SOIL. IT IS IMPORTANT TO KEEP THE SOIL MOIST WITHOUT SATURATION.



IRRIGATION CONSULTANTS
 480 SAINT JOHN STREET, SUITE 220
 PLEASANTON, CALIFORNIA 94566
 TEL 925 . 855 . 0417
 FAX 925 . 855 . 0357
 E-MAIL
 JANET@BROOKWATER.COM

STAMP



CONSULTANT



PIEKARZ RESIDENCE

1400 RICHARDSON AVENUE
 LOS ALTOS

ISSUANCE

NO	REVISIONS	DATE

SHEET TITLE

IRRIGATION LEGEND AND NOTES

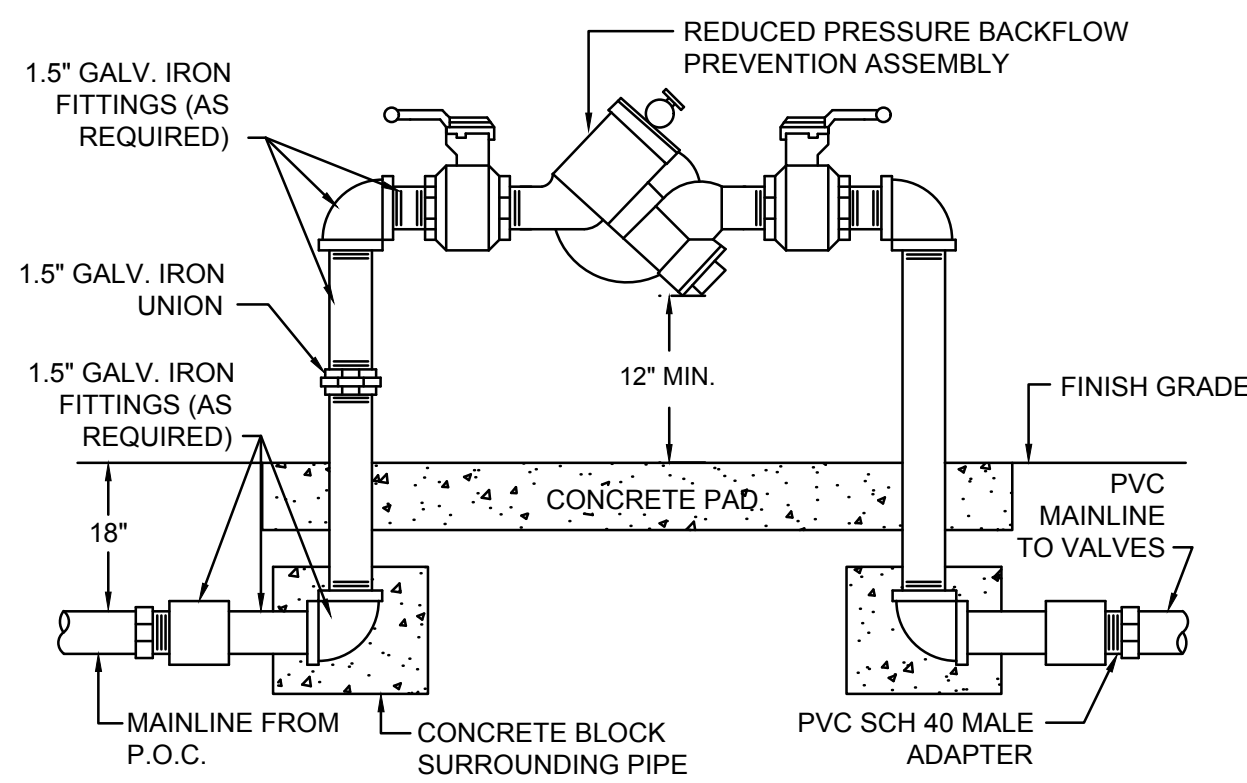
DRAWN BY BG	CHECKED BY JL
DATE 11/26/18	SCALE AS SHOWN

JOB NO. BW-18-159

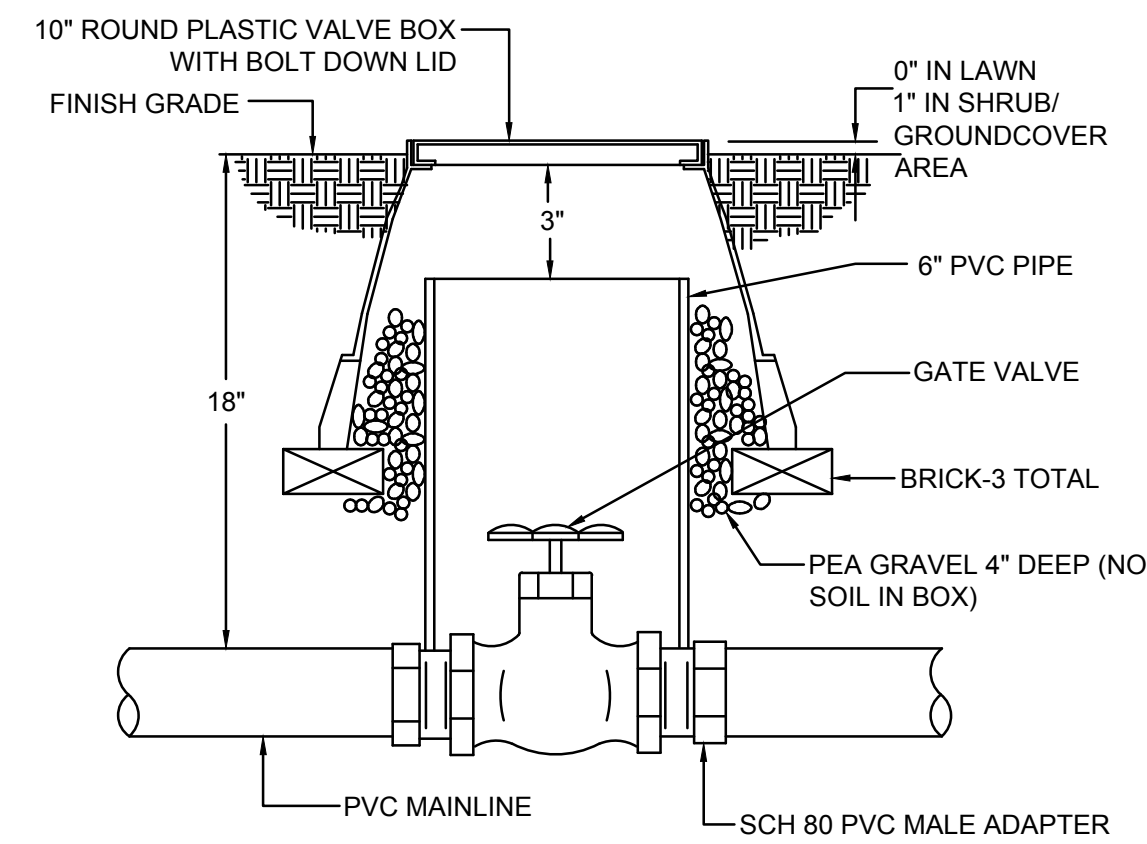
SHEET NO.

IR-2

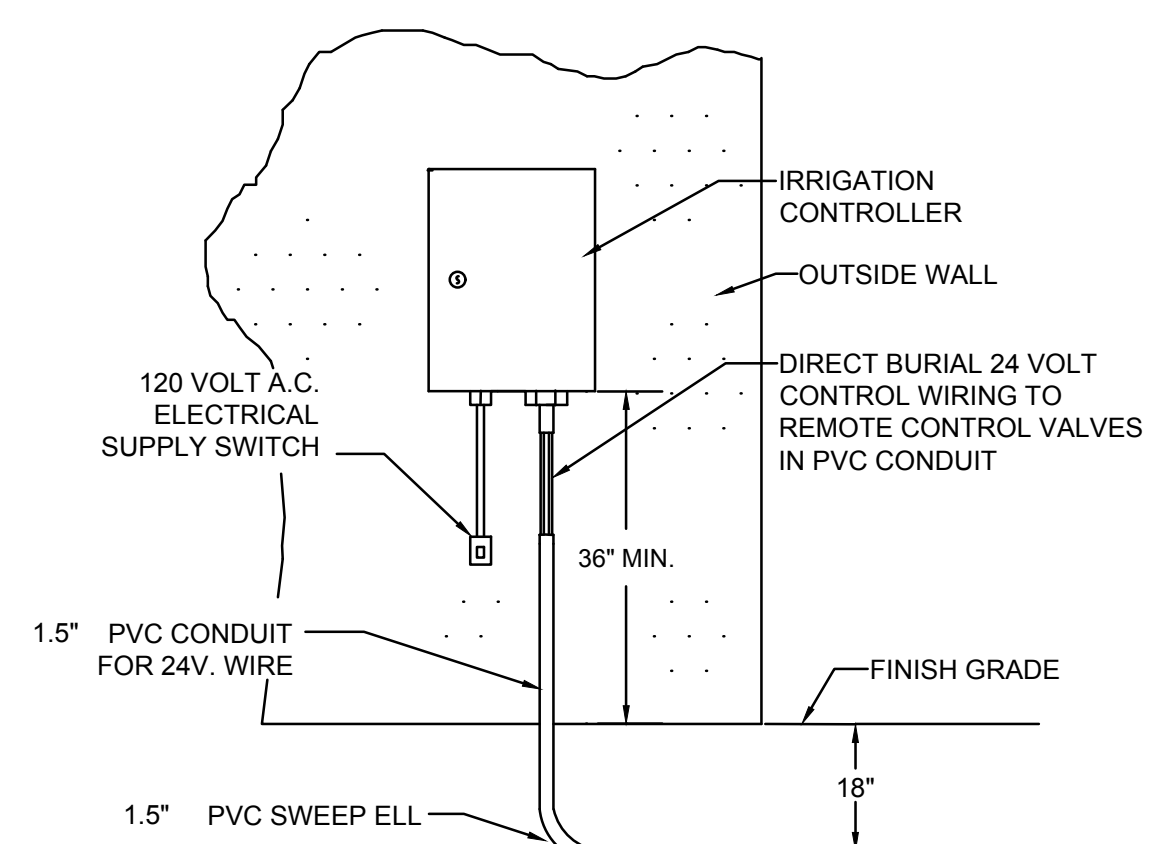
NOTE: EVENLY COAT METAL FITTINGS EXPOSED TO SOIL AND CONCRETE WITH 3M SCOTCHRAP PIPE PRIMER AND THEN WRAP WITH 3M SCOTCHRAP NO. 51 BLACK TAPE (3/4" OVERLAP). USE DIELECTRIC FITTINGS WHERE DISSIMILAR METALS COME INTO CONTACT.



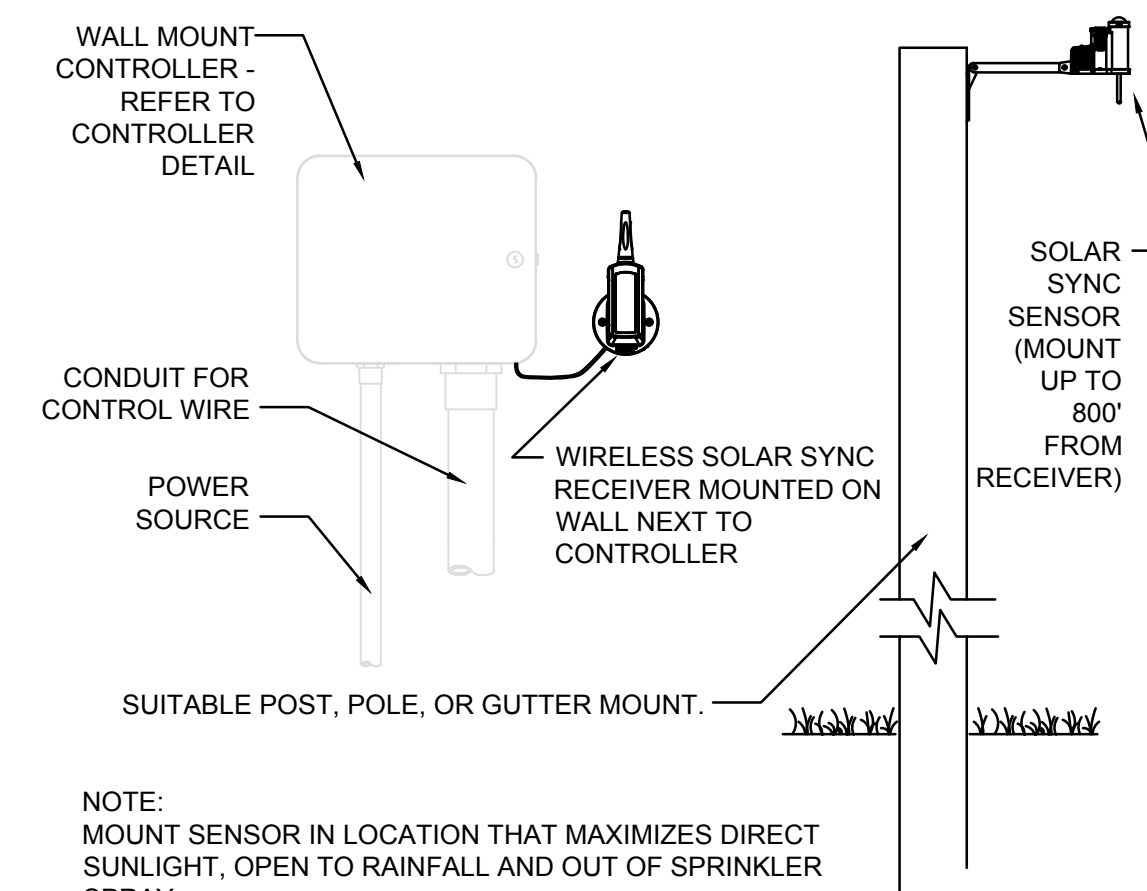
1 REDUCED PRESSURE BACKFLOW ASSEMBLY
NOT TO SCALE



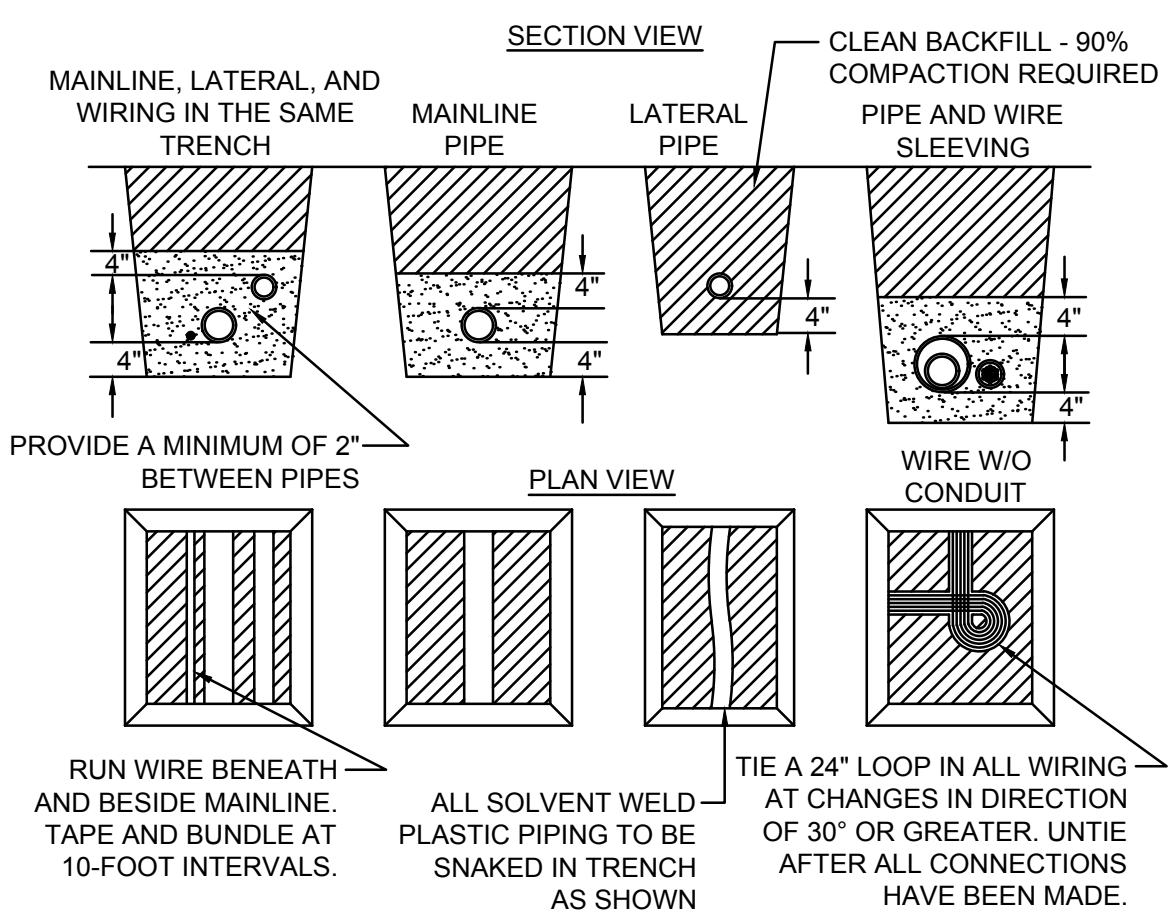
2 GATE VALVE DETAIL
NOT TO SCALE



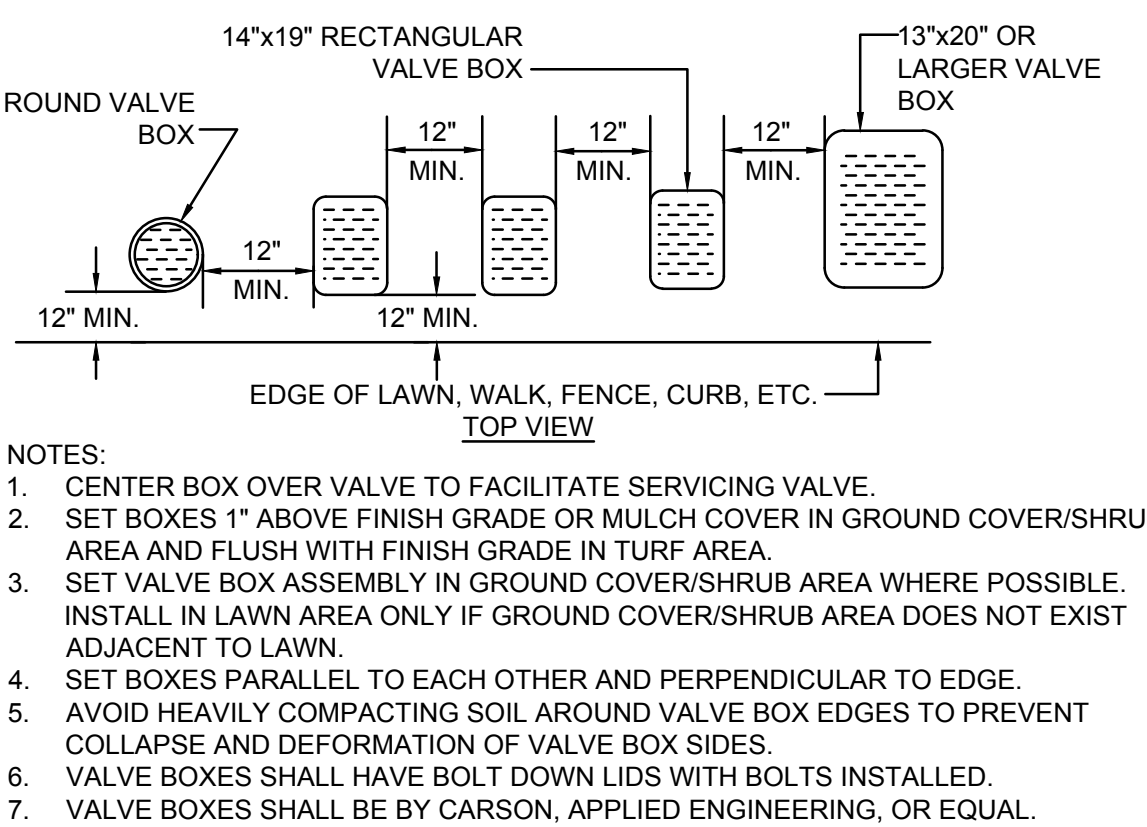
3 OUTSIDE WALL MOUNT CONTROLLER
NOT TO SCALE



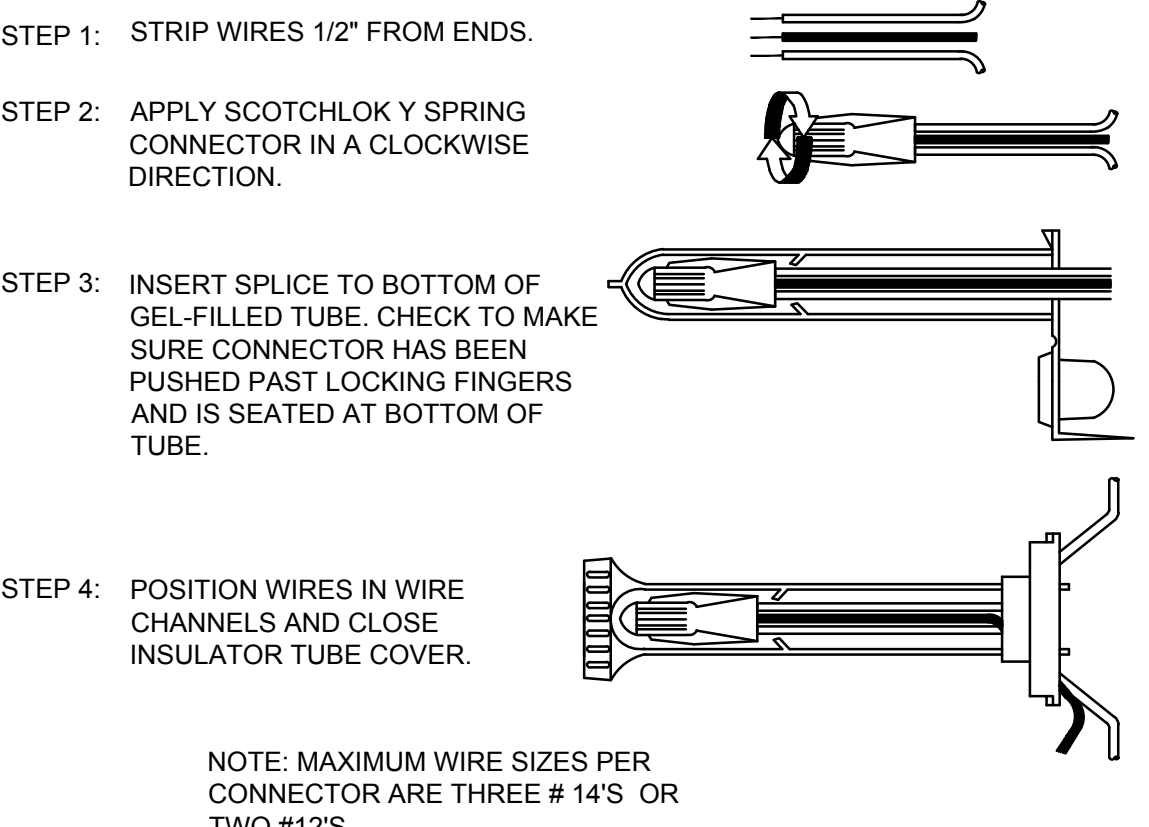
4 HUNTER SOLAR SYNC WEATHER SENSOR
NOT TO SCALE



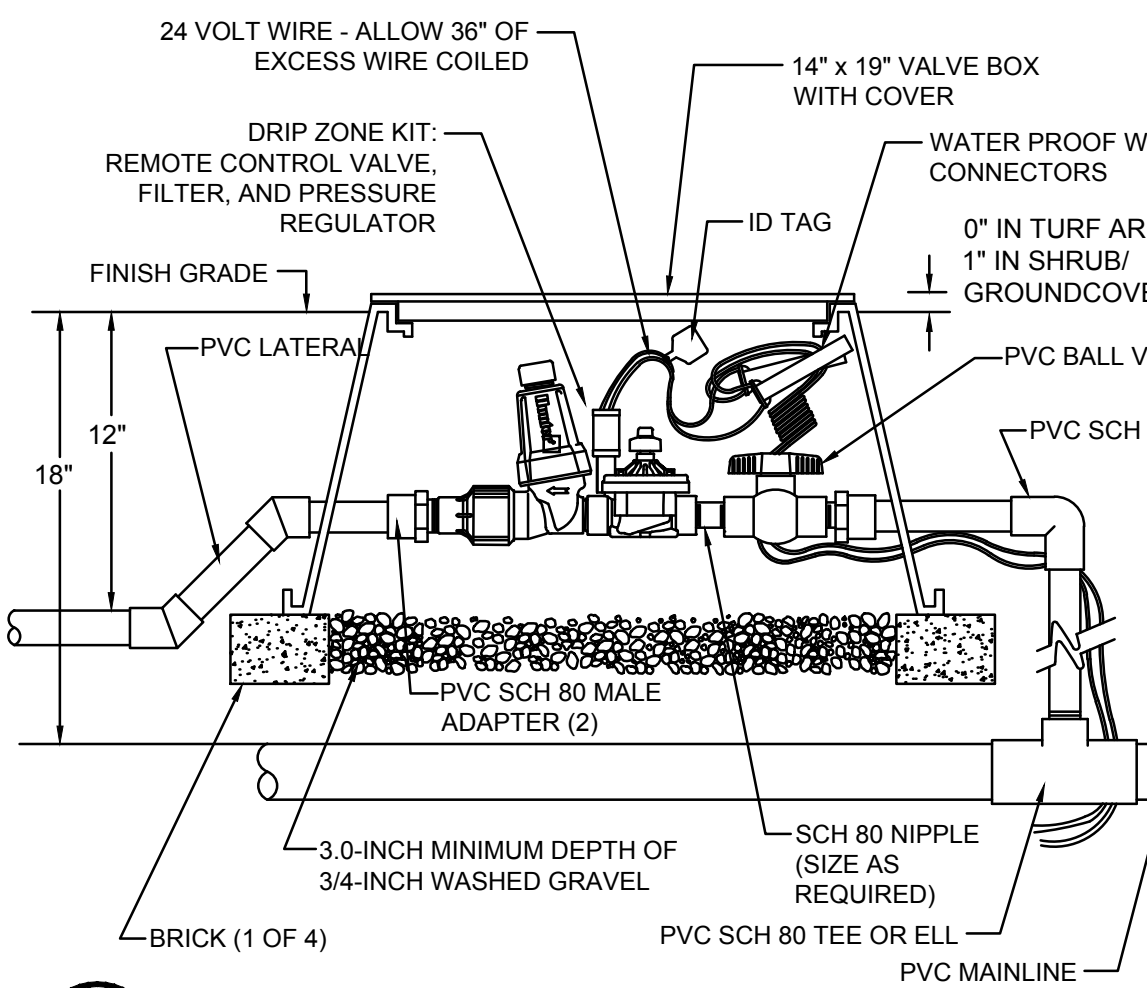
5 PIPE AND WIRE TRENCHING
NOT TO SCALE



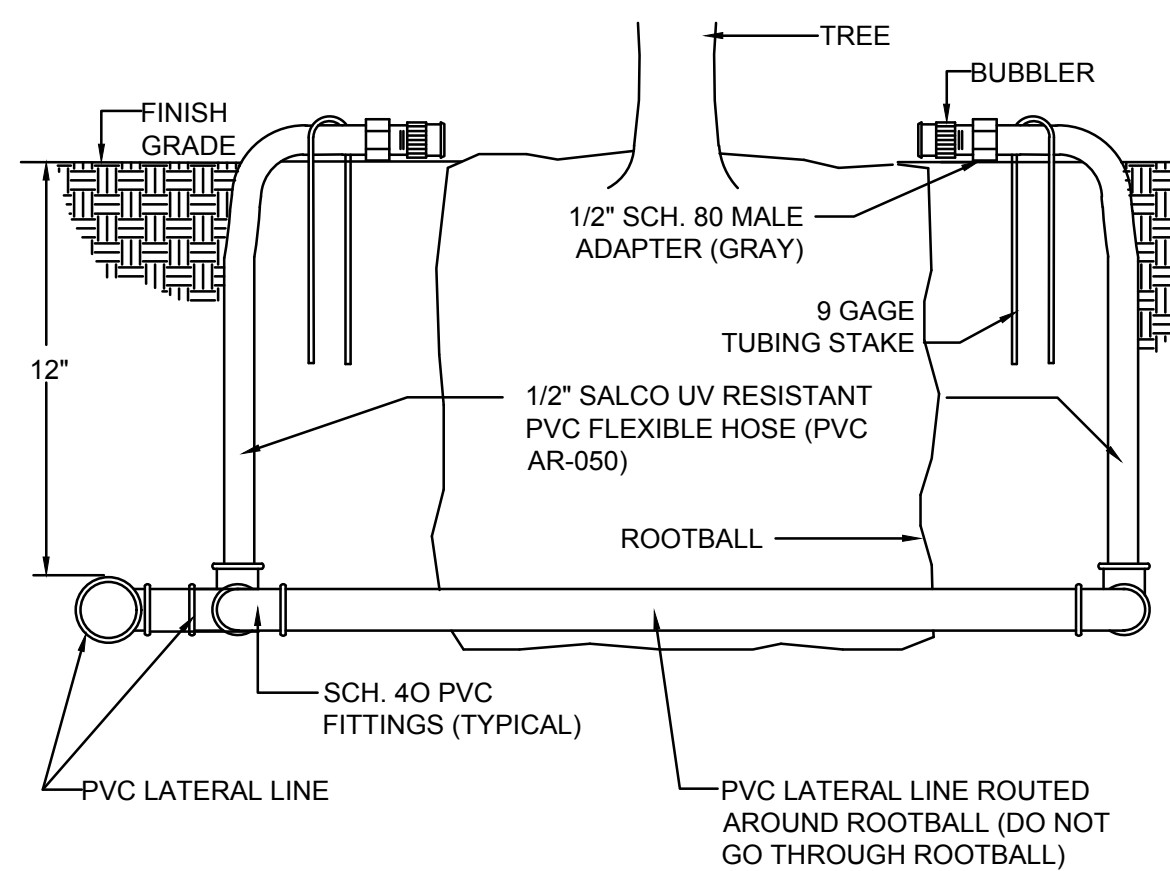
6 VALVE BOX INSTALLATION DETAIL
NOT TO SCALE



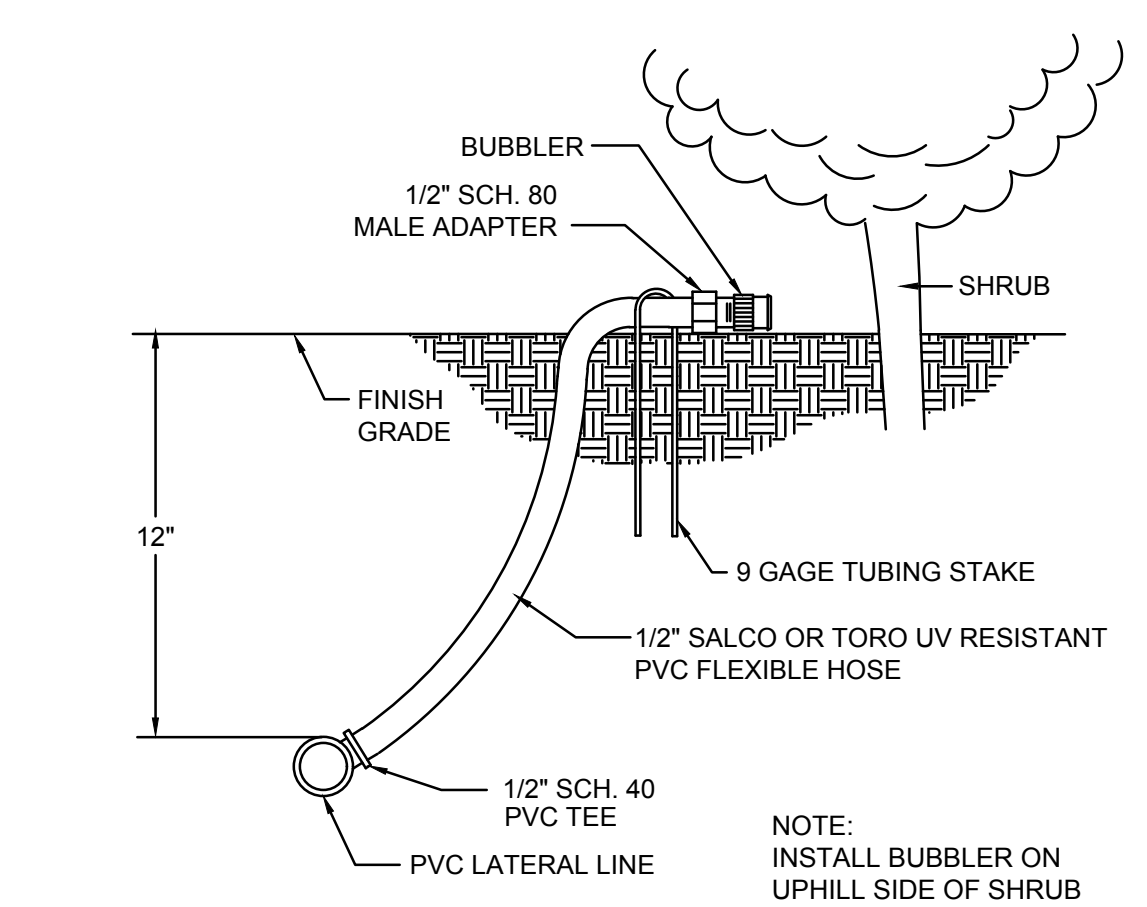
7 WIRE CONNECTION DETAIL
NOT TO SCALE



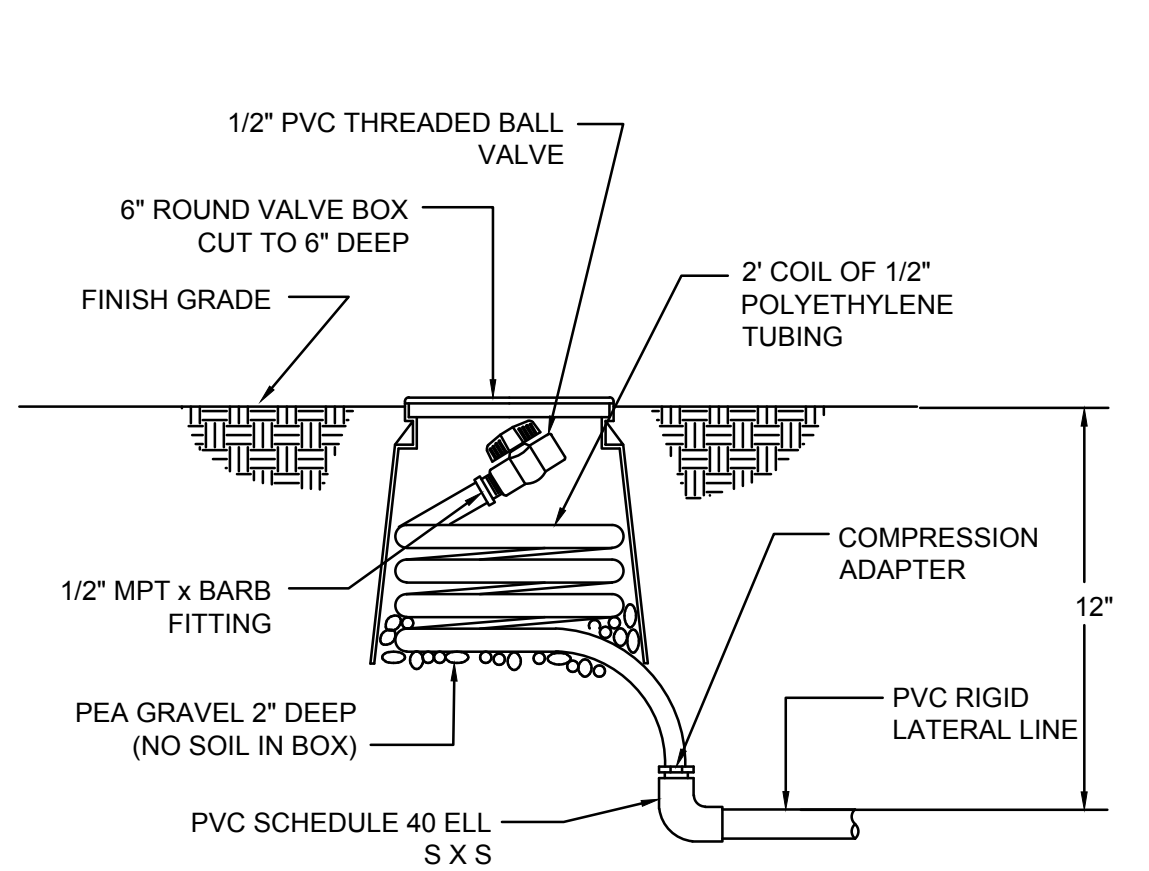
8 HUNTER DRIP ZONE KIT
NOT TO SCALE



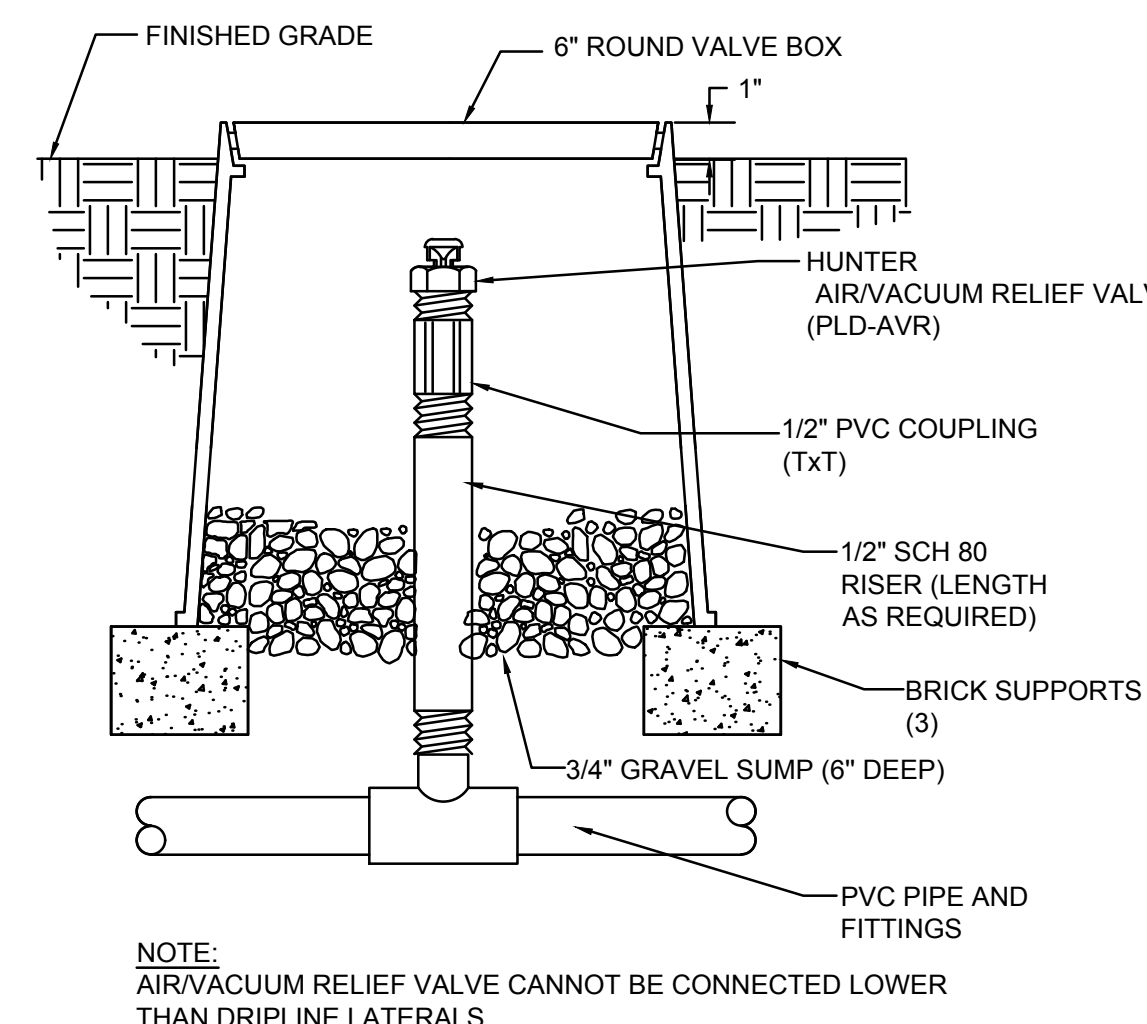
9 TREE BUBBLER DETAIL
NOT TO SCALE



10 SHRUB BUBBLER ON FLEX HOSE DETAIL
NOT TO SCALE



11 MANUAL FLUSH VALVE DETAIL
NOT TO SCALE



12 HUNTER AIR/VACUUM RELIEF VALVE - PLUMBED TO PVC
NOT TO SCALE

BROOKWATER
IRRIGATION CONSULTANTS
480 SAINT JOHN STREET, SUITE 220
PLEASANTON, CALIFORNIA 94566
TEL 925 . 855 . 0417
FAX 925 . 855 . 0357
E-MAIL
JANET@BROOKWATER.COM



CONSULTANT

PIEKARZ
RESIDENCE
1400 RICHARDSON
AVENUE
LOS ALTOS

ISSUANCE

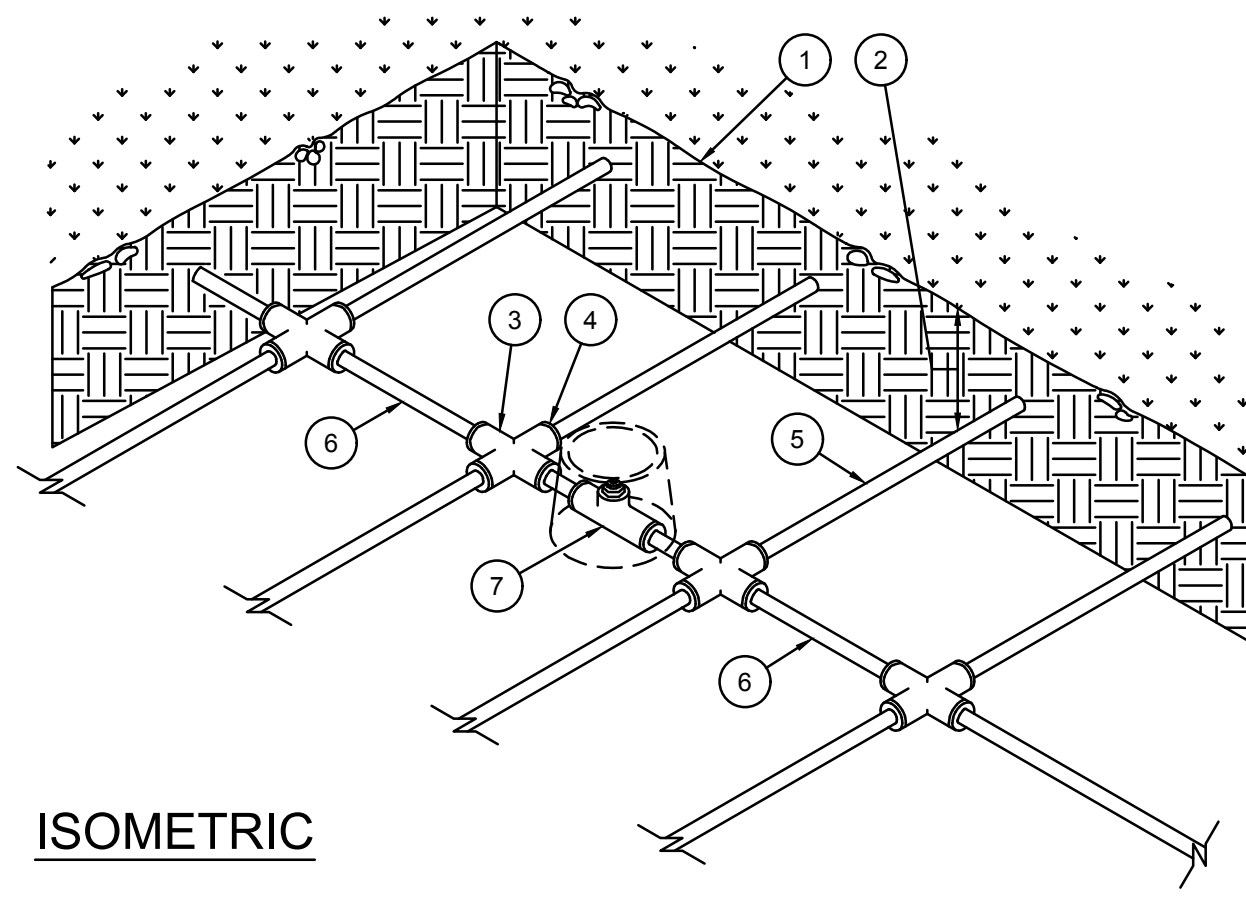
NO	REVISIONS	DATE

SHEET TITLE
**IRRIGATION
DETAILS**

DRAWN BY BG CHECKED BY JL
DATE 11/26/18 SCALE AS SHOWN
JOB NO. BW-18-159

SHEET NO.

IR-3

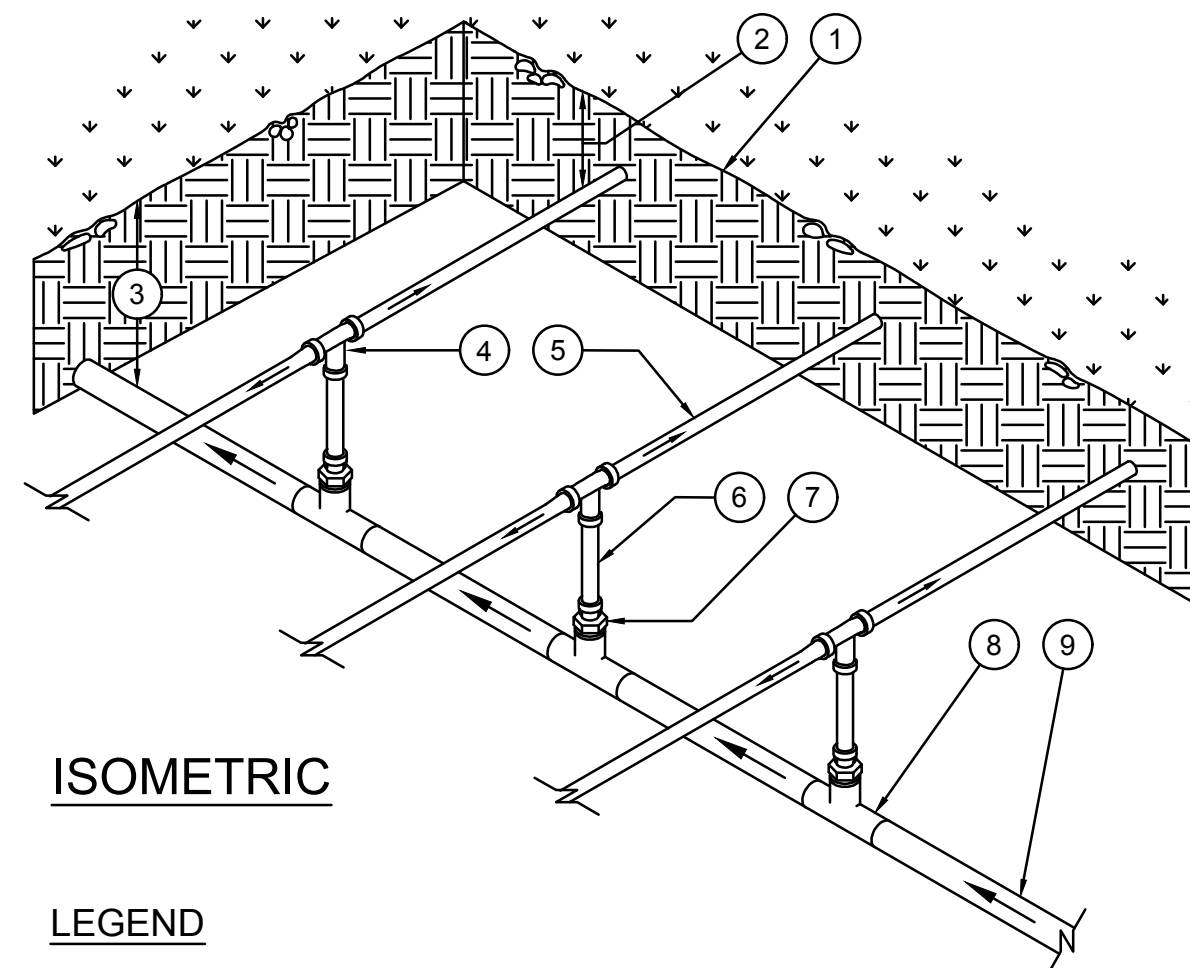


ISOMETRIC

LEGEND

- 1. FINISH GRADE.
- 2. DEPTH OF TUBING PER SPECIFICATIONS
- 3. PVC CROSS (SxSxSxS)
- 4. COMPRESSION ADAPTER.
- 5. DRIPLINE LATERAL.
- 6. AIR/VACUUM RELIEF LATERAL, BLANK POLY TUBING CENTERED ON MOUND OR BERM
- 7. AIR/VACUUM RELIEF VALVE AT HIGH POINT. REFER TO AIR/VACUUM RELIEF VALVE DETAIL.

13 AIR/VACUUM RELIEF LATERAL
NOT TO SCALE

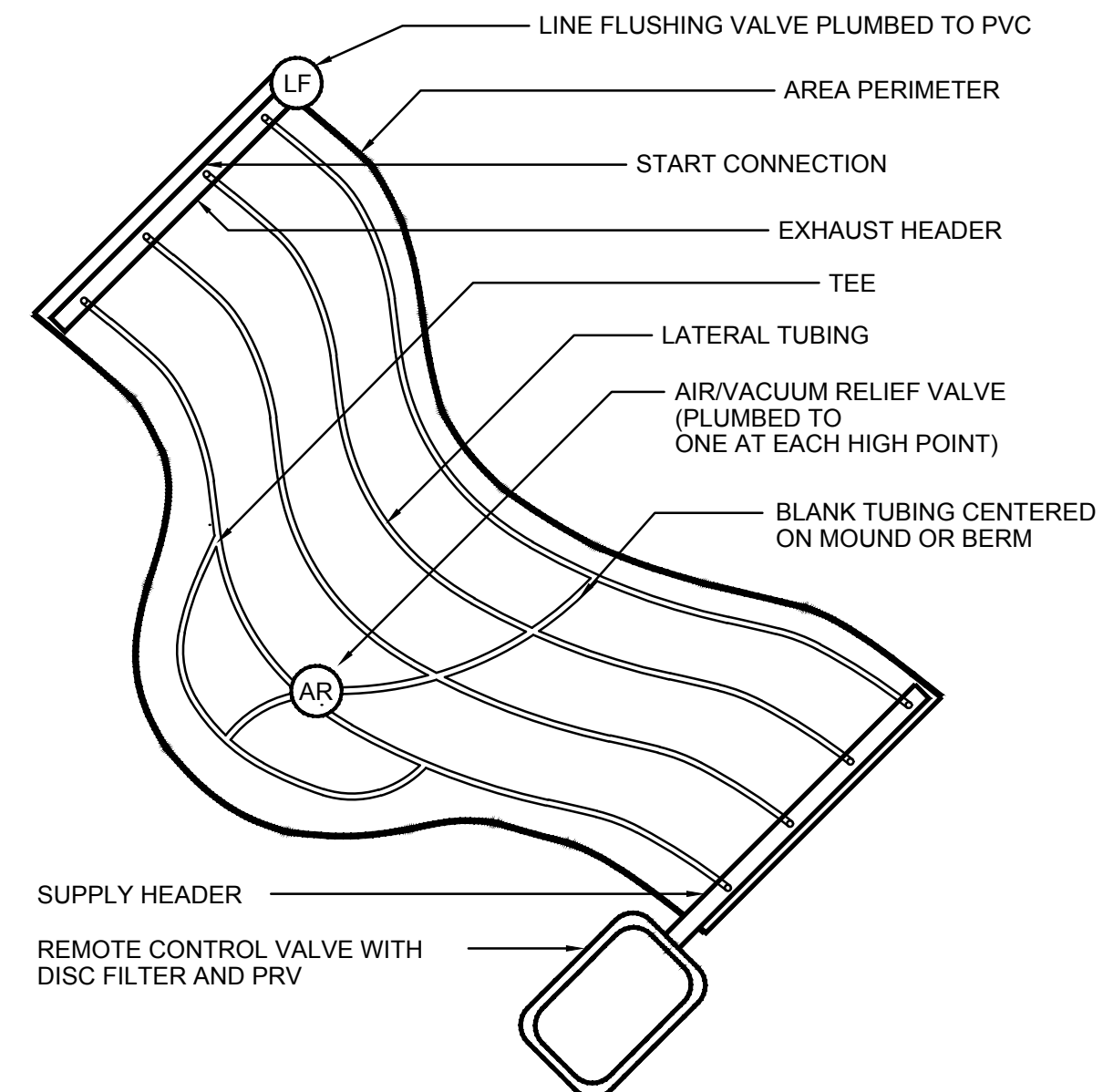


ISOMETRIC

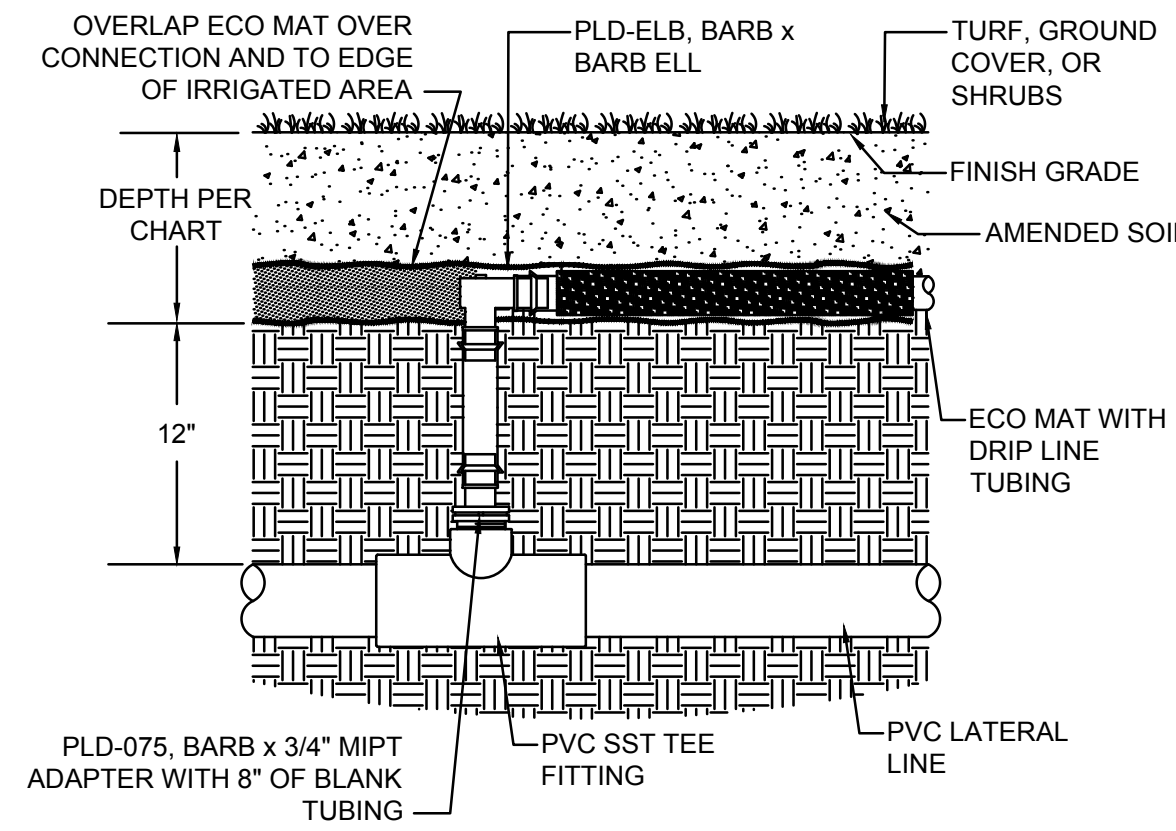
LEGEND

- 1. FINISH GRADE.
- 2. DEPTH OF TUBING PER SPECIFICATIONS
- 3. DEPTH OF PVC SUPPLY MANIFOLD PER SPECIFICATIONS.
- 4. DRIPLINE TEE FITTING.
- 5. DRIPLINE LATERAL.
- 6. BLANK POLY TUBING. LENGTH AS NECESSARY.
- 7. DRIPLINE MPT ADAPTER.
- 8. PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- 9. PVC SUPPLY MANIFOLD FROM REMOTE CONTROL VALVE ASSEMBLY.

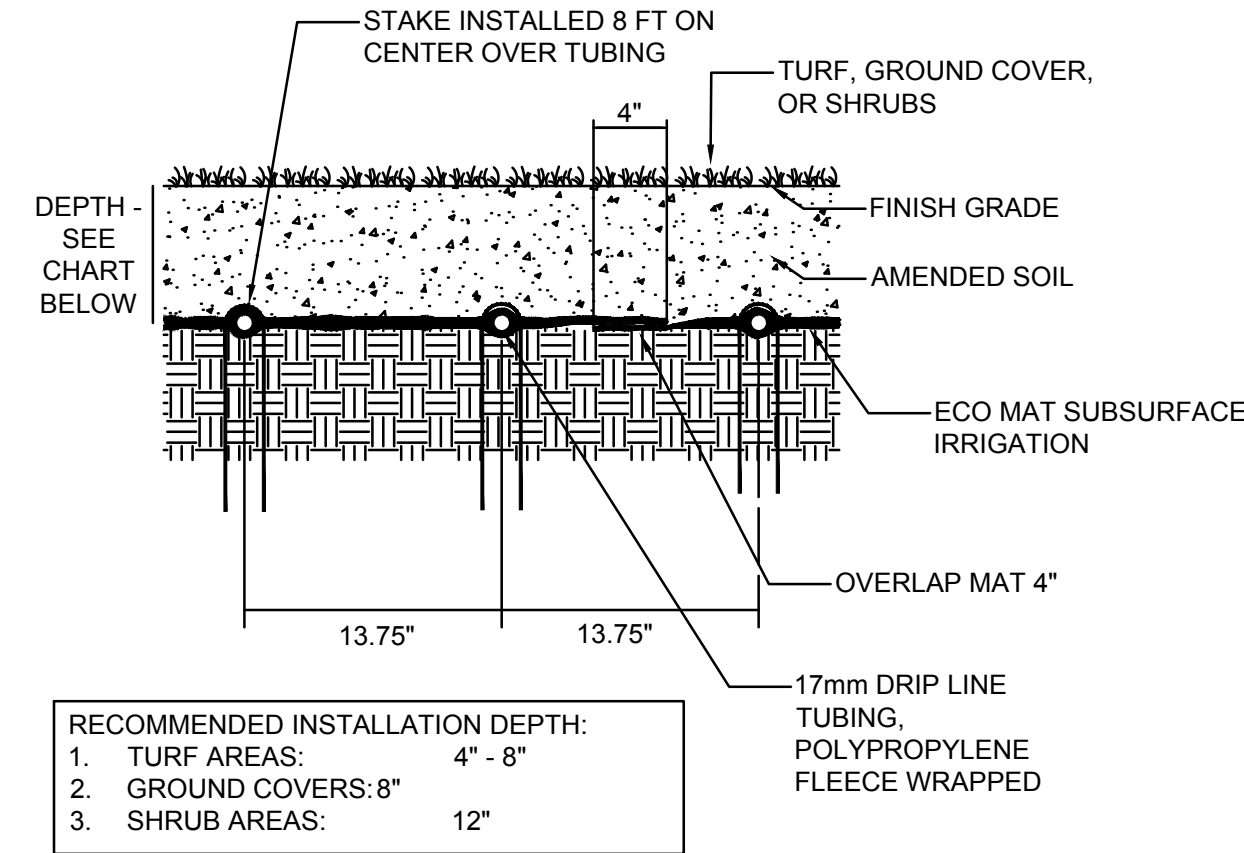
14 CENTER FEED MANIFOLD
NOT TO SCALE



15 IRREGULAR AREAS: ODD CURVES
NOT TO SCALE

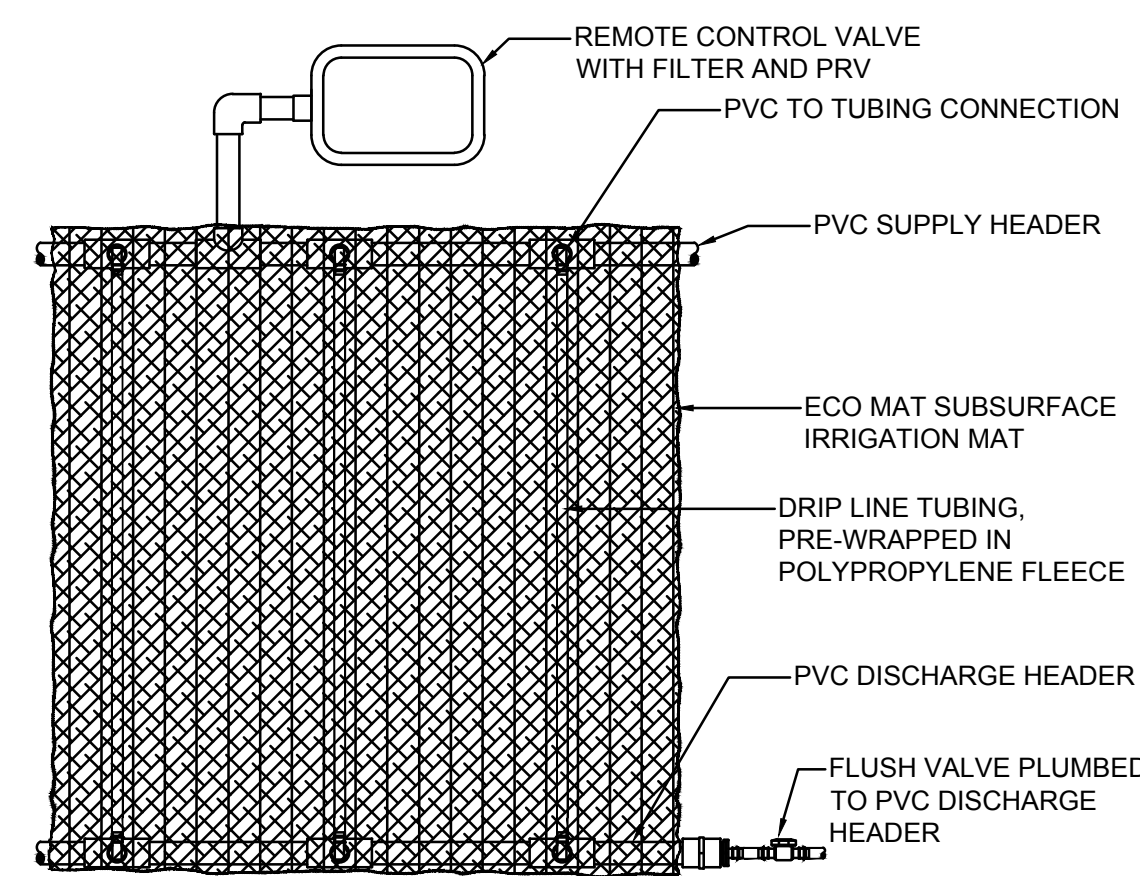


17 HUNTER ECO MAT SECTION
NOT TO SCALE

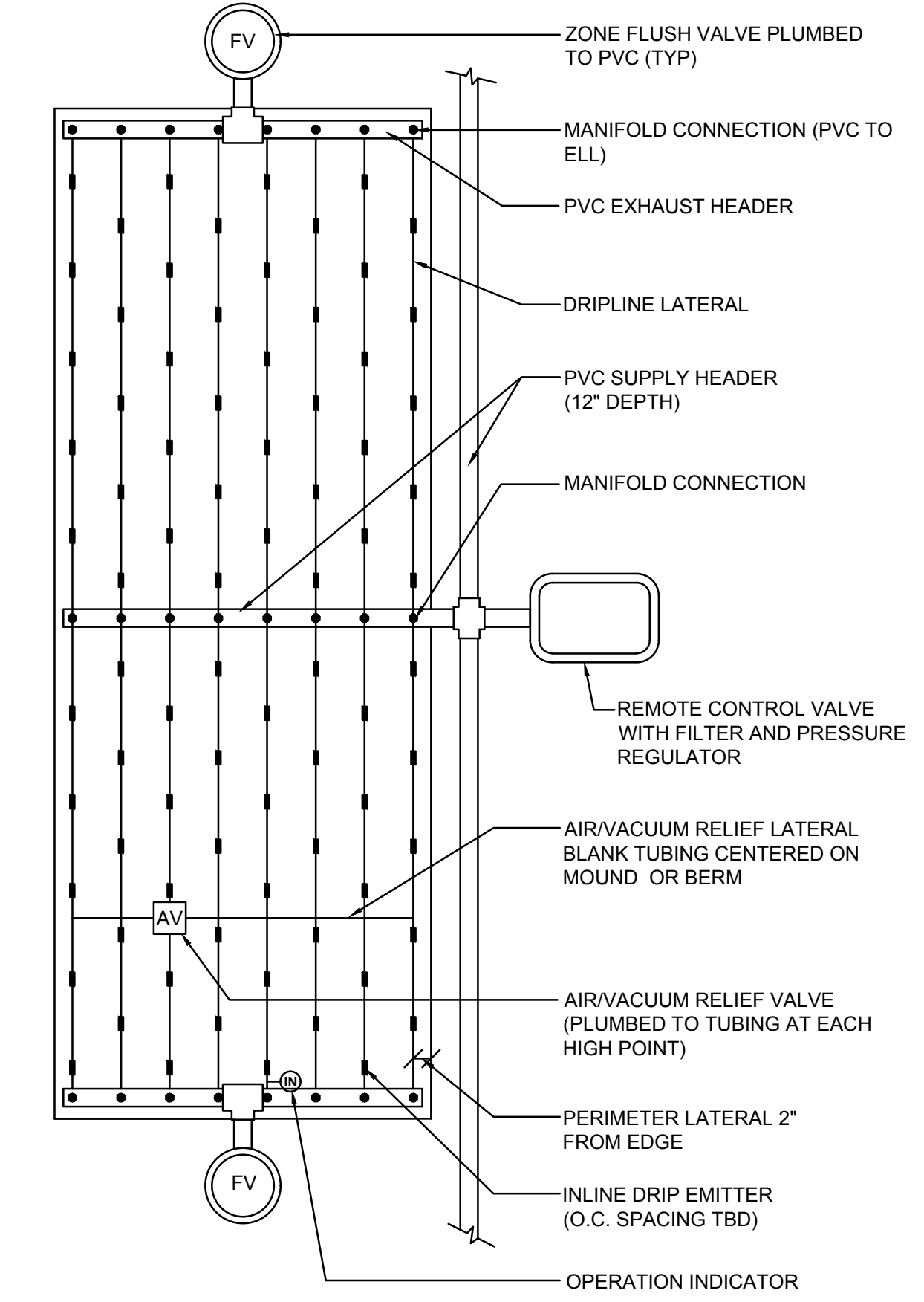


18 HUNTER ECO MAT SECTION
NOT TO SCALE

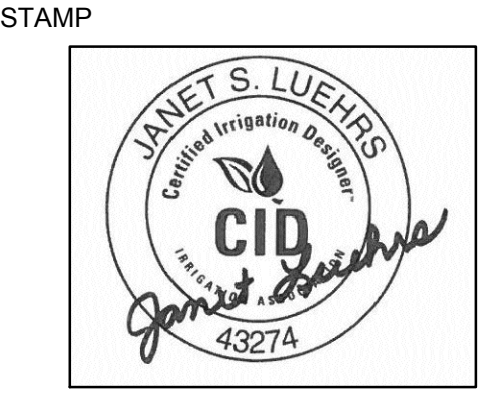
- RECOMMENDED INSTALLATION DEPTH:
- 1. TURF AREAS: 4" - 8"
 - 2. GROUND COVERS: 8"
 - 3. SHRUB AREAS: 12"



19 HUNTER ECO MAT SUBSURFACE DRIPLINE
NOT TO SCALE



16 CENTER FEED INLINE DRIP LAYOUT
NOT TO SCALE



CONSULTANT

PIEKARZ RESIDENCE
1400 RICHARDSON AVENUE
LOS ALTOS

ISSUANCE

NO	REVISIONS	DATE

SHEET TITLE
IRRIGATION DETAILS

DRAWN BY: BG
CHECKED BY: JL
DATE: 11/26/18
SCALE: AS SHOWN

JOB NO. BW-18-159

SHEET NO.

IR-4

PIEKARZ RESIDENCE WATER EFFICIENT LANDSCAPE WORKSHEET										
Reference Evapotranspiration (Eto)				43.1						
ZONE NO.	PLANT TYPE	HYDROZONE* (PLANT WATER USE)	PLANT FACTOR (PF)	IRRIGATION METHOD**	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	HYDROZONE AREA (HA) (Sq Ft)	ETAF x HA	ESTIMATED TOTAL WATER USE (ETWU)	% LANDSCAPE AREA
REGULAR LANDSCAPE AREA										
C-1	SHRUB	MW	0.50	B	0.81	0.62	339	209	5,592	6.5%
C-2	TURF	LW	0.30	DL	0.81	0.37	1,054	390	10,431	20.1%
C-3	TREE	MW	0.50	B	0.81	0.62	13	8	214	0.2%
C-4	SHRUB	MW	0.50	B	0.81	0.62	226	140	3,728	4.3%
C-5	TURF	LW	0.30	DL	0.81	0.37	944	350	9,343	18.0%
C-6	TREE	VLW	0.20	B	0.81	0.25	63	16	416	1.2%
C-7	SHRUB	MW	0.50	B	0.81	0.62	226	140	3,728	4.3%
C-8	SHRUB	MW	0.50	DL	0.81	0.62	99	61	1,633	1.9%
C-9	TREE	MW	0.50	B	0.81	0.62	25	15	412	0.5%
C-10	TURF	LW	0.30	DL	0.81	0.37	806	299	7,977	15.4%
C-11	SHRUB	MW	0.50	B	0.81	0.62	57	35	940	1.1%
C-12	TREE	MW	0.50	B	0.81	0.62	13	8	214	0.2%
C-13	SHRUB	LW	0.30	DL	0.81	0.37	889	329	8,798	17.0%
C-14	TREE	VLW	0.20	B	0.81	0.25	13	3	86	0.2%
C-15	SHRUB	MW	0.50	B	0.81	0.62	19	12	313	0.4%
POOL / SPA COVERED		WF	0.50		1.00	0.50	449	225	6,012	8.6%
TOTALS (REGULAR LANDSCAPE AREAS)							5,235	2,239	59,839	100.0%
SPECIAL LANDSCAPE AREA										
						1.00	0	0	0	0.0%
TOTALS (SPECIAL LANDSCAPE AREAS)							0	0	0	0.0%
TOTALS FOR ALL AREAS							5,235	2,239	59,839	100%

HYDROZONE SUMMARY		
*Hydrozone Description	Total Sq. Ft.	% of Landscape
Cool Season Turf (CST)	0	0.0%
Warm Season Turf (WST)	0	0.0%
High Water Use Plants (HW)	0	0.0%
Bioretention Plants (BR)	0	0.0%
Medium Water Use Plants (MW)	1,017	19.4%
Low Water Use Plants (LW)	3,693	70.5%
Very Low Water Use Plants (VLW)	76	1.5%
Water Feature	449	8.6%
Special Landscape Area (SLA)	0	0.0%
TOTAL	5,235	100.0%

**Irrigation Method	Total Sq. Ft.	% of Landscape
Rotor (FC-R, PC-R)	0	0.0%
Multi-Stream Rotator (MR)	0	0.0%
Spray (S)	0	0.0%
Bubbler (B)	994	20.8%
Drip (D)	0	0.0%
In-Line Drip (DL)	3,792	79.2%
Micro Spray (MS)	0	0.0%
Other (O)	0	0.0%

CITY OF
LOS ALTOS
LANDSCAPE WATER USE STATEMENT

PROJECT NAME: PIEKARZ RESIDENCE
PROJECT ADDRESS: 1400 RICHARDSON AVENUE

PREPARED BY: JANET LUEHRS (CID, CLIA #43274)
 BROOKWATER INC., IRRIGATION CONSULTANTS
 480 SAINT JOHN STREET, SUITE 220
 PLEASANTON, CA 94566
 925-855-0417
 925-855-0357 (FAX)
 Janet@Brookwater.com (e-mail)

"I have complied with the criteria of the Water Efficient Landscape Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan."

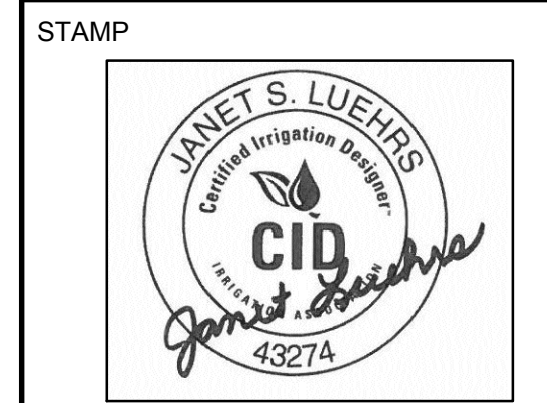
Signed: *Janet Luehrs*

PART ONE MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
 MAWA = ETo x .62 x [(ETAFx HA) + ((1-ETAF) x SLA)]

YEARLY ETo	43.1
CONVERSION FACTOR	0.62
ETAF	0.55
TOTAL IRRIGATED LANDSCAPE AREA (HA)	5,235 SQUARE FEET
SPECIAL LANDSCAPE AREA (SLA)	0 SQUARE FEET
LANDSCAPE WATER ALLOWANCE	76,939 GALLONS PER YEAR
TOTAL ACRE FEET	0.24 ACRE FEET

PART TWO ESTIMATED TOTAL WATER USE (ETWU)
 (AVERAGE ETAF AND ETWU FROM WATER EFFICIENT LANDSCAPE WORKSHEET)

AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS (TOTAL ETAF x AREA / TOTAL AREA)	0.43
ETWU FOR REGULAR LANDSCAPE AREAS	59,839 GALLONS PER YEAR
SITE WIDE ETAF	0.43
ETWU FOR ALL LANDSCAPE AREAS	59,839 GALLONS PER YEAR
TOTAL ACRE FEET	0.18 ACRE FEET



CONSULTANT

**PIEKARZ
RESIDENCE**

1400 RICHARDSON
AVENUE
LOS ALTOS

ISSUANCE

NO	REVISIONS	DATE

SHEET TITLE
**WATER
CALCULATIONS**

DRAWN BY BG	CHECKED BY JL
DATE 11/26/18	SCALE AS SHOWN

JOB NO. **BW-18-159**

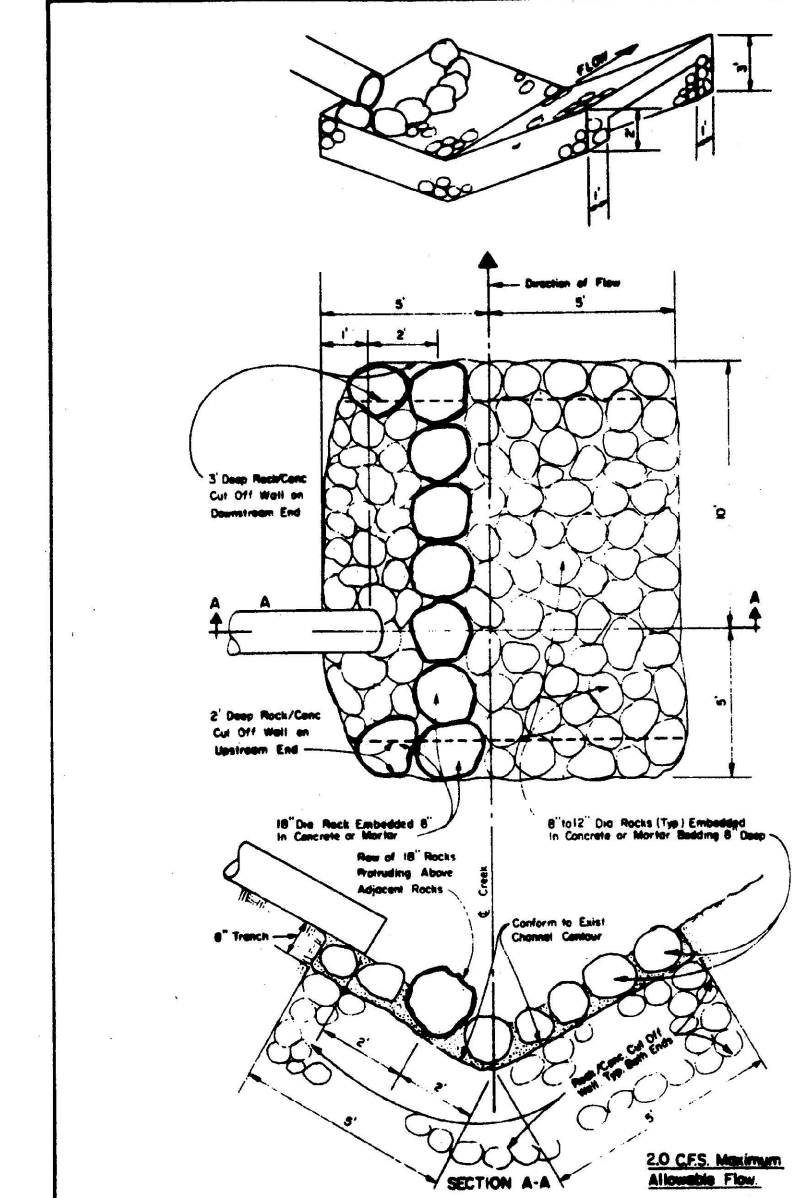
SHEET NO.

IR-5

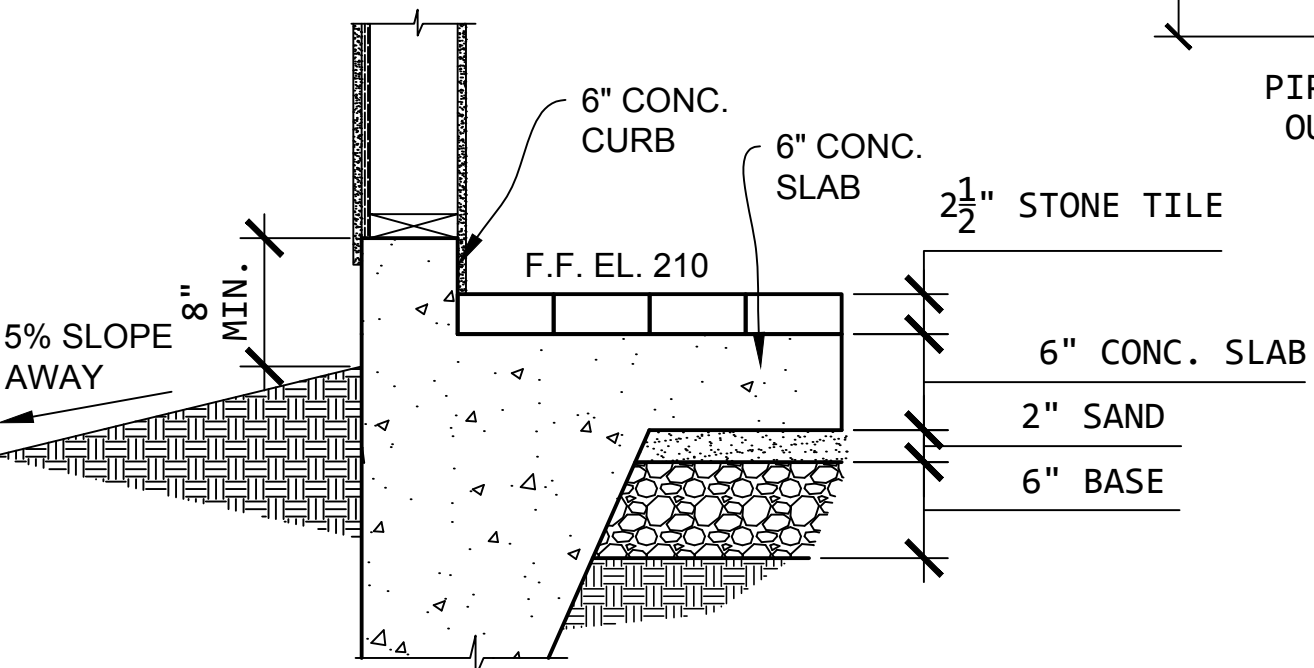
46.031
RICHARDSON AVENUE (60' R/W)

JUAREZ AVENUE (50' R/W)

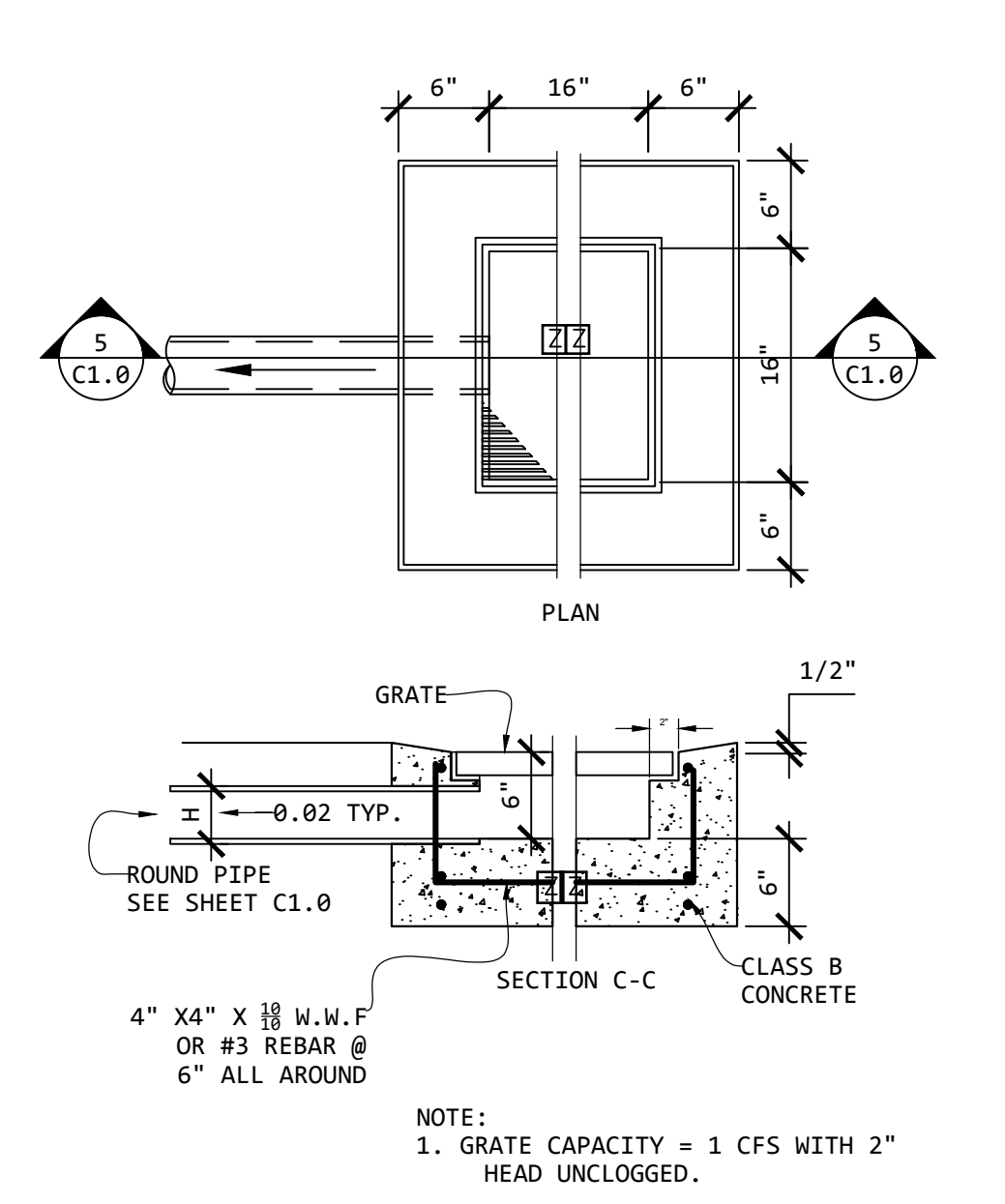
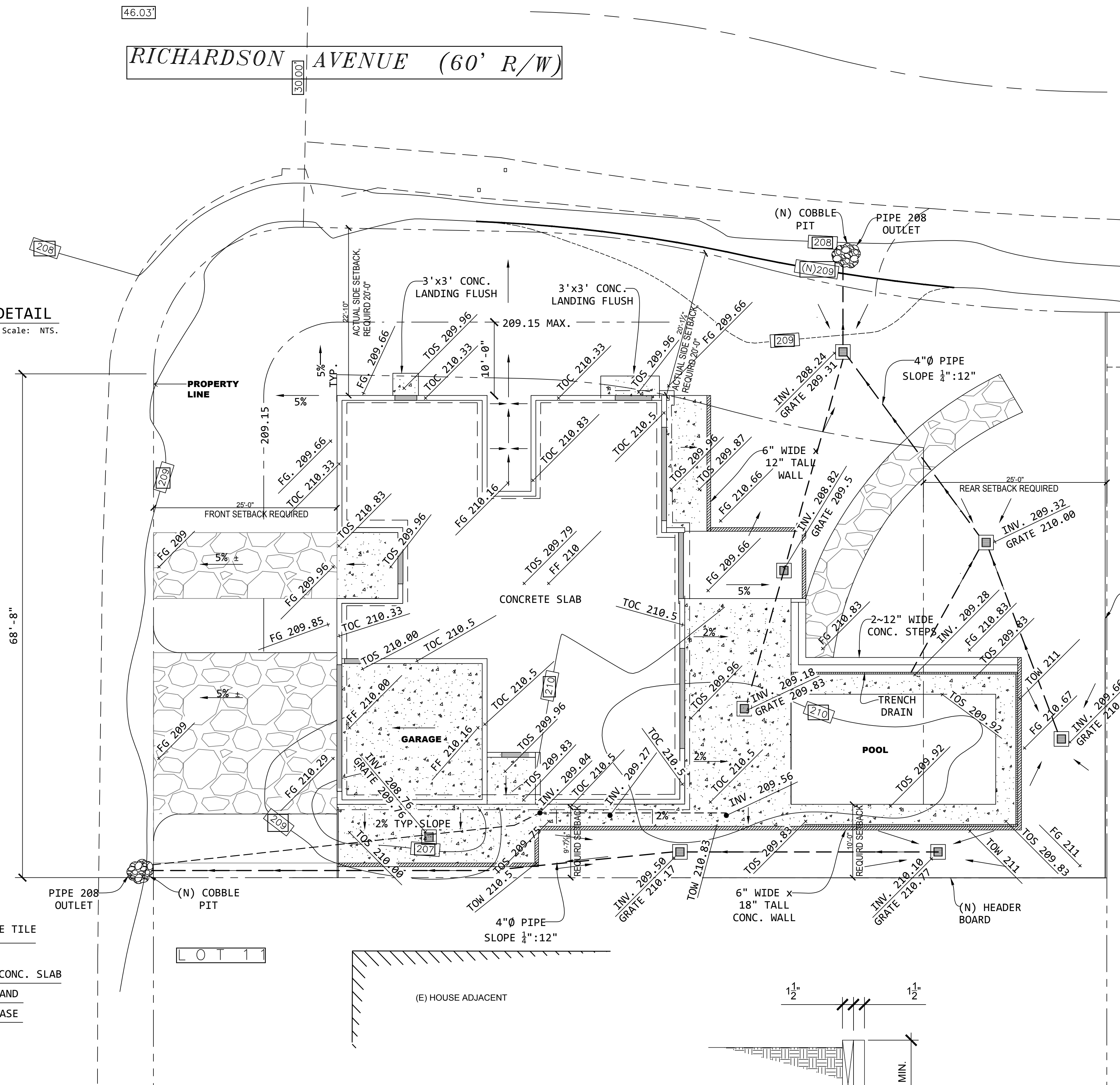
2 SMALL FLOWS ENERGY DISSIPATER DETAIL (COBBLE PIT)
 Scale: NTS.



5 EDGE OF SLAB DETAIL
 Scale: 1 1/2"=1'-0"



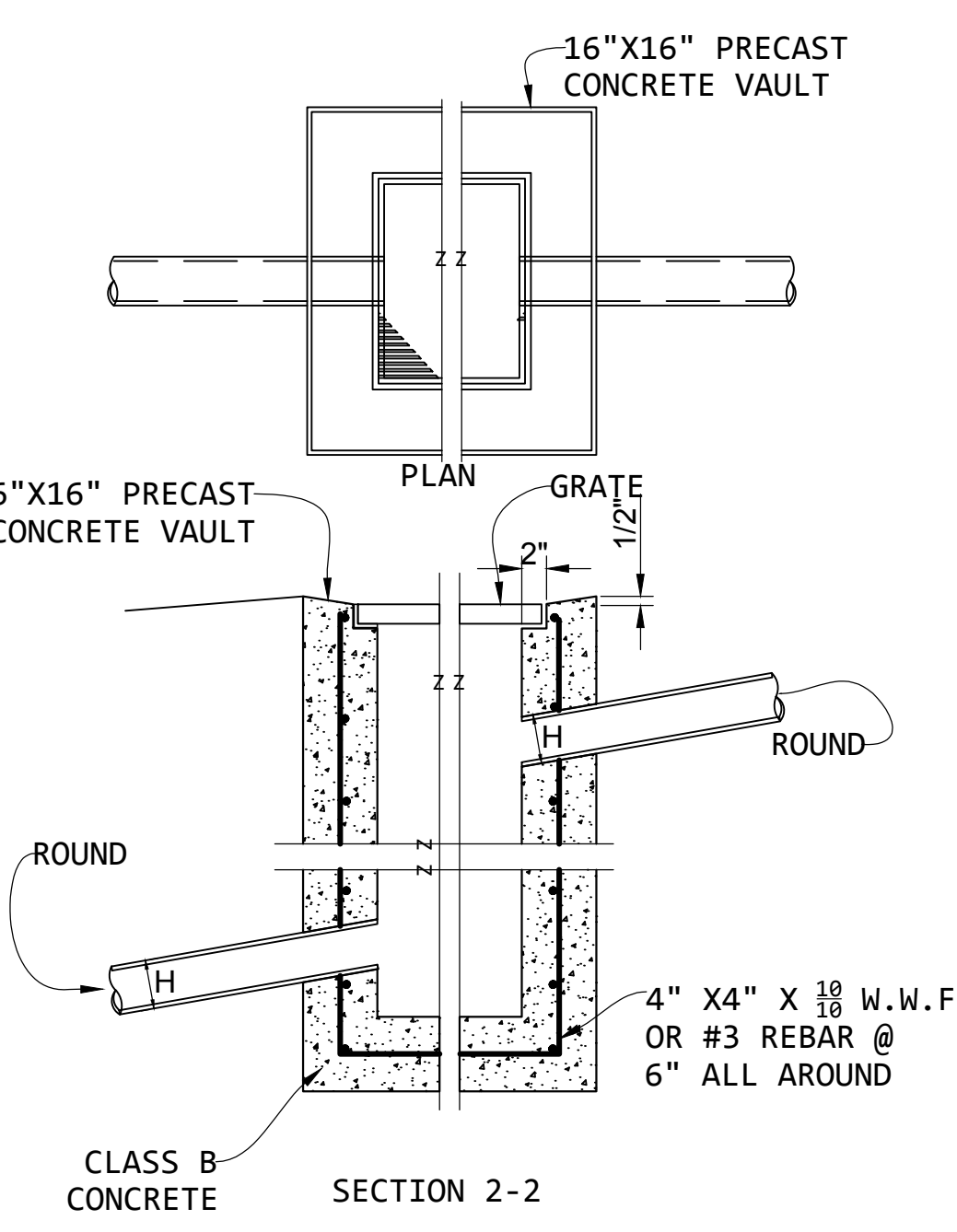
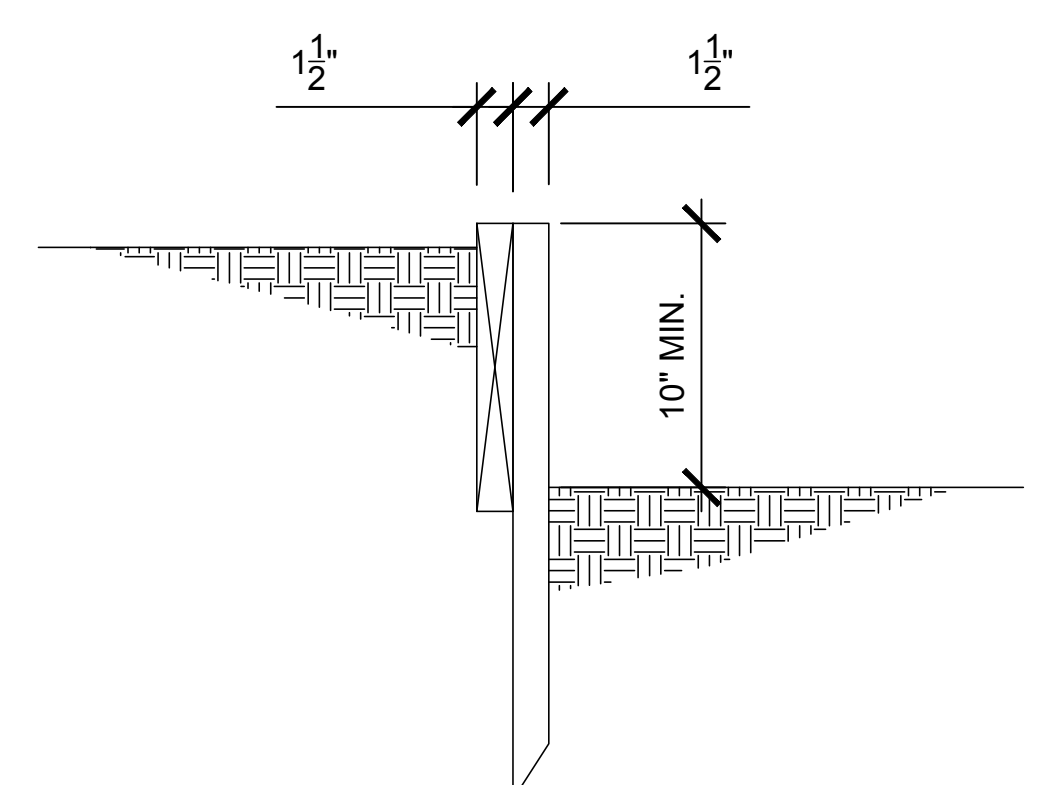
1 GRADING & DRAINAGE PLAN
 Scale: 1/8" = 1'-0"



5 ON SITE AREA DRAIN
 NOT TO SCALE

- (E) HOUSE ADJACENT
- FF - FINISH FLOOR
- FG - FINISH GRADE
- TOS - TOP OF SLAB
- TOC - TOP OF CURB
- TOW - TOP OF WALL
- [208] (E) GRADE
- [N]209 (N) GRADE
- [Symbol] FLAG STONE PAUES
- [Symbol] CONCRETE SLAB

3 HEADER BOARD DETAIL
 Scale: 1 1/2"=1'-0"



4 AREA DRAIN CATCH BASIN DETAIL
 Scale: 1"=1'-0"

KEMBCON ENGINEERS
 CIVIL AND STRUCTURAL ENGINEERS
 P.O. BOX 389 94039
 650.343.8310
 engineers@kembcon.com



2/19/2019

ADD A PROJECT TITLE
1400 Richardson Ave
Los Altos, CA. 94024

FOUNDATION PLAN

DATE: *add date
 SCALE: AS SHOWN
 DRAWN: *add drafter
 PAGE: prop*

C1.0

\\projects\DOCUMENTS\1400 Richardson, Los Altos\Civil\1400 Richardson Ave, Los Alto Civil (2)_revised.dwg