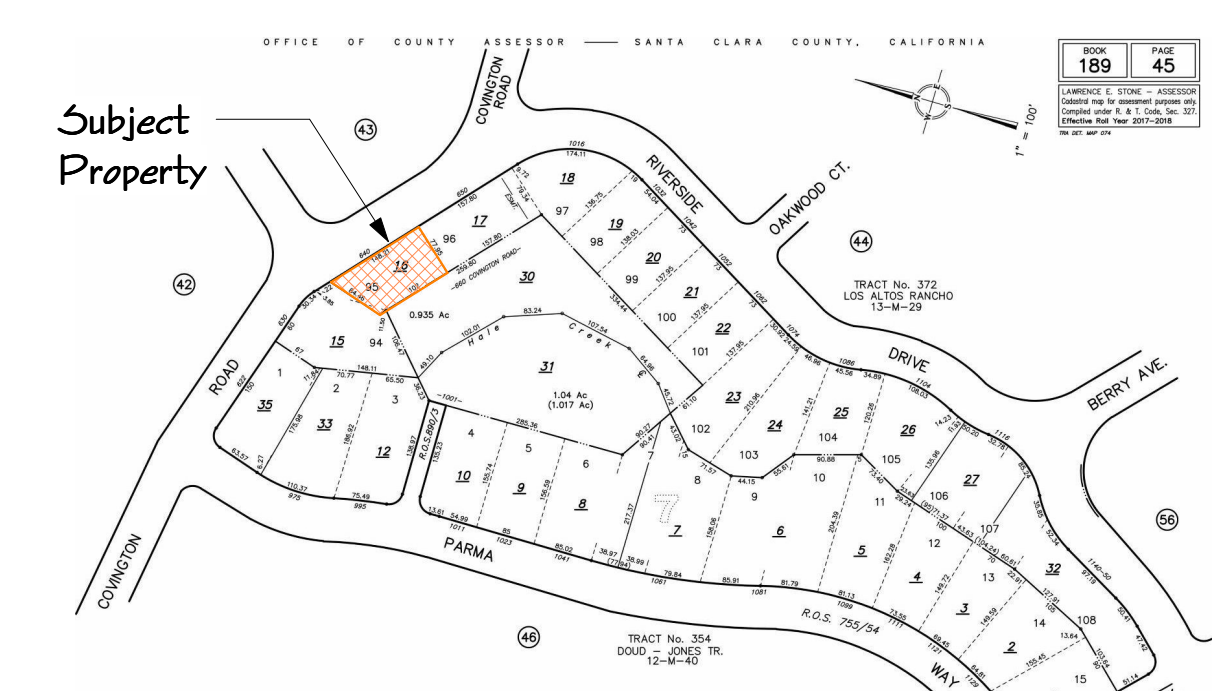
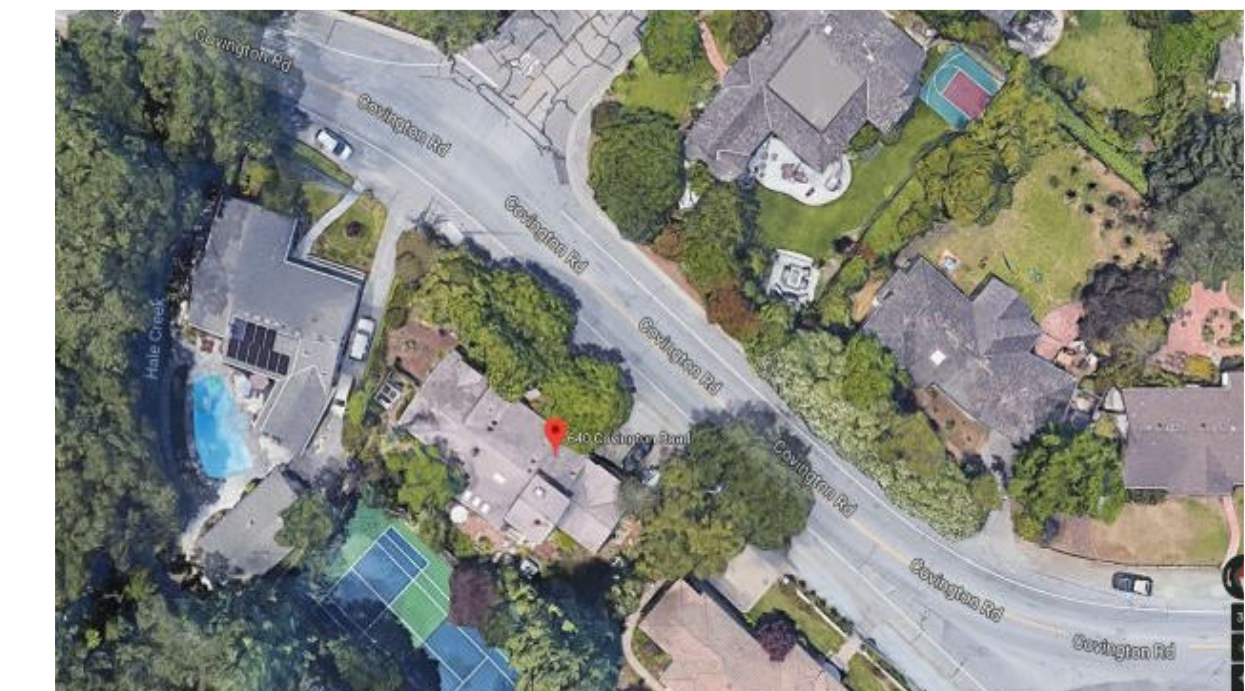


1 Site Plan - Proposed
 1/8" = 1'-0"



2 Assessor's Parcel Map



Drawing List

General	
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Area Plan	G-2
Neighborhood Context Map	G-3

Architectural

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Existing Elevations	A-12
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Civil

Survey	C-1
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Landscaping

Landscape Plan	L-1
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Project Info

Scope of Work:
 Proposed Additions and Alterations to Existing 2820 SF Single Family Residence
 • 512 SF Removed at Covered Porch & Second Floor
 • 657 SF Added Living Space

Applicable Code Editions:

California Building Code	2016 Edition
California Residential Code	2016 Edition
California Mechanical Code	2016 Edition
California Plumbing Code	2016 Edition
California Electric Code	2016 Edition
California Fire Code	2016 Edition
California Energy Code	2016 Edition
California Green Building Standards Code	2016 Edition

Any Other Applicable Local and State Laws & Regulations

Type of Construction: V-B
Zoning: R-1-10
Stories: 1

ZONING COMPLIANCE

	Existing	Proposed	Allowed/Required
LOT COVERAGE Land area covered by all structures that are over 6 feet in height	2,796 sf (27.5%)	3,202 sf (31.5%)	3,553 sf (35%)
FLOOR AREA Measured to the outside surfaces of exterior walls	2,820 sf (27.8%)	3,120 sf (30.7%)	3,553 sf (35%)
SETBACKS			
Front	16'	16'	25'
Rear	16.2'	20'	20'
Right Side (1st/2nd)	15.7'	10'	10' / 17.5'
Left Side (1st/2nd)	20.8'	19.5'	10' / 17.5'
HEIGHT	23' 4 1/8"	18' 1"	20' (LC>30%)

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA Includes habitable basement areas	2,270 sf	301 sf	2,571 sf
NON-HABITABLE AREA Does not include covered porches or open structures	549 sf	0 sf	549 sf

LOT CALCULATIONS

NET LOT AREA	10,152 sf
FRONT YARD HARDSCAPE AREA Hardscape area in the front yard setback shall not exceed 50%	898 sf (29%)
LANDSCAPING BREAKDOWN	
Total hardscape area (existing and proposed)	4,700 sf
Existing softscape (undisturbed) area	3,816 sf
New softscape (new or replaced landscaping) area	1,636 sf
Sum of all three should equal the site's net lot area	

Devireddy / Krishnan Residence

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1	Variance Application	10/7/18

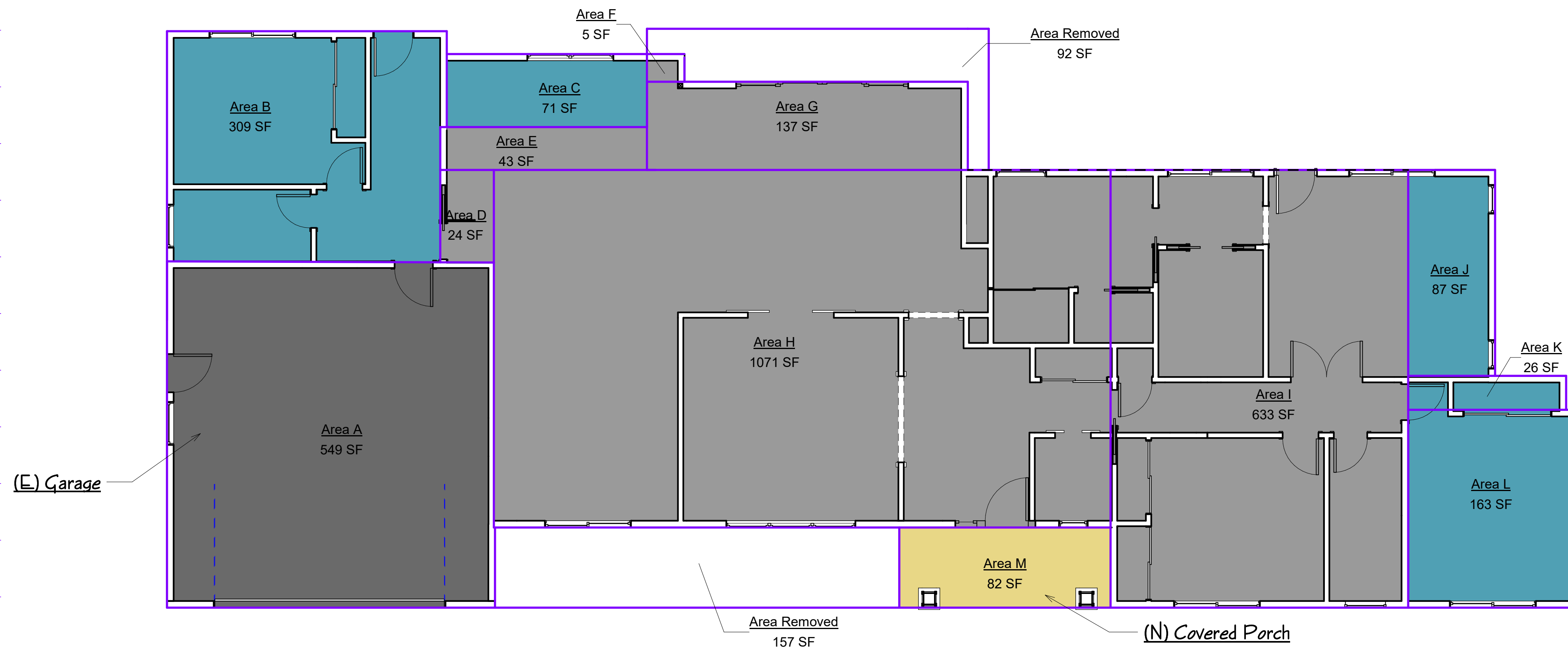
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Cover Sheet

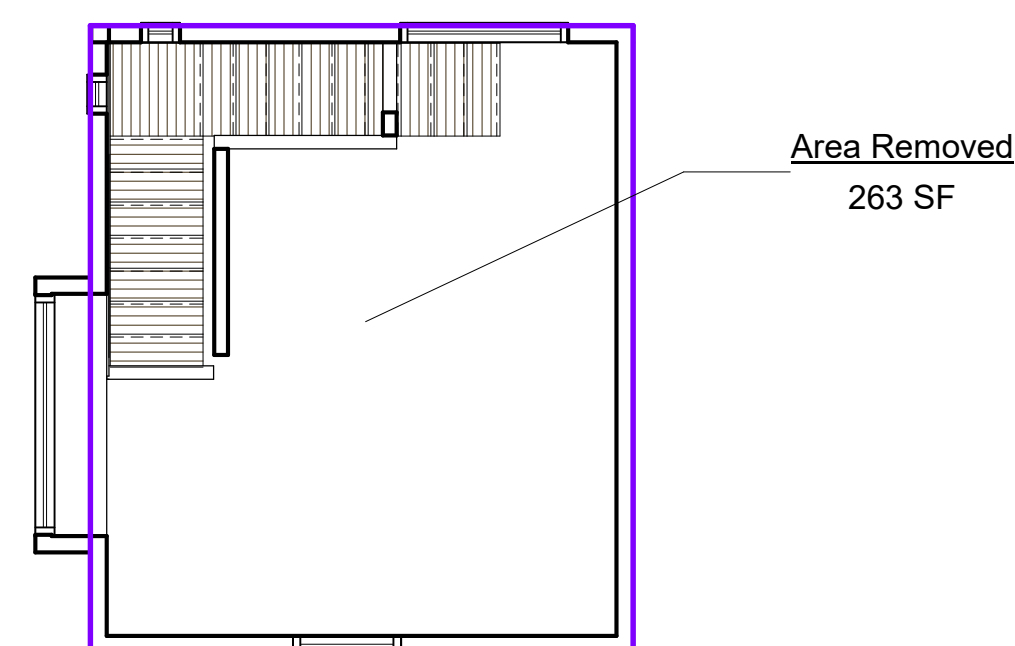
Devireddy / Krishnan Residence

Area Legend

- Proposed Additions
- Existing Living Area
- Covered Porch
- Existing Garage



1 Level 1 - Floor Area Diagram



2 Level 2 - Floor Area Diagram

Total Floor Area			
Name	Width	Height	Area
Existing Garage			
Area A	24' - 2 1/8"	22' - 8 3/4"	549 SF
			549 SF
Existing Living Area			
Area D	6' - 5 3/8"	3' - 8 7/8"	24 SF
Area E	14' - 5"	2' - 11 7/8"	43 SF
Area F			5 SF
Area G	22' - 4 3/8"	6' - 1 3/4"	137 SF
Area I	43' - 0"	24' - 11"	1071 SF
Area J	30' - 6"	20' - 9"	633 SF
			1914 SF
Proposed Additions			
Area B	20' - 4 1/2"	15' - 2 1/8"	309 SF
Area C	13' - 11 1/2"	5' - 1"	71 SF
Area K	14' - 3 1/2"	6' - 1"	87 SF
Area L	10' - 11 3/4"	2' - 4 5/8"	26 SF
Area M	13' - 9 3/8"	11' - 10"	163 SF
			657 SF
Total Floor Area			3120 SF

Total Lot Coverage			
Name	Width	Height	Area
Living Area			
Total Floor Area	117' - 7 1/4"	26' - 6 3/8"	3120 SF
			3120 SF
Covered Porch			
Area M	15' - 0 7/8"	5' - 5"	82 SF
			82 SF
Total Lot Coverage			3202 SF

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Area Plan

**Devireddy / Krishnan
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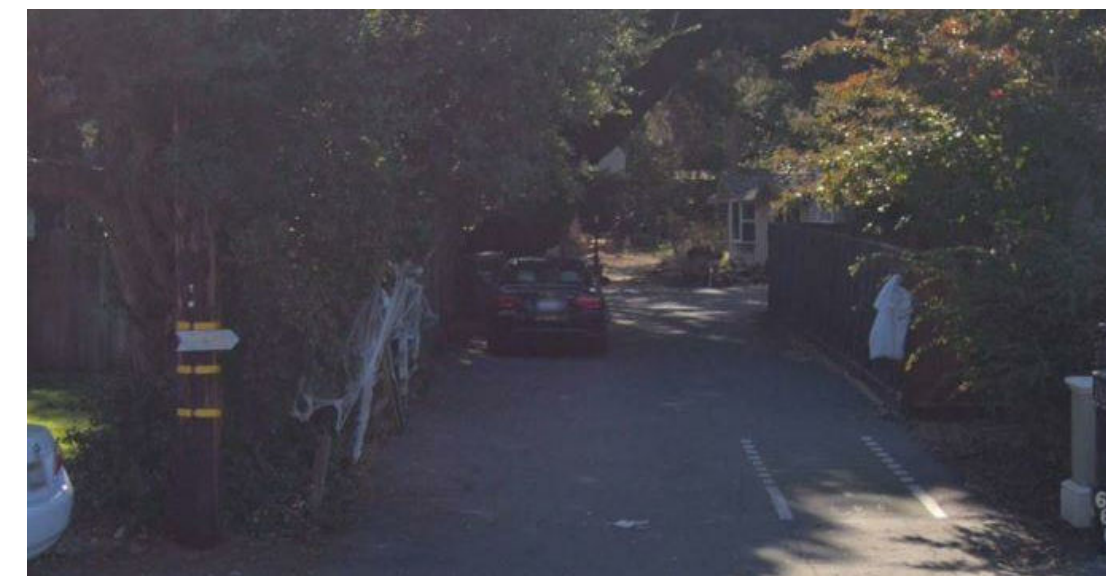
Revision	Description	Date
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**Neighborhood
Context Map**



1 Site Plan - Neighborhood Context Map
1" = 40'-0"



660 Covington Rd



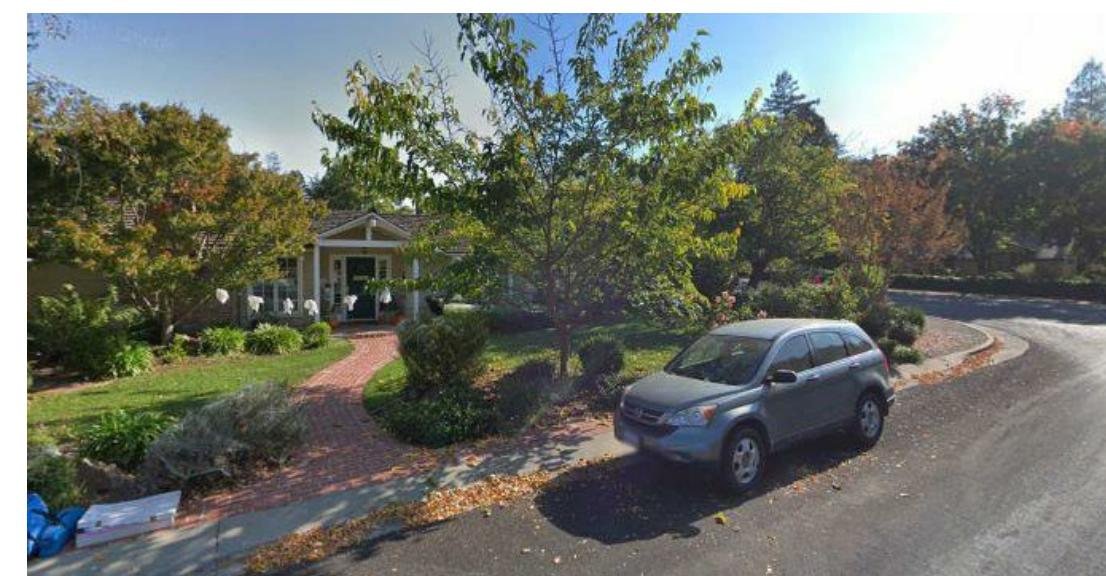
650 Covington Rd



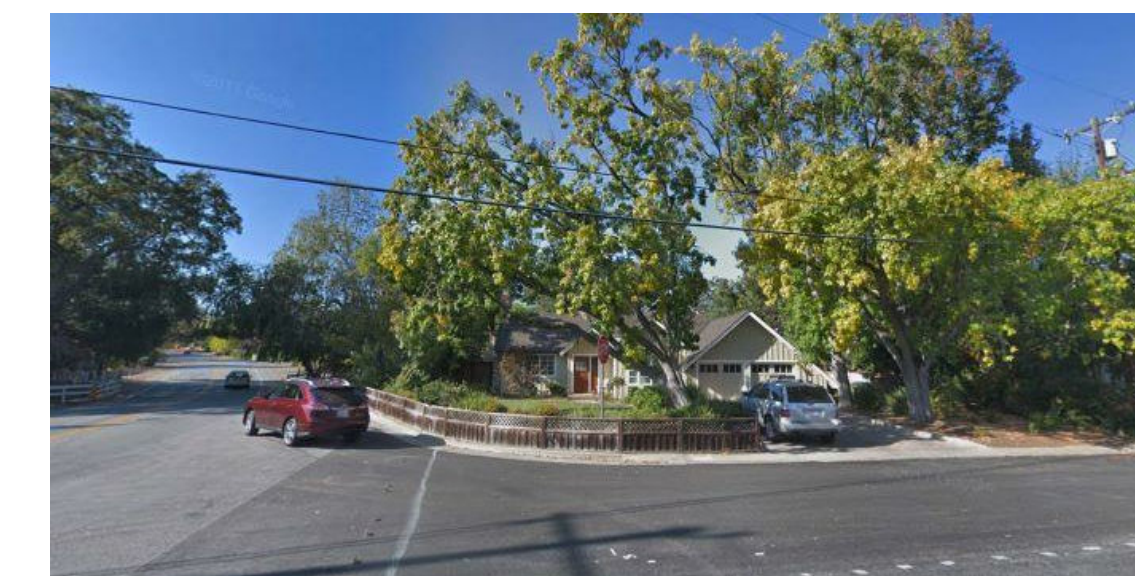
630 Covington Rd



652 Covington Rd



965 Riverside Dr

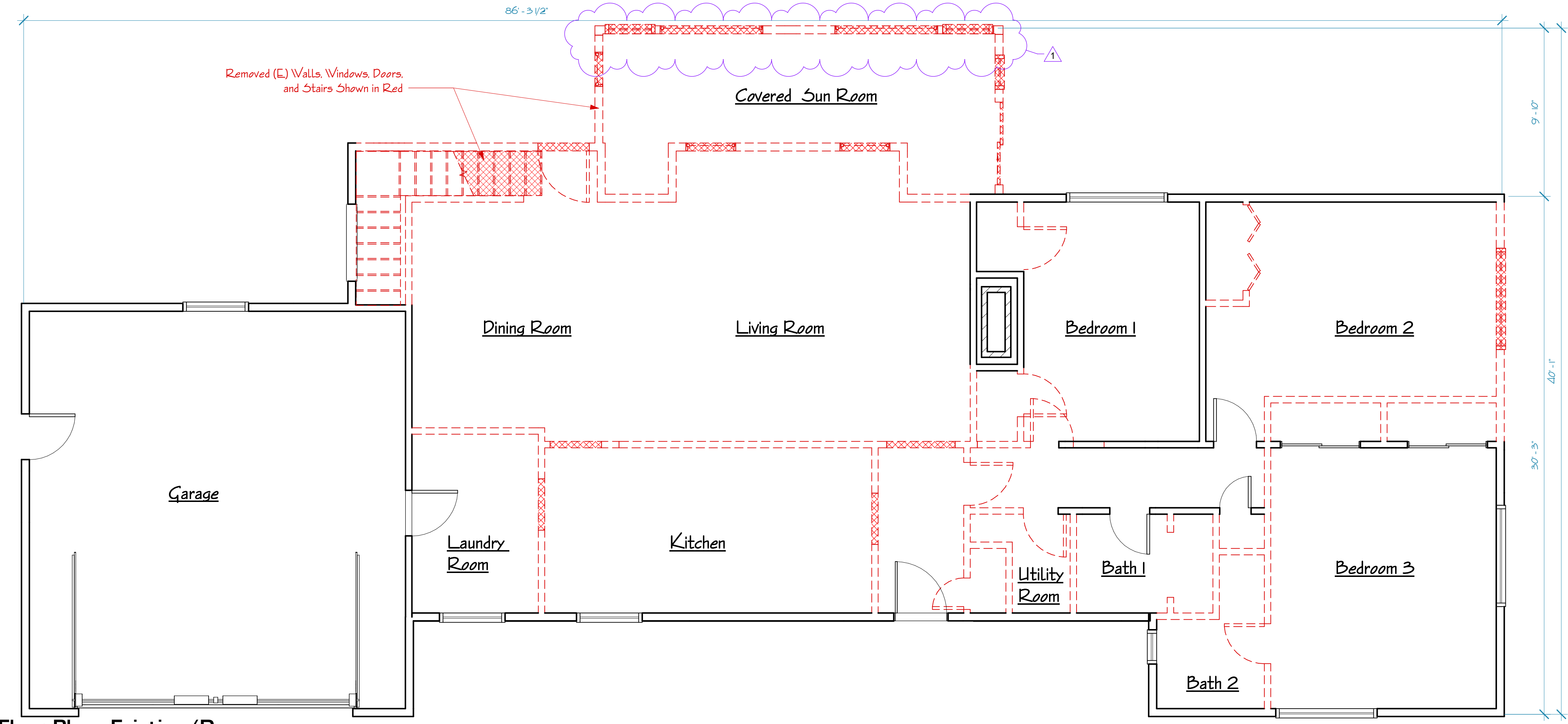


962 Riverside Dr

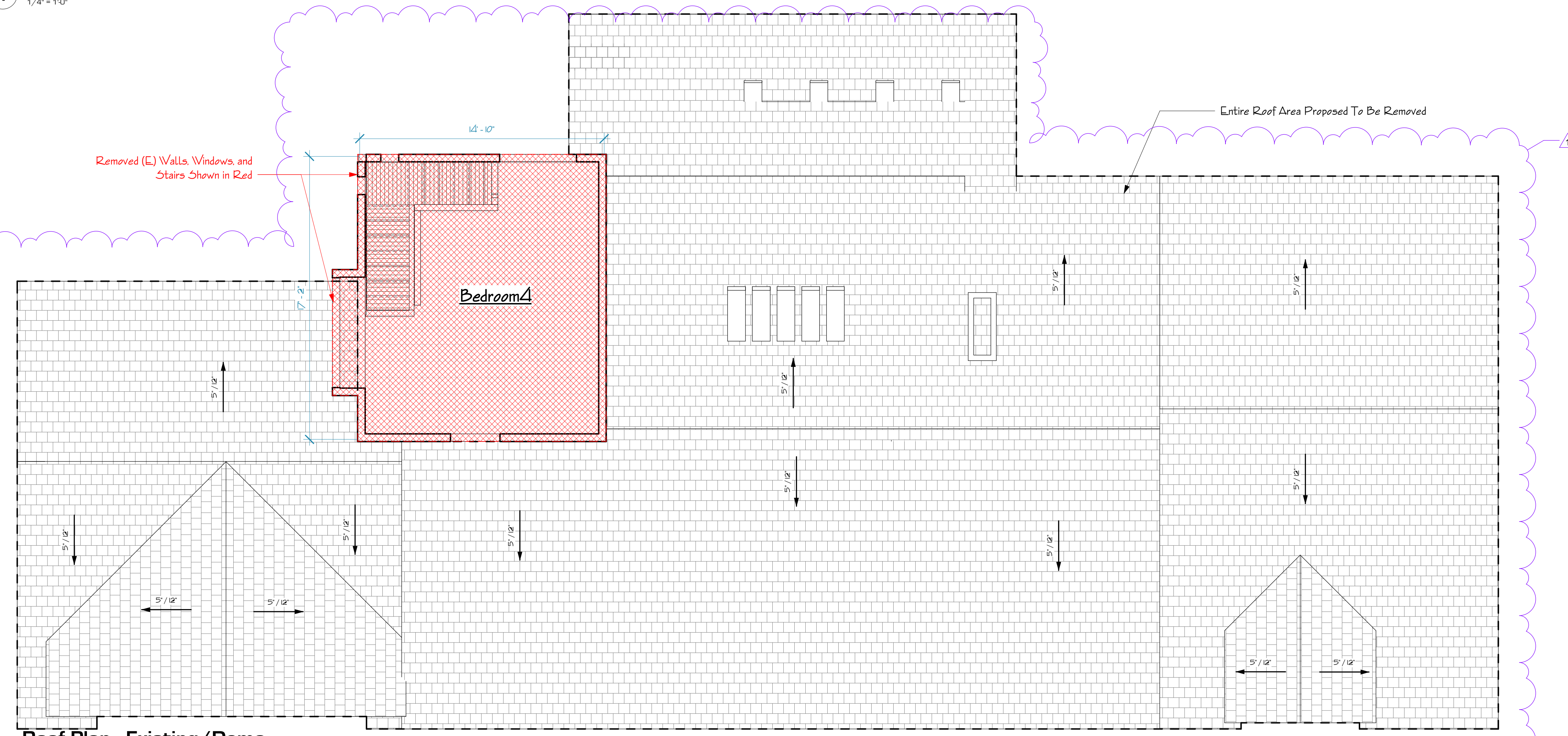
2 Street View Photos

Devireddy / Krishnan Residence

	Existing	Removed	Remaining
Wall Length Summary			
First Floor	253.8 LF	55.1 LF	198.7 LF
Second Floor	69.0 LF	69.0 LF	0.0 LF
Total Wall Length	322.8 LF	124.1 LF 38.4%	198.7 LF 61.6%
Wall Area Summary			
Front Elevation	601.0 SF	168.0 SF	433.0 SF
Rear Elevation	746.0 SF	406.0 SF	340.0 SF
Left Elevation	476.0 SF	187.0 SF	289.0 SF
Right Elevation	490.0 SF	323.0 SF	167.0 SF
Total Wall Area	2313.0 SF	1084 SF 46.9%	1229 SF 53.1%
Roof Area Summary	Entire roof will be removed		



1 Floor Plan - Existing/Demo
1/4" = 1'-0"



2 Roof Plan - Existing/Demo
1/4" = 1'-0"

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Existing Plans

A-1.1

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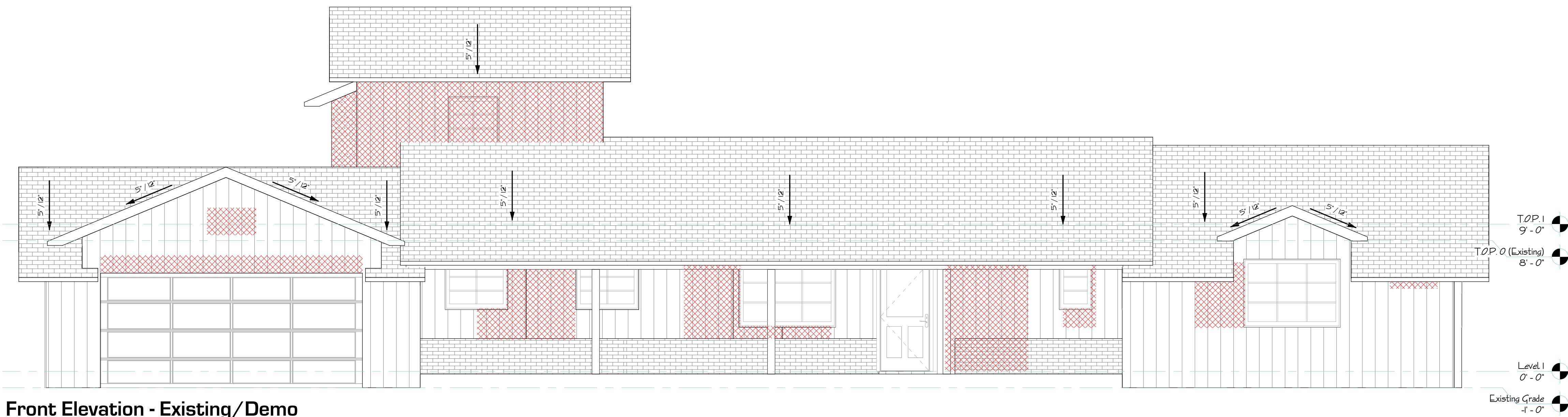
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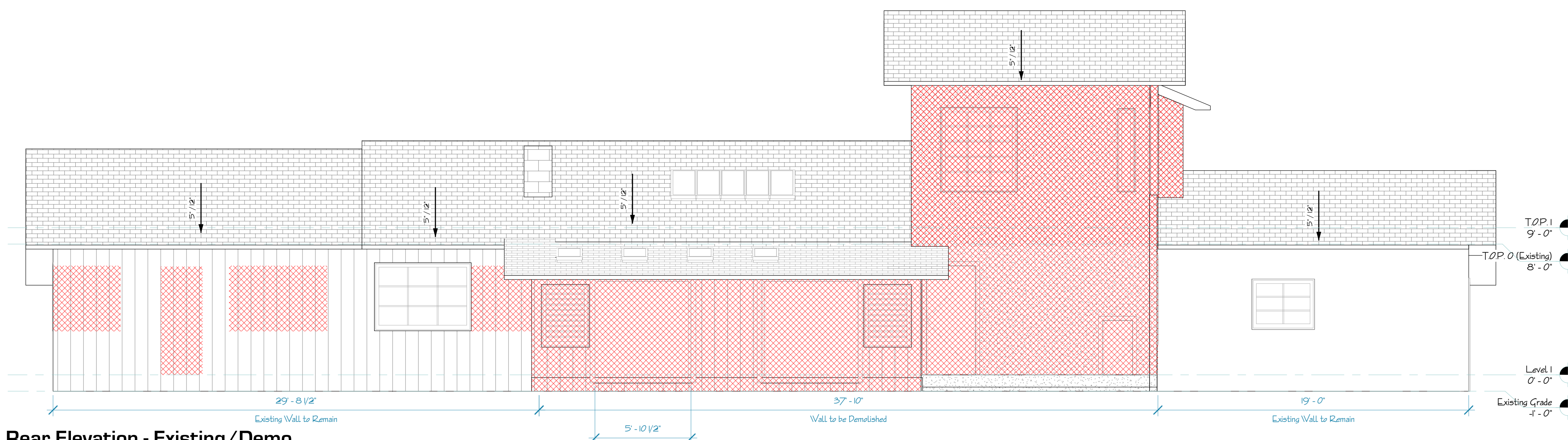
Existing Elevations



1 Front Elevation - Existing/Demo

1/4" = 1'-0"

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Wall Length Summary			
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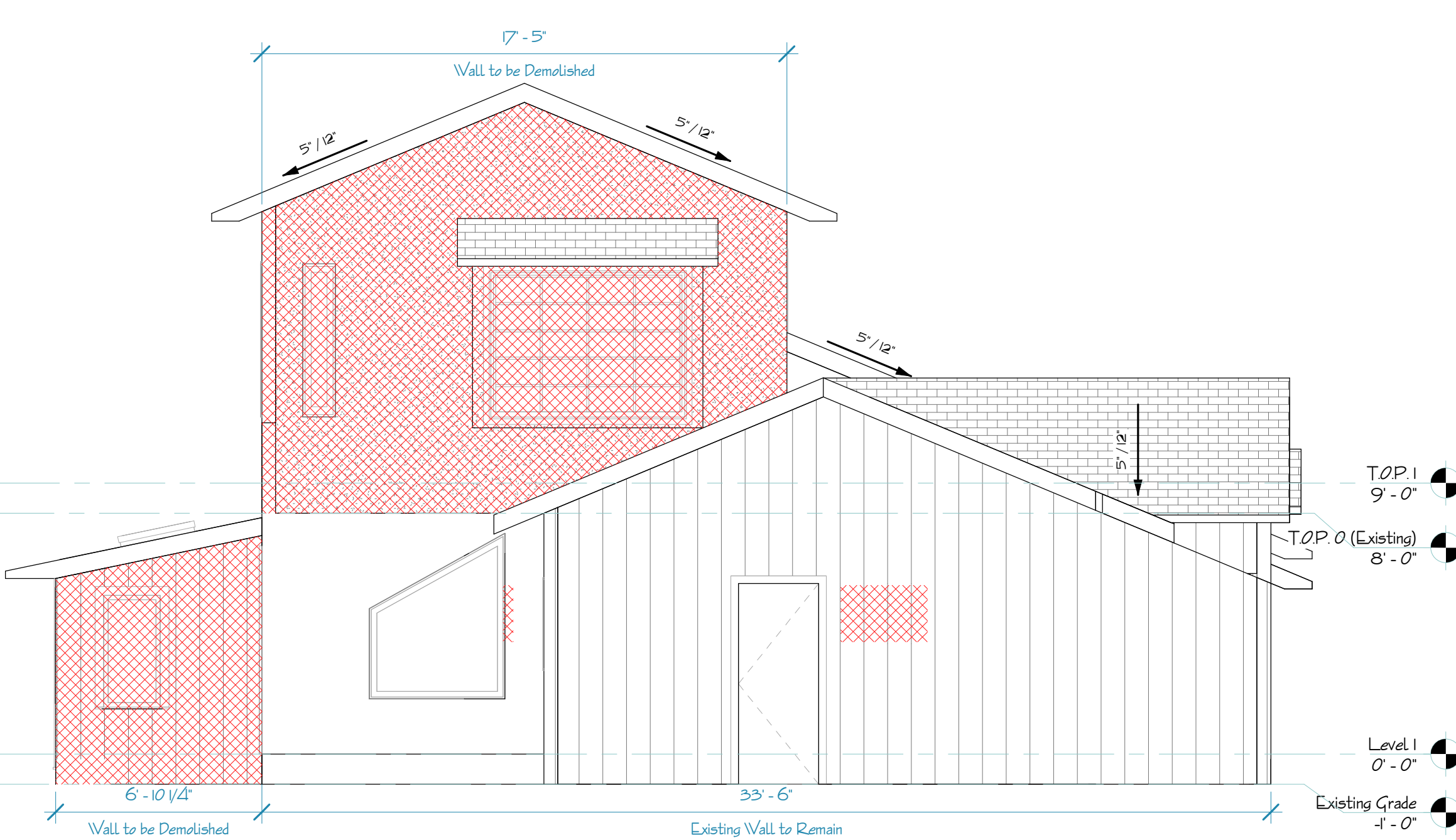
2 Rear Elevation - Existing/Demo

1/4" = 1'-0"

Legend

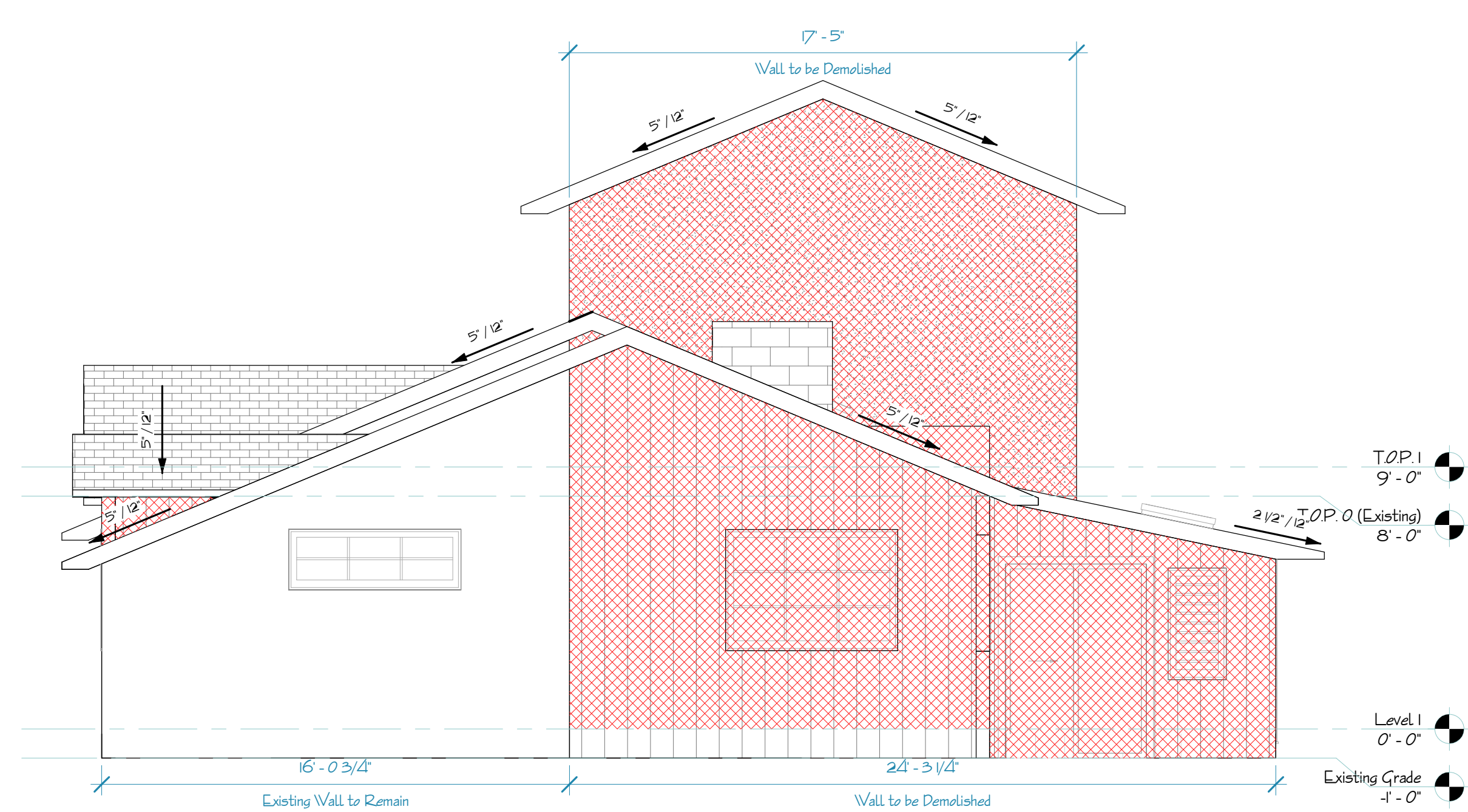
Existing Areas to Remain

Existing Areas to be Removed



3 Left Elevation - Existing/Demo

1/4" = 1'-0"



4 Right Elevation Existing/Demo

1/4" = 1'-0"

**Devireddy / Krishnan
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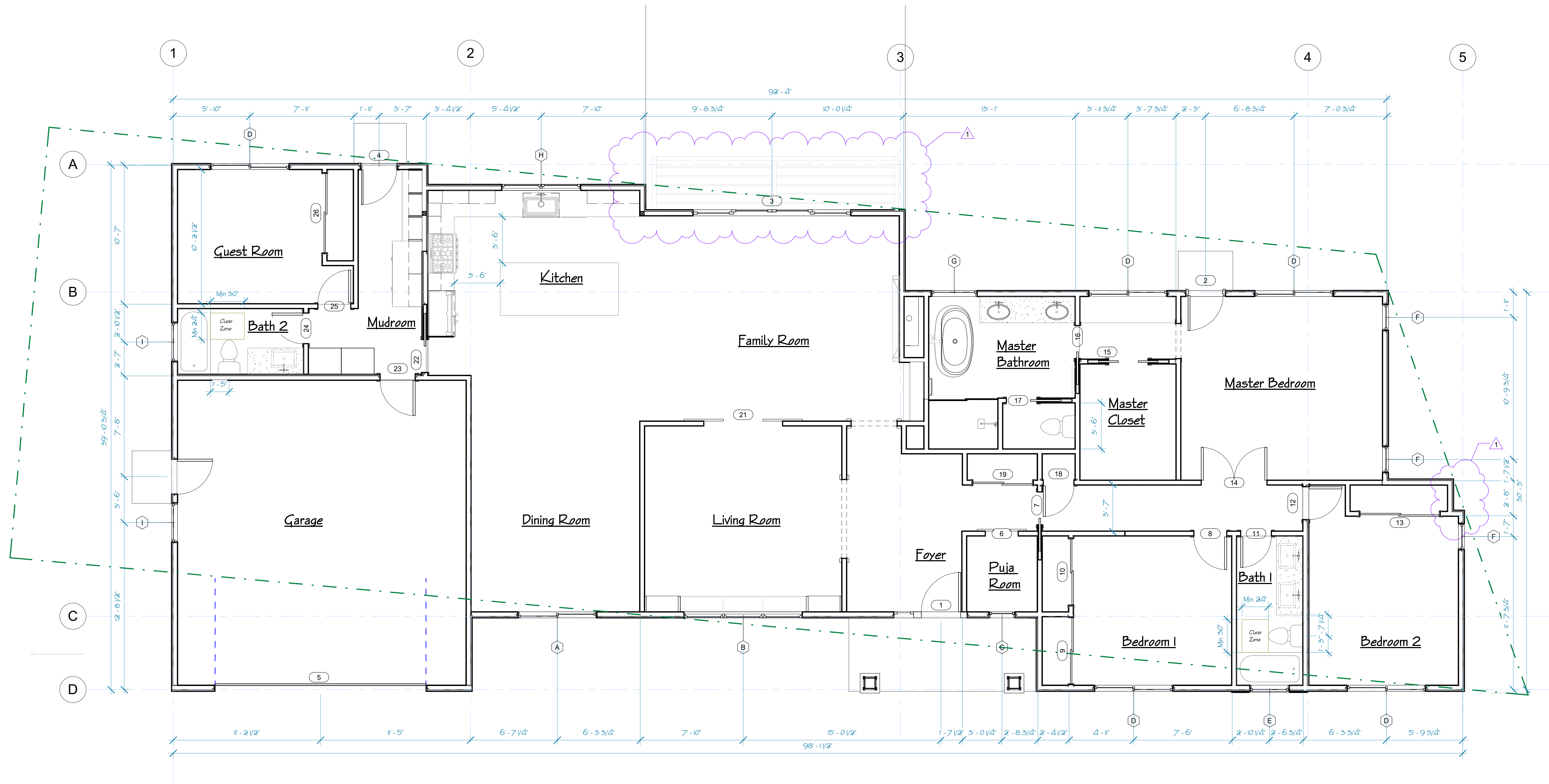
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1 Level 1 - Proposed Floor Plan
1/4" = 1'-0"

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Proposed Floor Plan

**Devireddy / Krishnan
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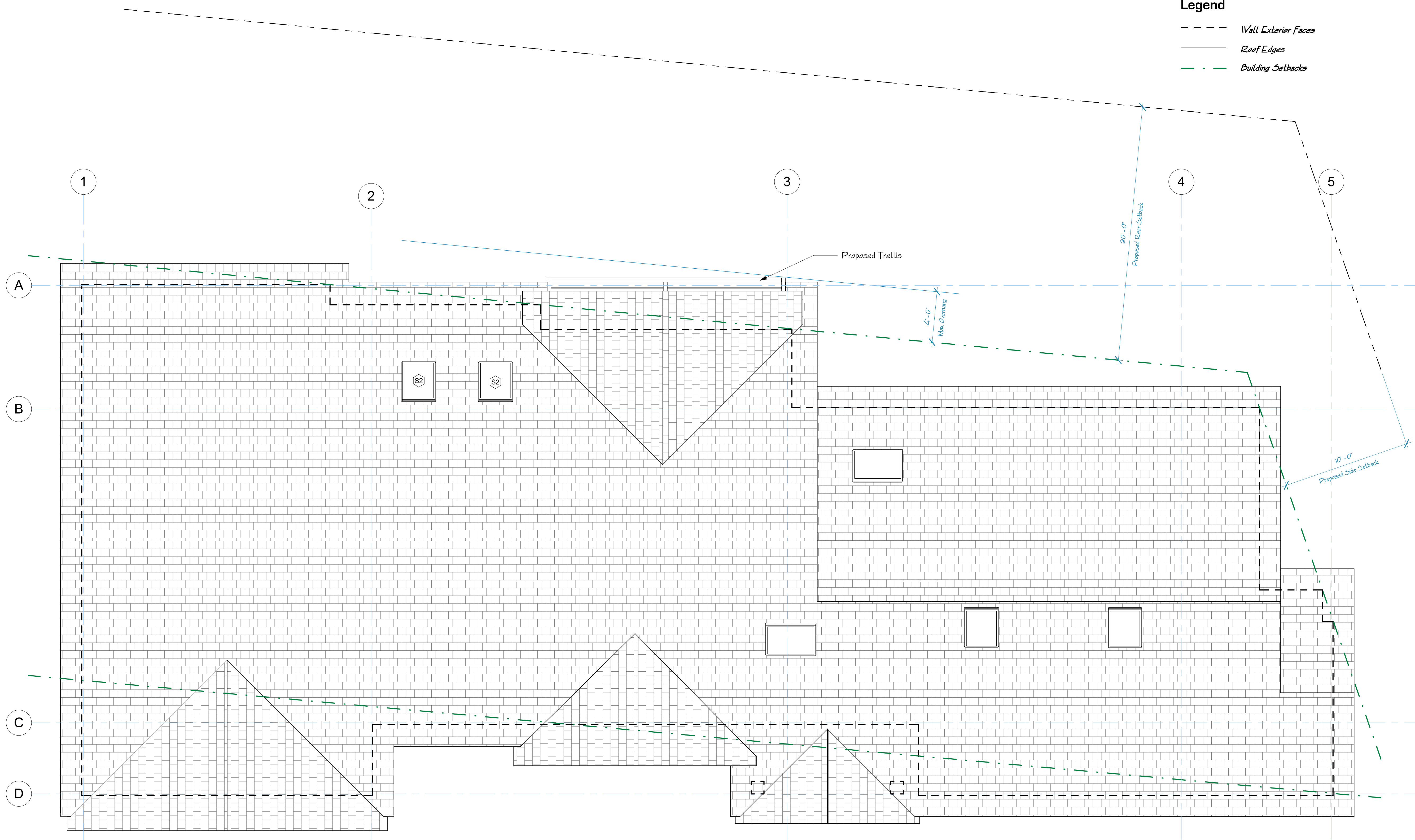
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Legend

- Wall Exterior Faces
- Roof Edges
- - - Building Setbacks



1 Roof Plan - Proposed
1/4" = 1'-0"

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Proposed Roof Plan

**Devireddy / Krishnan
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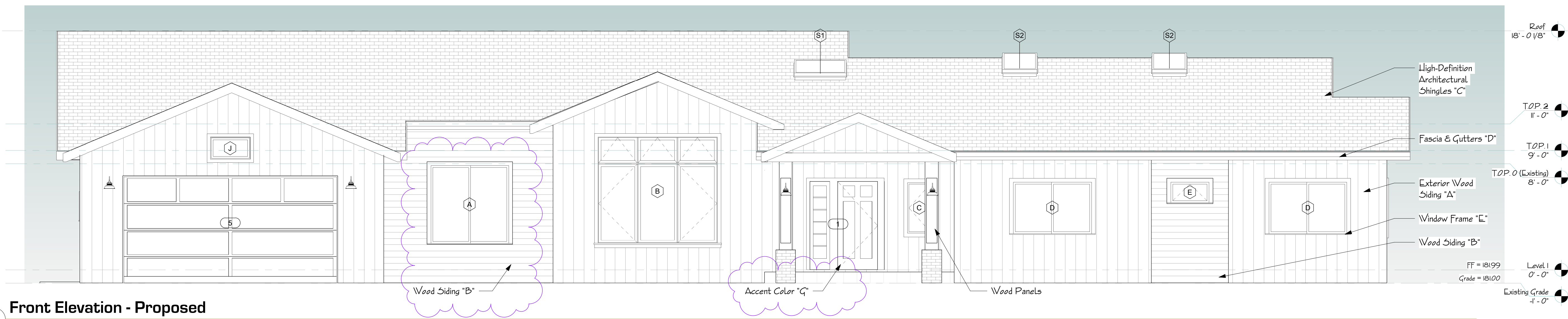
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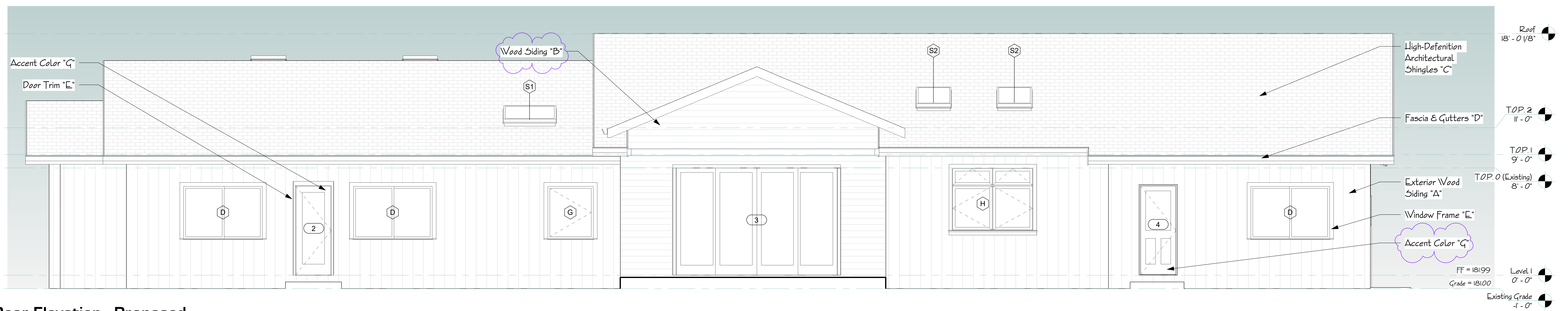
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Proposed Elevations



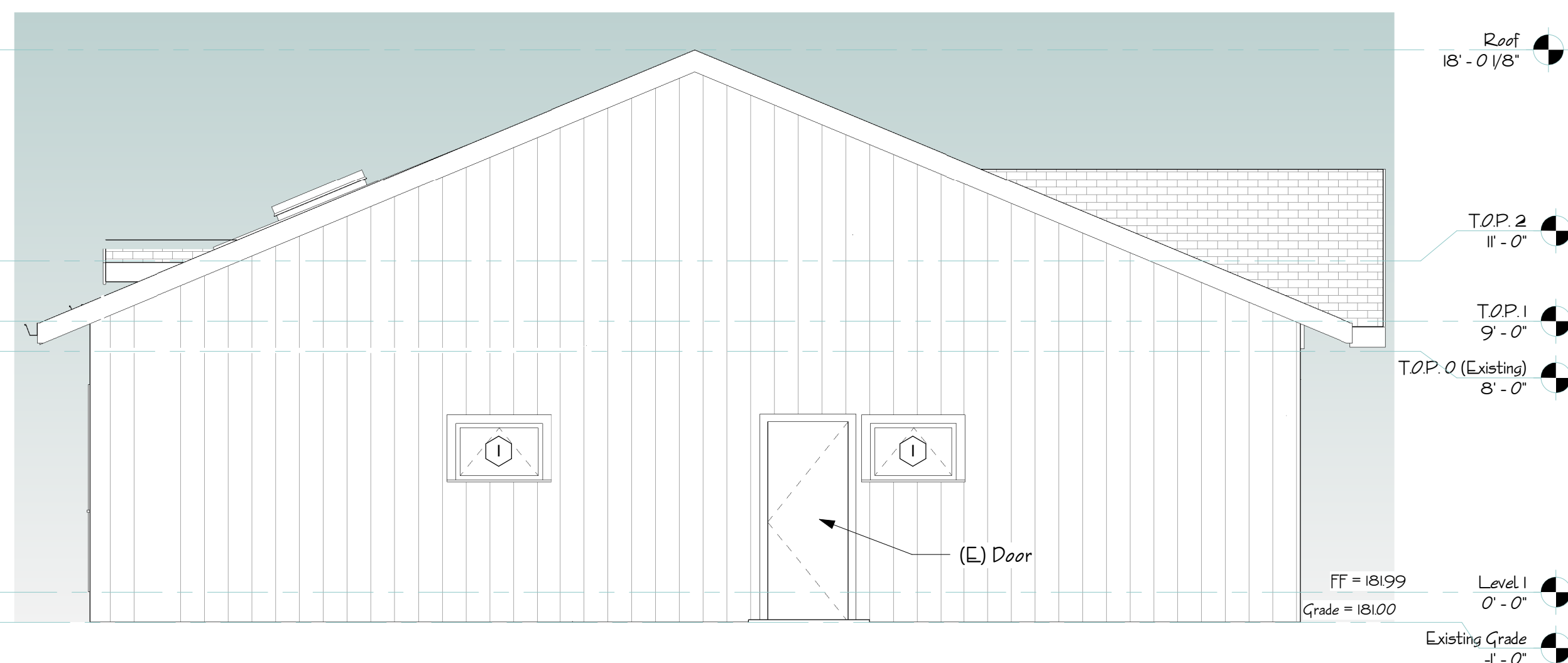
1 Front Elevation - Proposed

1/4" = 1'-0"



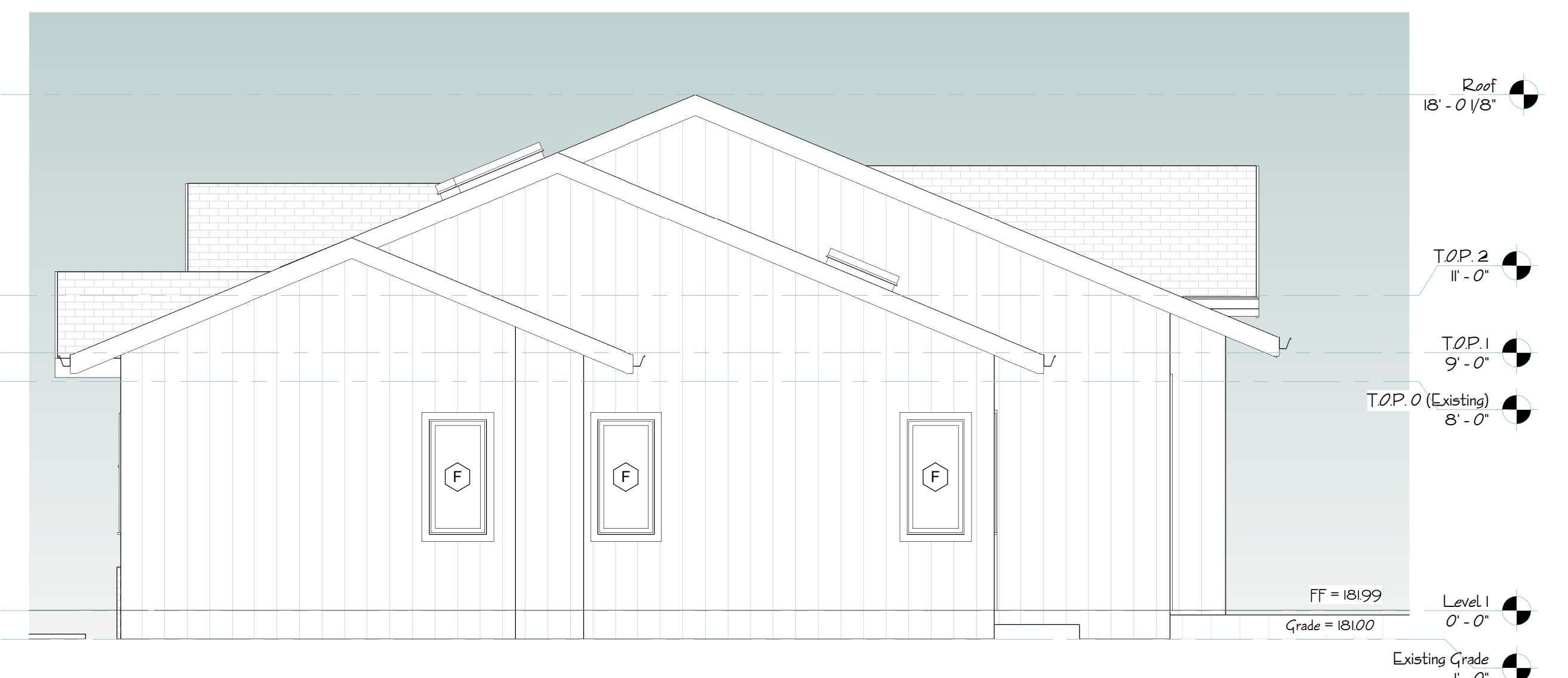
2 Rear Elevation - Proposed

1/4" = 1'-0"



3 Left Elevation - Proposed

1/4" = 1'-0"



4 Right Elevation - Proposed

1/4" = 1'-0"

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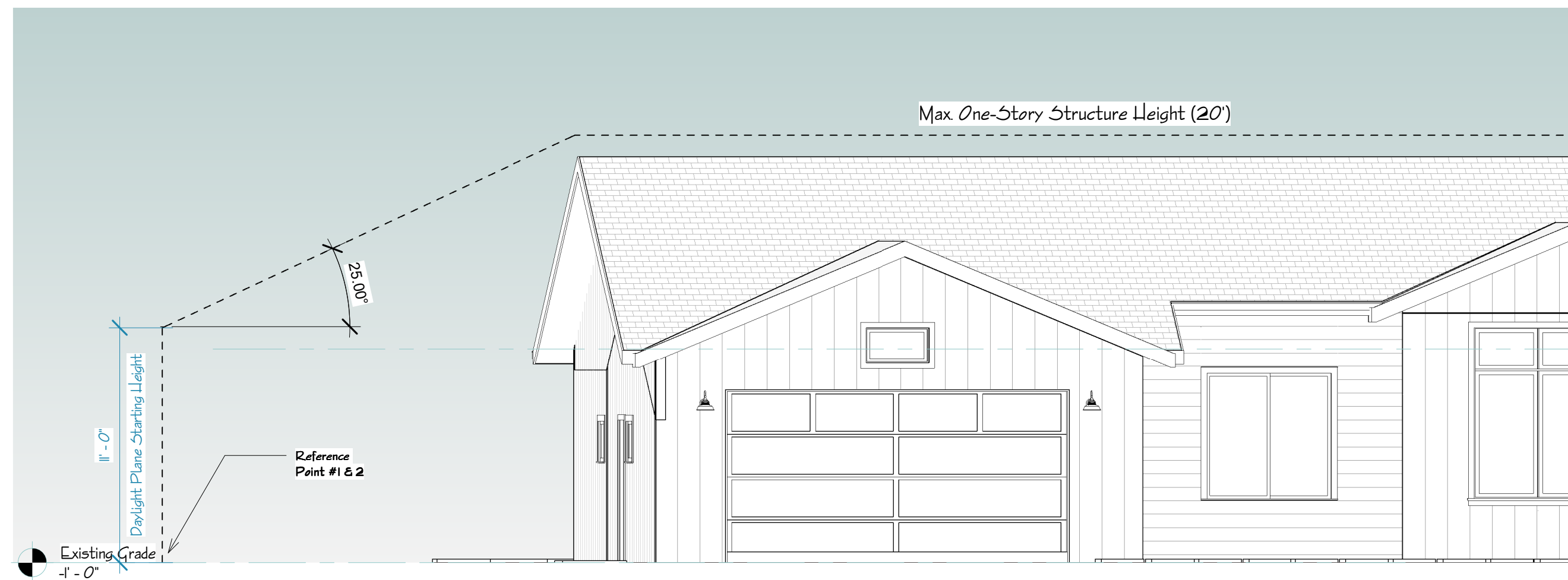
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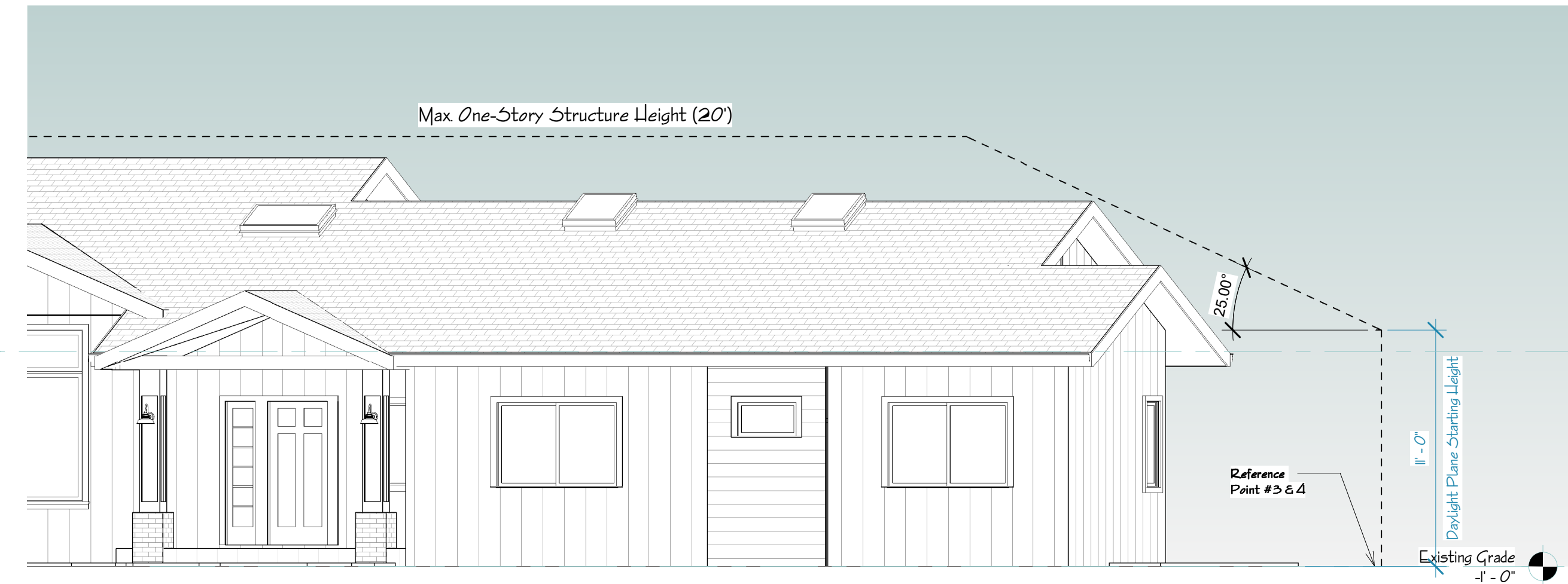
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Daylight Plane and
Door & Window
Schedule

A-4.2



5 Front Elevation Left Side - Daylight Plane



6 Front Elevation Right Side - Daylight Plane

Door Schedule - Proposed						
Mark	Location	Type	Manufacturer	Width	Height	Comments

Exterior

1	Entry	Craftsman Door w/ Left Sidelight		3'-0"	6'-8"	Safety Glazing
2	Master Bedroom	Single Full Lite		2'-8"	6'-8"	Safety Glazing
3	Family Room	Folding Door		12'-0"	8'-0"	Safety Glazing
4	Mudroom	Single Entry Half Flat Glass		2'-8"	6'-8"	Safety Glazing
5	Garage	Garage Door		16'-0"	8'-0"	Safety Glazing

Interior

6	Puja Room	Double Sliding Barn		2'-6"	6'-8"	
7	Hallway	Packet		2'-6"	6'-8"	
8	Bedroom 1	Single Flush		2'-6"	6'-8"	
9	Bedroom 1	Double Sliding		5'-0"	6'-8"	
10	Bedroom 1	Double Sliding		5'-0"	6'-8"	
11	Bath 1	Single Flush		2'-4"	6'-8"	
12	Bedroom 2	Single Flush		2'-6"	6'-8"	
13	Bedroom 2	Double Sliding		6'-0"	6'-8"	
14	Master Bedroom	Double Flush		5'-0"	6'-8"	
15	Master Closet	Packet		3'-0"	6'-8"	
16	Master Bathroom	Packet		2'-6"	6'-8"	
17	Master Bathroom	Packet		2'-4"	6'-8"	
18	Hallway - Closet	Single Flush		2'-4"	6'-8"	
19	Hallway - Closet	Bifold Four Panel		4'-6"	6'-8"	
21	Living Room	Double Packet		6'-0"	8'-0"	
22	Kitchen	Packet		2'-6"	6'-8"	
23	Grade	Single Flush		2'-8"	6'-8"	
24	Bath 2	Single Flush		2'-4"	6'-8"	
25	Guest Room	Single Flush		2'-6"	6'-8"	
26	Guest Room	Double Sliding		6'-0"	6'-8"	

Door Schedule Notes:

- Other manufacturer's door units with equal or better performance may be substituted, subject to owner's approval.
- Verify desired style of interior door panels with owner.

Window Schedule - Proposed							
Type Mark	Location	Operation	Count	Width	Height	Sill Height	Comments

A	Dining Room	Slider	1	6'-0"	6'-0"	1'-11"	
B	Living Room	XOX Triple Casement	1	9'-0"	8'-0"	2'-0"	
C	Puja Room	Casement	1	2'-0"	4'-0"	2'-8"	
D	Bedroom 1	Slider	1	6'-0"	4'-0"	2'-8"	
E	Bath 1	Awning	1	3'-0"	1'-8"	5'-0"	Safety Glazing
D	Bedroom 2	Slider	1	6'-0"	4'-0"	2'-8"	
F	Bedroom 2	Fixed	1	2'-0"	4'-0"	2'-8"	
D	Master Bedroom	Slider	1	6'-0"	4'-0"	2'-8"	
F	Master Bedroom	Fixed	2	2'-0"	4'-0"	2'-8"	
G	Master Bathroom	Casement	1	3'-6"	4'-0"	2'-8"	Safety Glazing
D	Master Closet	Slider	1	6'-0"	4'-0"	2'-8"	
L	Kitchen	Double Casement with Awning	1	6'-0"	4'-8"	3'-4"	
D	Guest Room	Slider	1	6'-0"	4'-0"	2'-8"	
I	Bath 2	Awning	1	3'-0"	2'-0"	4'-8"	Safety Glazing
I	Garage	Awning	1	3'-0"	2'-0"	4'-8"	Safety Glazing
J	Garage	Fixed	1	3'-0"	1'-8"	8'-4"	Safety Glazing
S1	Foyer	Skylight	1	2'-6 1/8"	3'-9 3/4"		
S2	Bedroom Hallway	Skylight	2	2'-6 1/8"	3'-17/8"		
S1	Master Bathroom	Skylight	1	2'-6 1/8"	3'-9 3/4"		
S2	Kitchen	Skylight	2	2'-6 1/8"	3'-17/8"		

Grand total: 23

Window Schedule Notes:

- Other manufacturer's window units that meet all code and Title 24 requirements may be substituted, subject to owner's approval.
- Safety (i.e. tempered) glazing required at hazardous locations, including:
 - adjacent to tubs, showers, and tub/showers.
 - tub, showers, and tub/shower glass enclosures and glass doors.
 - adjacent to and within 24" of either edge of a door.
 - any glazing with its bottom edge within 18" or less to a walking surface that is 9 5/8 FT or greater.
- All bedroom windows designated as "Egress" to meet CBC egress' minimum dimension / size requirements. (Min Width = 20"; Min Height = 24"; Min Clear Openable Area = 5.7 SF; Max Sill Height = 44")

**Devireddy / Krishnan
Residence**



Materials Board			
Key	Description	Sample Images	Manufacturer
A	Exterior Siding: Wood Battens, painted Cloud White		Kelly Moore Paint: LMV57-1 Cloud White Flat
B	Exterior Accent Siding: Cedar Channel Siding Applied Horizontally		Real Cedar: Cedar Channel Siding Applied Horizontally
C	Roof: TruDefinition Durations Architectural Shingle, Estate Gray		Owens Corning Roofing or equal
D	Fascia and Gutters: Cloud White		Kelly-Moore Paint: LMV57-1 Cloud White Flat
E	Window Frames: Dark Bronze Interior Color and White Exterior Trim Color		Andersen A-Series Windows, Flat Paint
F	Driveway and Patios: Calstone Quarry Stone, Sierra Granite Pavers		Calstone
G	Architectural Door: Silver Blueberry		Andersen Doors, Kelly-Moore Paint: LM4994-3 Silver Blueberry

1 Material Rendering - Front View



2 Material Rendering - Rear View

Owners

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Revision	Description	Date
	Planning Review	08/06/18
△	Variance Application	10/7/18

Version 16 November 2018

**Materials
Rendering & Color
Board**

Devireddy / Krishnan
Residence

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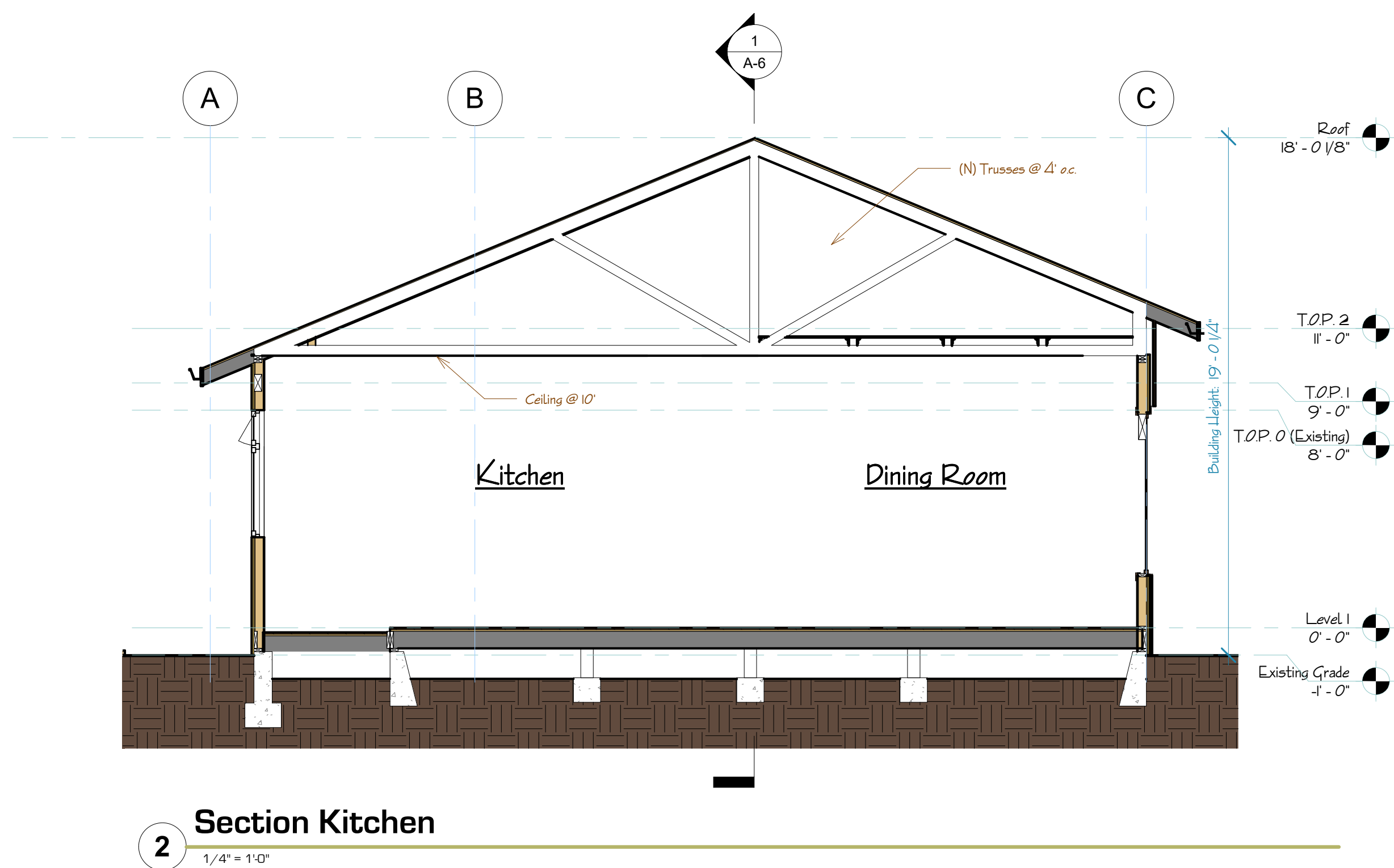
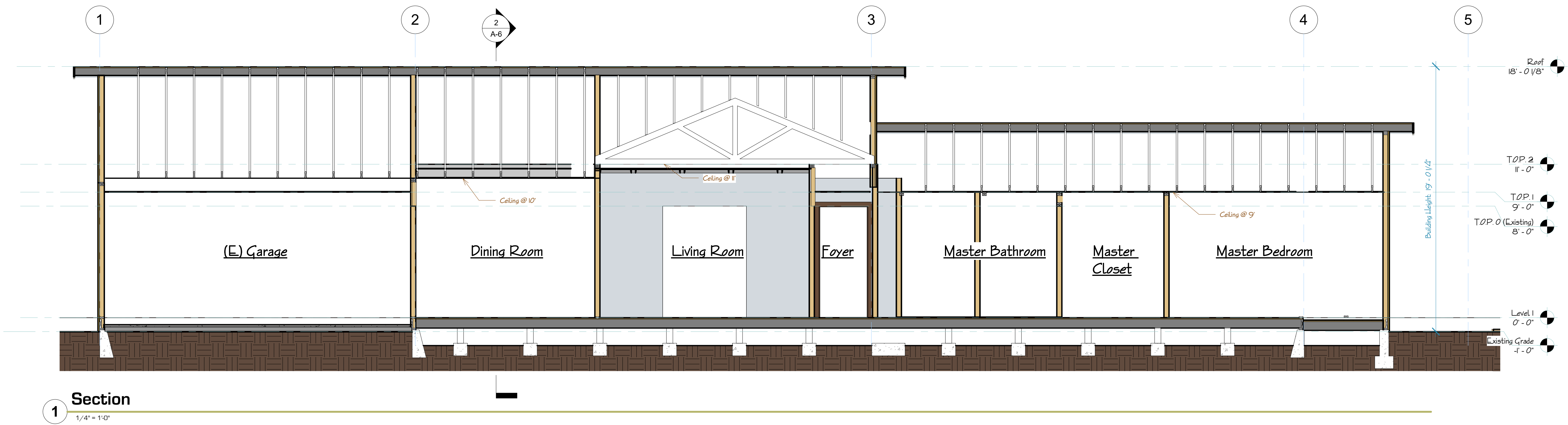
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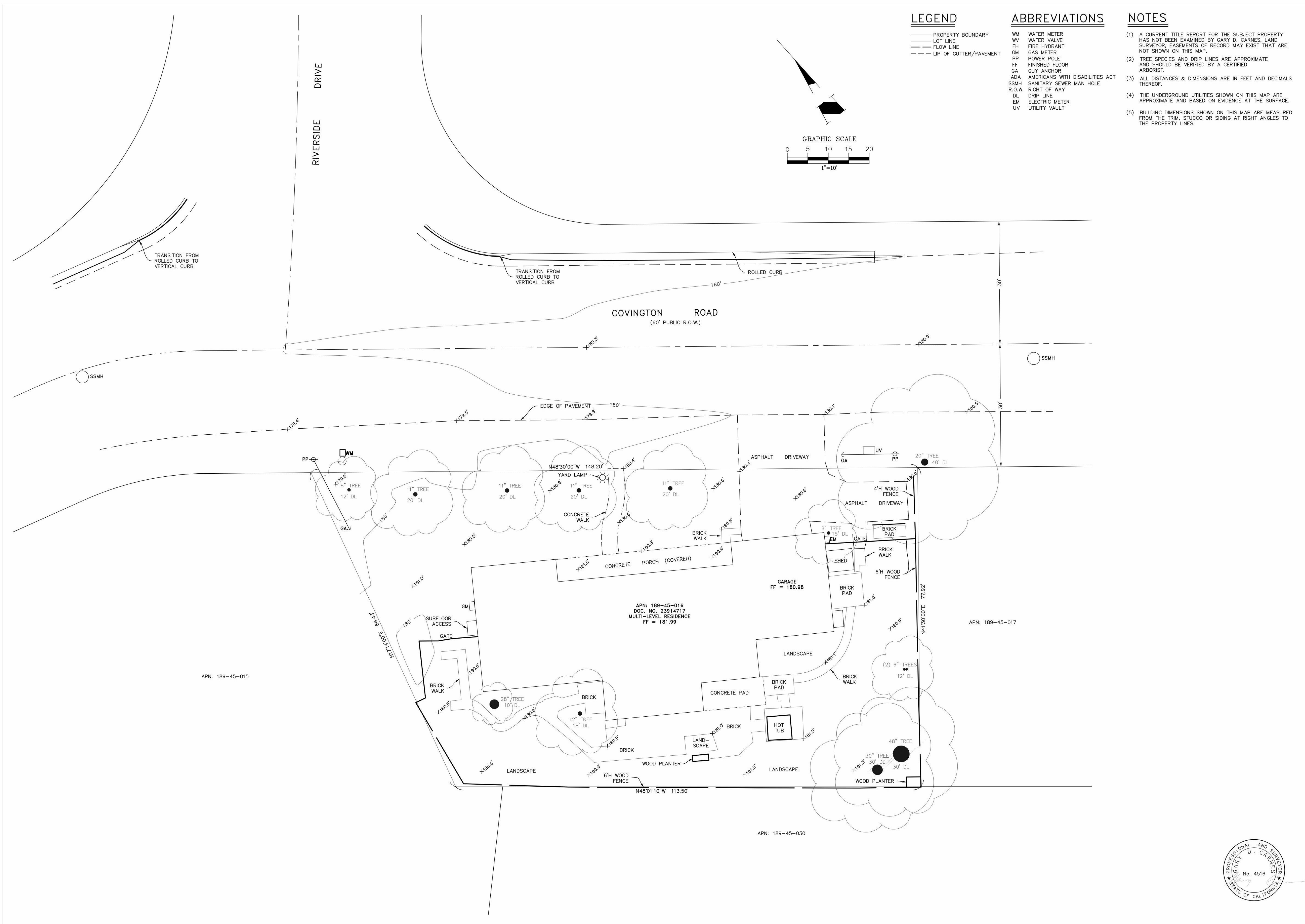
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Building Sections

A-6





LEGEND

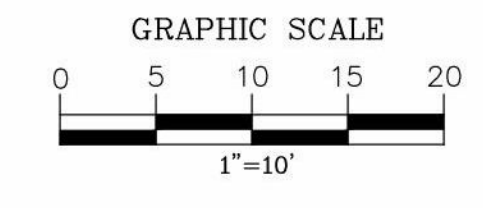
- PROPERTY BOUNDARY
- LOT LINE
- FLOW LINE
- - - LIP OF GUTTER/PAVEMENT

ABBREVIATIONS

- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- GM GAS METER
- PP POWER POLE
- FF FINISHED FLOOR
- GA GUY ANCHOR
- ADA AMERICANS WITH DISABILITIES ACT
- SSMH SANITARY SEWER MAN HOLE
- R.O.W. RIGHT OF WAY
- DL DRIP LINE
- EM ELECTRIC METER
- UV UTILITY VAULT

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



CARNES & ASSOCIATES
 9505 SUGAR BABE DRIVE
 GILROY, CALIFORNIA 95020
 408-847-2013

No.	DATE	REVISION

TOPOGRAPHIC MAP FOR
VENKAT DIVEREDDY
LOT 95 & A PORTION OF LOT 96,
TRACT 399
COUNTY OF SANTA CLARA, CA.

DATE :	06/27/18
SCALE :	1" = 10'
DRAWN BY :	M.V.
PROJ. MANAGER :	G.C.
Job No. 1887	DWG: DIVEREDDY



Survey
C-1

Devireddy / Krishnan Residence

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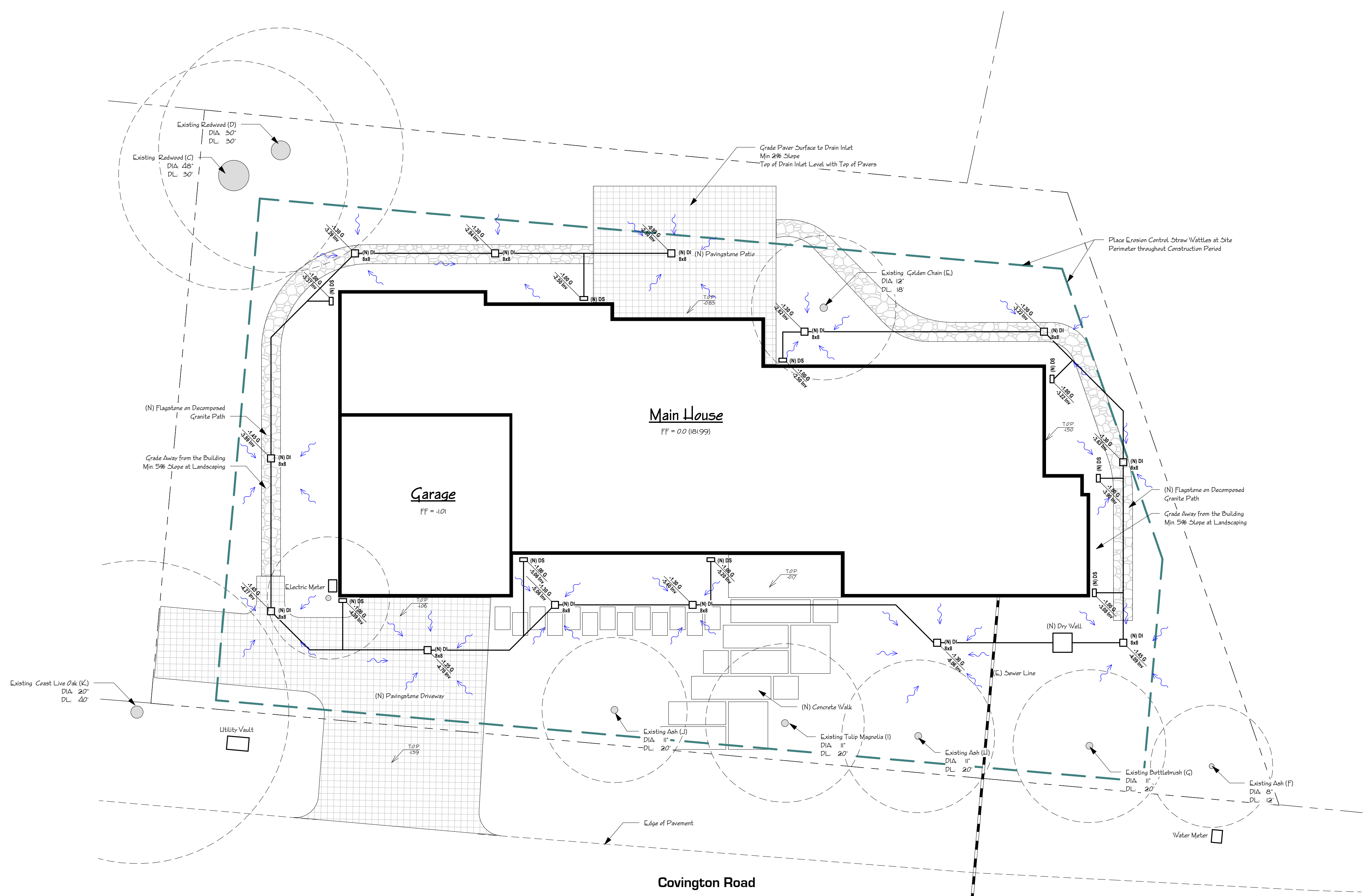
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1	Variance Application	10/7/18

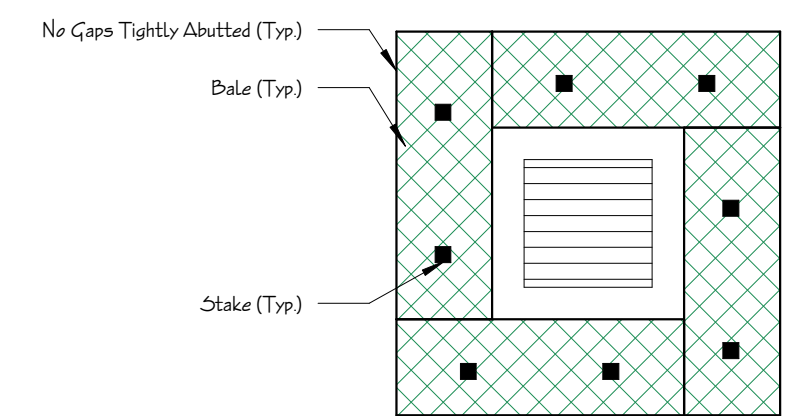
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Grading & Drainage Plan

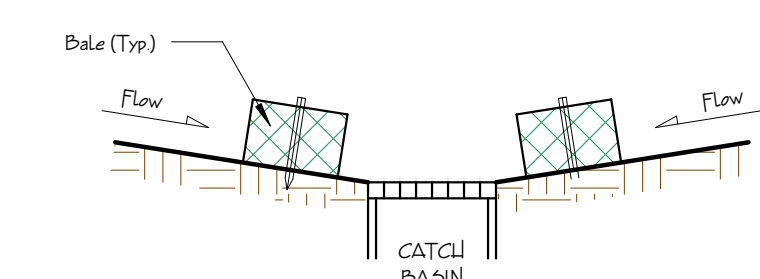


1 Grading & Drainage Plan
1/8" = 1'-0"

NOTE:
1. Bales are to be placed 4 inches in the soil, tightly abutting with no gaps, staked and backfilled around the entire outside perimeter.
2. Not recommended for receiving concentrated flows, such as street or highway medians.

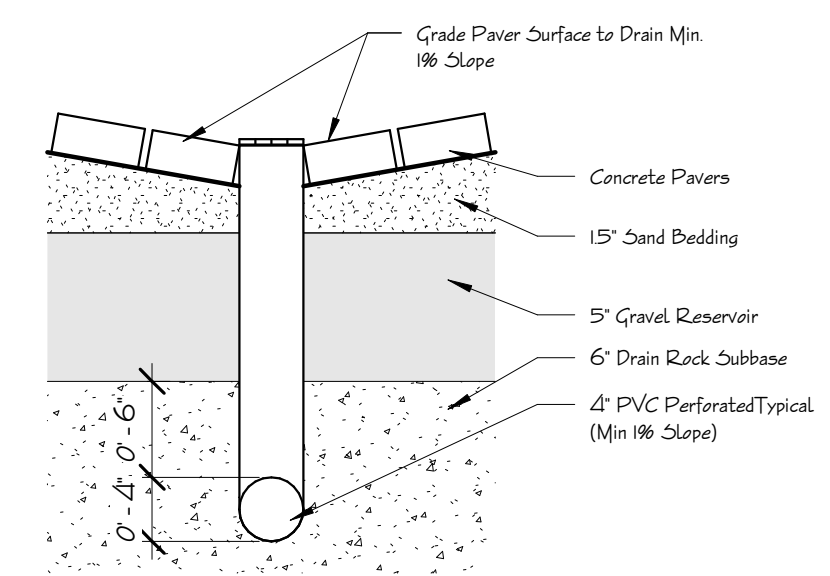


PLAN VIEW

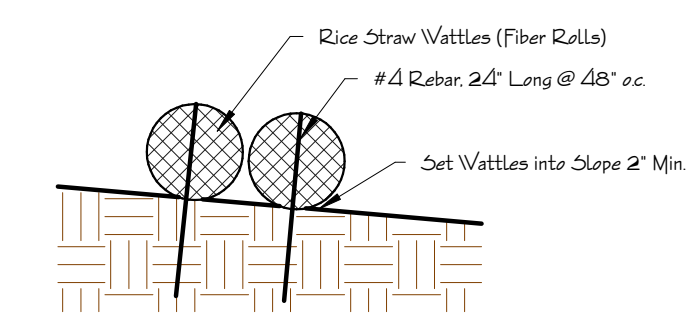


SECTION

2 Inlet Protection
1" = 1'-0"

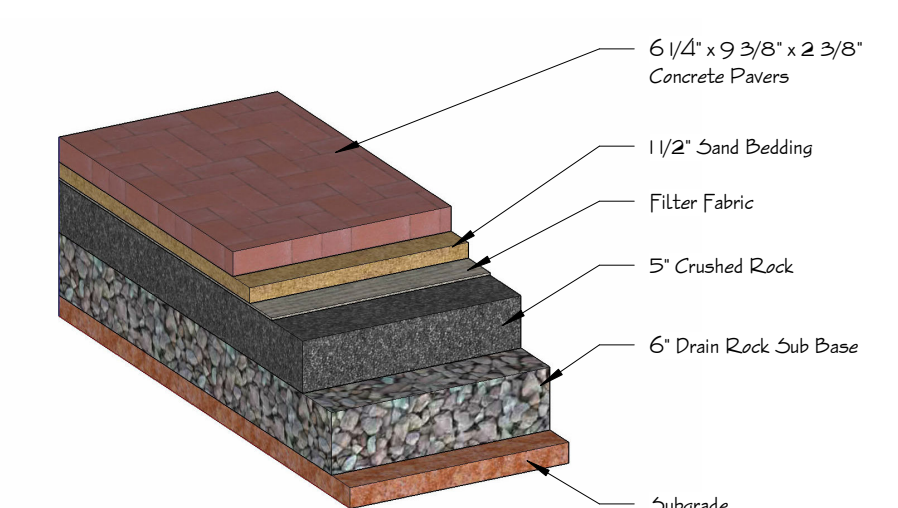


3 Trench Detail
1" = 1'-0"



Existing Grade

4 Wattles
1" = 1'-0"

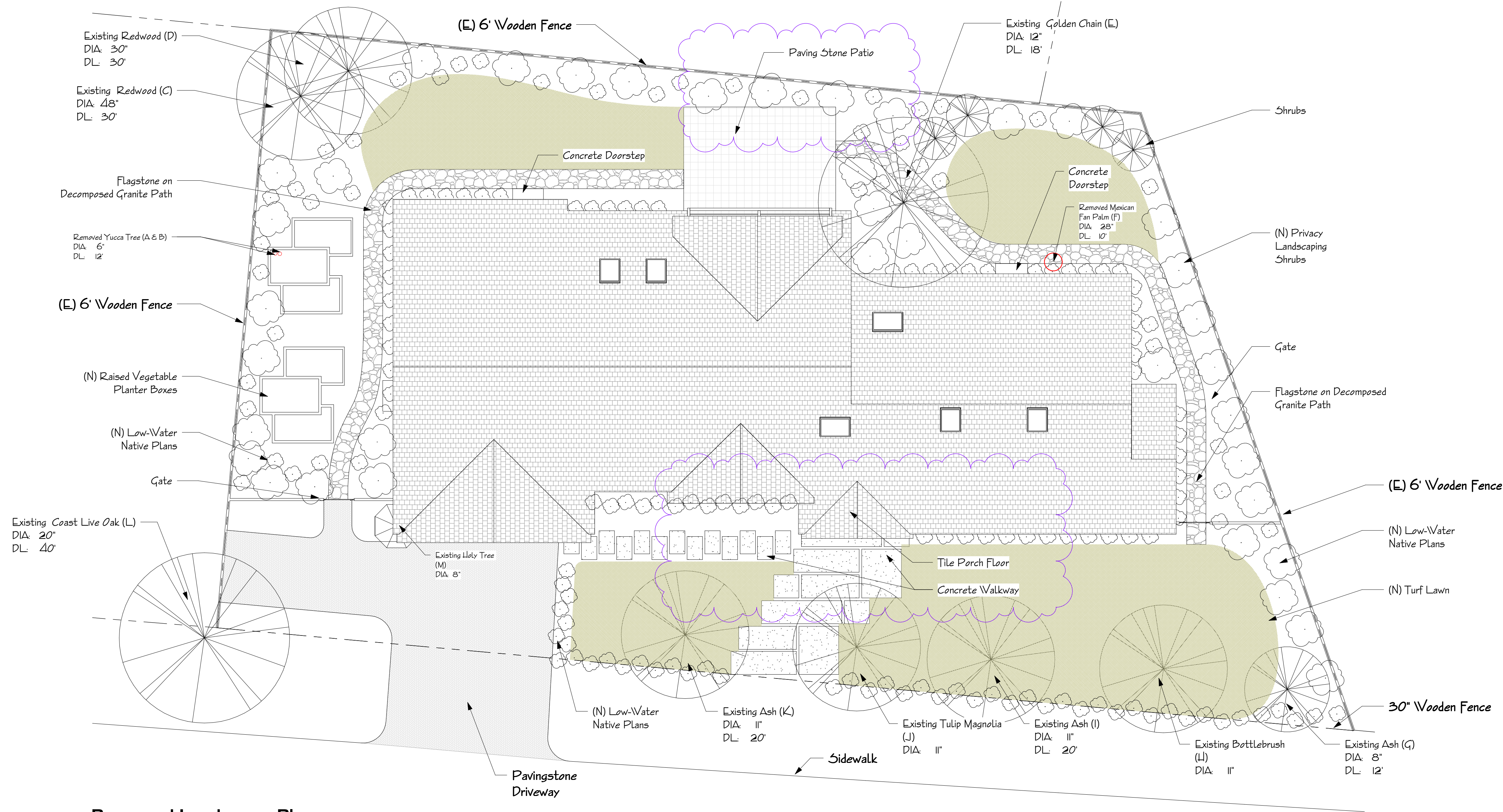


5 Pervious Paving Section
1" = 1'-0"

Note:
• General Contractor is Responsible for Means, Method and Technique on Construction.
• Waterproofing and Flashing Designed by Others.



Devireddy / Krishnan Residence



1 Proposed Landscape Plan
1/8" = 1'-0"

Tree Summary Table				
Mark	Botanical Designation	Diameter	Dripline	Comment
A	Yucca Tree	6"	12'	Remove
B	Yucca Tree	6"	12'	Remove
C	Redwood	48"	30'	Retain
D	Redwood	30"	30'	Retain
E	Golden Chain	12"	18'	Retain
F	Mexican Fan Palm	28"	10'	Remove
G	Ash	8"	12'	Retain
L	Bottlebrush	11"	20'	Retain
I	Ash	11"	20'	Retain
J	Tulip Magnolia	11"	20'	Retain
K	Ash	11"	20'	Retain
L	Coast Live Oak	20"	40'	Retain
M	Holy Tree	8"	15'	Retain

Total Number of Trees on Site Plan

13

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Landscape Plan