

ZONING COMPLIANCE

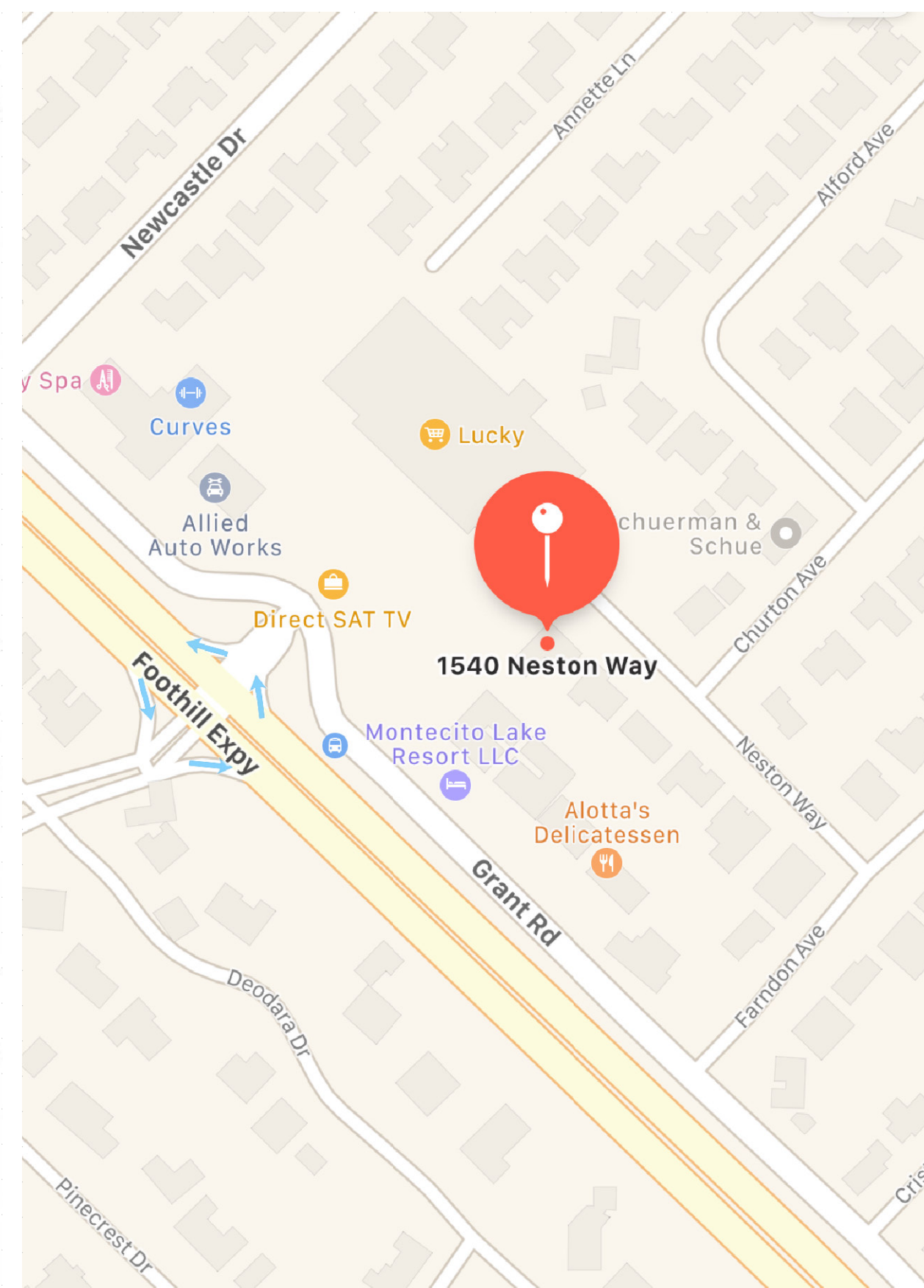
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2742 square feet (27.2 %)	2974 square feet (29.9 %)	3528 square feet (35 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	2408 square feet (23.89 %)	3900 square feet (38.72 %)	3528 square feet (35 %)
SETBACKS:			
Front	25 feet	25 feet	25 feet
Rear	28 feet	28 feet	25 feet
Right side (1 st /2 nd)	10.5 feet/ feet	10.5 feet/ 29 feet	10 feet/ 17.5 feet
Left side (1 st /2 nd)	13.8 feet/ feet	13.8 feet/ 32 feet	10 feet/ 17.5 feet
HEIGHT:	13.8 feet	22.7 feet	27 feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1995 square feet	1092 square feet	3087 square feet
NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	413 square feet	0 square feet	413 square feet

LOT CALCULATIONS

NET LOT AREA:	10080 square feet
FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	880 square feet (8.7 %)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 2971 sq ft
	Existing softscape (undisturbed) area: 6109 sq ft
	New softscape (new or replaced landscaping) area: 0 sq ft
<i>Sum of all three should equal the site's net lot area</i>	



VICINITY MAP

GENERAL NOTES

- THE ARCHITECTURAL SITE PLAN IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENT, SETBACK UTILITIES AND SUBSTRUCTURES. ALL DISCREPANCIES SHALL BE CORRECTED.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
- PAD GRADE UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A MINIMUM OF ONE AREA WHICH SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT SATURATION OF SOIL ADJACENT TO BUILDING.
- ALL CONSTRUCTION SHALL EXCEED THE LATEST EDITION OF CODES ADOPTED BY CITY. THESE SHALL INCLUDE BUT NOT LIMITED TO: C.B.C., N.E.C., U.M.C., U.P.C. AND ALL OTHER HEALTH & SAFETY CODES, ORDINANCES AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES. NOTIFY THE CITY OF LOS ALTOS OF ANY CHANGES TO THE PERMITTED WORK.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED FOR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, ORDER, AND INSTALL ALL MATERIALS AND EQUIPMENT TO BE USED IN ACCORDANCE WITH THE PERMITTED WORK AND REQUIREMENTS ADOPTED BY GOVERNING AGENCIES. NOTIFY THE CITY OF LOS ALTOS OF ANY CHANGES TO THE PERMITTED WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT.
- ALL SUB-CONTRACTORS SHALL DO THEIR BEST & PROFESSIONALISM TO COORDINATE THEIR WORK WITH THE CONTRACTOR.
- WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR THE SIMILAR WORK OR TO MATCH EXISTING DETAILS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. FIELD VERIFY ALL CABINET SPACE AND FIXED GLASS SIZES, APPLIANCES, FIXTURES, EQUIPMENT etc. CLEARANCES. ALL FINISHES, CABINETS, APPLIANCES, FIXTURES, SKYLIGHTS, SUN TUNNELS, EQUIPMENT etc. PER OWNER SELECTION. THEY SHALL BE SELECTED FROM COMPLIANCE WITH THE DESIGN CONCEPT OF THE PROJECT AS INDICATED BY THE DRAWINGS.
- TRADE NAME AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY OWNER.

SCOPE OF WORK

- ± 1095 SF. ADDITION AREA FOR 2 STORY
- ± 146 SF. REBUILD AREA
- ± 949 SF. REMODEL AREA
- INSTALL 4 SKYLIGHTS AND 2 SUN-TUNNELS
- RELOCATE (N) 200 amp E.M. & E.P.
- INSTALL (N) A/C
- REPLACE FURNACE
- REPLACE (E) WATER HEATER WITH (N) OUTDOOR TANKLESS WATER HEATER
- REPLACE (E) WOOD SHINGLE ROOF WITH (N) COMPOSITION ASPHALT SHINGLE ROOF

APPLICABLE CODES:

- 2016 California Building Code
- 2016 California Electric Code
- 2016 California Energy Code
- 2016 California Fire Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Residential Code
- 2016 California Code
- Los Altos Municipal Code

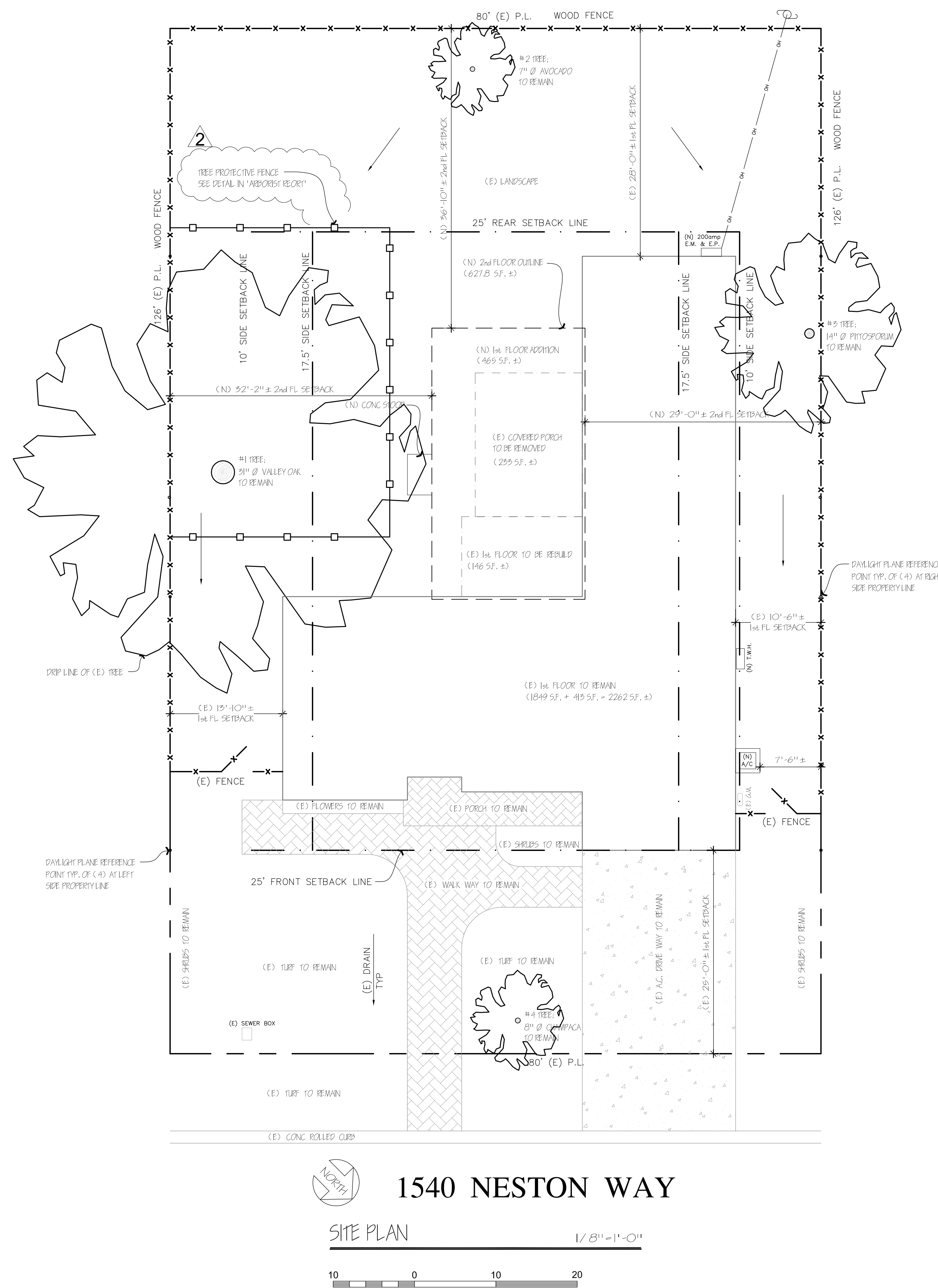
PROJECT DATA

PROJECT ADDRESS: 1540 NESTON WAY
LOS ALTOS, CA 94024
PROPERTY OWNER: MR. K.Y. NARASIMHAN & MRS. RATHNA NARASIMHAN
APN: 318-16-001
ZONING: R1
LOT SIZE: 10,080 SF. ± (SITE IS LEVEL)
TYPE OF OCCUPANCY: R3/ U
TYPE OF CONST.: VB, FIRE SPRINKLER SYSTEM
NO. OF STORY: TWO

PROJECT INDEX

- A1 TITLE SHEET, SITE PLAN
- A2 (E) FLOOR PLAN, (E) ROOF PLAN
- A3 (E) ELEVATIONS, ABBREVIATIONS
- A4 (N) 1st FLOOR PLAN, (N) 2nd FLOOR PLAN
- A5 (N) LOWER ROOF PLAN, (N) UPPER ROOF PLAN
- A6 (N) 1st FLOOR REFLECTED CEILING PLAN, (N) 2nd FLOOR REFLECTED CEILING PLAN
- A7 (N) ELEVATIONS
- A8 (N) ELEVATION, SECTION A, SECTION B
- A9 (N) 1st FLOOR AREA DIAGRAM, (N) 2nd FLOOR AREA DIAGRAM, FLOOR AREA AND COVERAGE CALCULATION
- A10 (N) LOWER & UPPER ROOF AREA DIAGRAM, ROOF FRAMING AREA CALCULATIONS

EXISTING ONE STORY LIVING AREA: 1995 SF. ±
EXISTING GARAGE AREA: 413 SF. ±
EXISTING COVERED PORCH: 102 SF. ±
EXISTING COVERED PATIO: 232 SF. ±
ADDITION 1st FL LIVING AREA: 469 SF. ±
ADDITION 2nd FL LIVING AREA: 628 SF. ±
TOTAL ADDITION LIVING AREA: 1095 SF. ±
TOTAL PROPOSED LIVING AREA: 3088 SF. ±
TOTAL PROPOSED GARAGE AREA: 413 SF. ±
TOTAL PROPOSED COVERED PORCH: 102 SF. ±
PROPOSED HEIGHT: 22'-8" ± ABOVE GRADE



1540 NESTON WAY
SITE PLAN
1/8" = 1'-0"
0 10 20

SITE PLAN NOTES:

- A MIN. 5% GRADE SLOPE AWAY FROM FOUNDATION FOR A MIN. DISTANCE OF 10 FT MEASURED PERPENDICULAR TO THE FACE OF THE WALL. EXCEPTIONS:
a. IF BUILD'G SITE DOES NOT ALLOW 10 FT OF SLOPE, INDICATE THE INSTALLATION OF DRAINS OR SWALES TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.
b. IMPERVIOUS SURFACES WITHIN 10 FT OF THE BUILD'G FOUNDATION SHALL BE SLOPED A MIN. OF 2% AWAY FROM THE BUILD'G.
- SEE LOCATION OF (N) DOWN SPOUTS IN (N) ROOF PLANS ON SHEET A5 AND DIRECT AS MUCH RUNOFF AS POSSIBLE THROUGH LANDSCAPED SWALES TOWARD THE PUBLIC STREET. CONSIDER INCLUDING SPLASH BLOCKS AT ALL LOWER DOWN SPOUTS TO ENSURE ROOF WATER IS DIRECTED AWAY FROM FOUNDATION.

REVISIONS

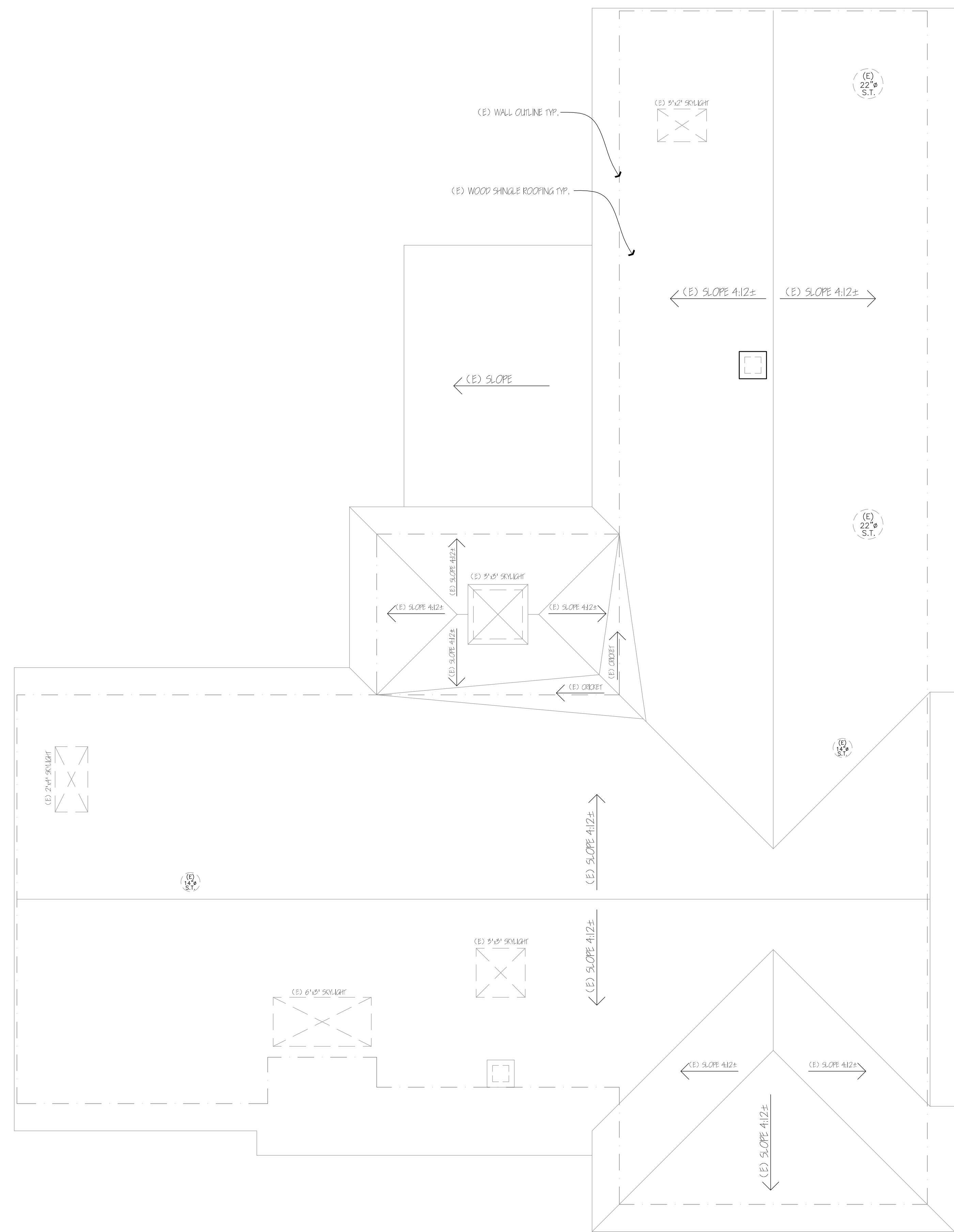
- 1 PLANNING REV. 5-17-2018
- 2 PLANNING REV. 7-2-2018

SUPING SHI
P.O. Box 1107
Alviso, CA 95002
Tel: 408-717-0809
E-Mail: sshisec@yahoo.com

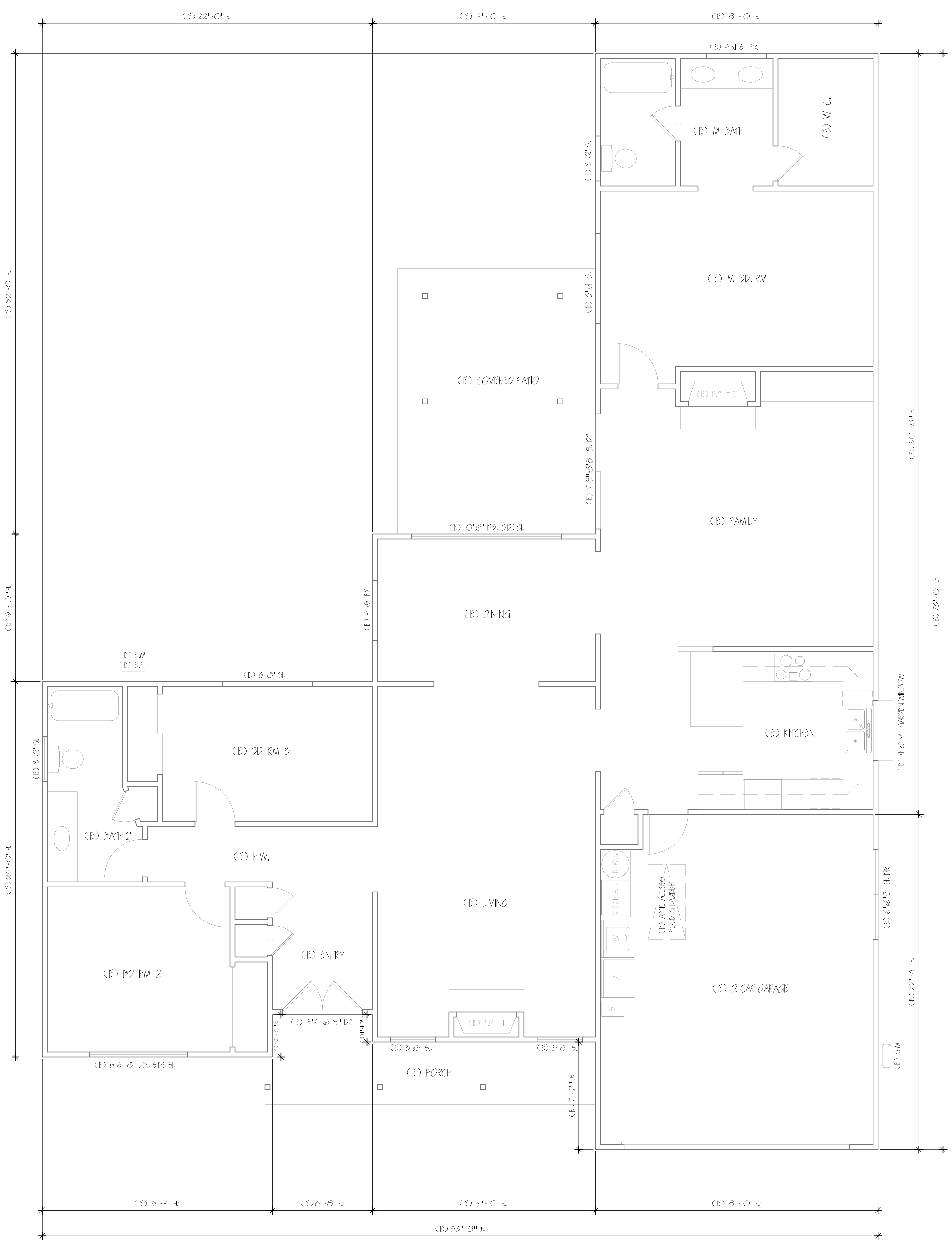


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LOS ALTOS, CA 94024

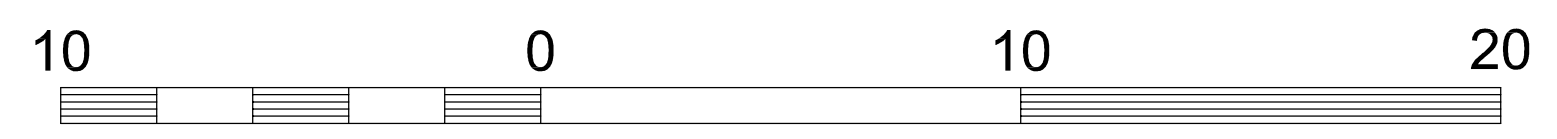
DATE: MARCH 2018
SCALE: AS NOTED



(E) ROOF PLAN 1/4"=1'-0"



(E) FLOOR PLAN 1/4"=1'-0"



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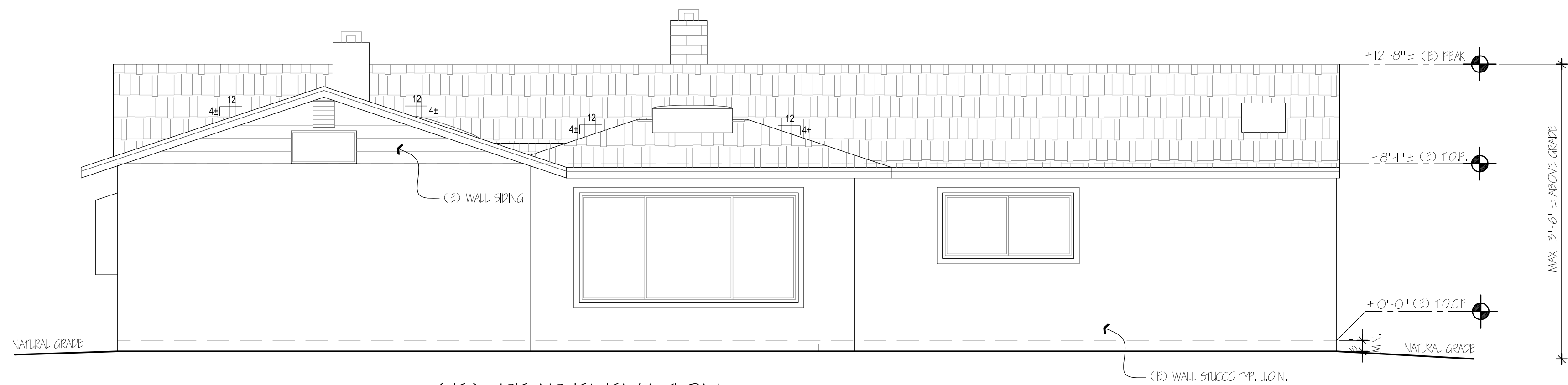
ABBREVIATIONS

&	AND	M.	MASTER
@	AT	MAX.	MAXIMUM
A/C	AIR CONDITIONING	MECH.	MECHANICAL
ABV.	ABOVE	MFR.	MANUFACTURER
A.F.F.	ABOVE FLOOR FINISH	MIN.	MINIMUM
ALT.	ALTERNATE	MISC.	MISCELLANEOUS
ARCH.	ARCHITECTURAL/ARCHED	MTL.	METAL
		MW.	MICROWAVE
BD.	BOARD	(N)	NEW
BD.RM.	BEDROOM	N/A	NOT APPLICABLE
BLDG.	BUILDING	N.G.	NATURAL GRADE
BLKG.	BLOCKING	NO.	NUMBER
BLW.	BELOW	N.T.S.	NOT TO SCALE
BM.	BEAM	O/	OVER
B.N.	BOUNDARY NAILING	O.C.	ON CENTER
BOT.	BOTTOM	OPT.	OPTION
CAB.	CABINET	P.	PANTRY / POLE
CAS.	CASEMENT	PERIM.	PERIMETER
CD.	CARBON MONOXIDE DETECTOR	PERP.	PERPENDICULAR
CHG.	CHANGE	PL.	PLATE / PROPERTY LINE
C.J.	CONTROL JOINT	PLUMB.	PLUMBING
CL.	CENTER LINE	PLYW.	PLYWOOD
CLG.	CEILING	P.T.	PRESERVATIVE TREATED
CLR.	CLEAR	PWDR.	POWDER ROOM
CONC.	CONCRETE	REF.	REFERENCE / REFRIGERATOR
CONN.	CONNECTION	REINF.	REINFORCEMENT
CONSTR.	CONSTRUCTION	REQ.	REQUIRED
CONT.	CONTINUOUS	RM.	ROOM
CTR.	CENTER	R.O.	ROUGH OPENING
		RW.	REDWOOD
D.	DRY	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DBL.	DOUBLE	SCHED.	SCHEDULE
DET.	DETAIL	S.C.	SOLID CORE
D.F.	DOUGLAS FIR	SD.	SMOKE DETECTOR
DIM.	DIMENSION	S.H.	SINGLE HUNG
DISP.	DISPOSAL	SIM.	SIMILAR
DN.	DOWN	SL.	SLIDER
DR.	DOOR	S.M.D.	SEE MECHANICAL DRAWINGS
D.W.	DISH WASHER	SPEC.	SPECIFICATION
DWG.	DRAWING	SO.	SQUARE
		S.S.D.	SEE STRUCTURAL DRAWINGS
(E)	EXISTING	S.T.	SUN TUNNEL
EA.	EACH	STAGG.	STAGGER
ELEC.	ELECTRIC	STD.	STANDARD
ELEV.	ELEVATION	STRUCT.	STRUCTURAL
E.N.	EDGE NAILING	SYM.	SYMMETRICAL
E.M.	ELECTRICAL METER	S.W.	SHEAR WALL
E.P.	ELECTRICAL PANEL		
EQ.	EQUAL	T&B.	TOP AND BOTTOM
E.W.	EACH WAY	T&G.	TONGUE AND GROOVE
EXP.	EXPANSIVE	TEMP.	TEMPERED
EXT.	EXTERIOR	THK.	THICK
		THRU.	THROUGH
F.A.U.	FORCED AIR UNIT	T.O.C.F.	TOP OF CONCRETE FLOOR
F.F.	FINISH FLOOR	T.O.F.P.	TOP OF FLOOR PLYWOOD
F.G.	FINISH GRADE	T.O.P.	TOP OF PLATE
F.H.	FULL HEIGHT	TR.	TRIM
FIN.	FINISH	TYP.	TYPICAL
FIN.	FINISH	T.W.H.	TINKLESS WATER HEATER
FL.	FLOOR	U.O.N.	UNLESS OTHERWISE NOTED
FLASH.	FLASHING	UP.	UPPER
FND.	FOUNDATION		
F.O.C.	FACE OF CONCRETE	V.I.F.	VERIFY IN FIELD
F.O.F.	FACE OF FINISH	VENT.	VENTILATION
F.O.S.	FACE OF STUD	VERT.	VERTICAL
F.P.	FIRE PLACE		
FT.	FOOT OR FEET	W.	WASHER / WEST / WIDE / WIDTH
FTG.	FOOTING	W.C.	WINE COOLER
FX.	FIXED	W.D.	WARMING DRAWER
		WD.	WOOD
GA.	GAUGE	W.H.	WATER HEATER
GALV.	GALVANIZED	W.I.C.	WALK IN CLOSET
GDR.	GIRDER	W/	WITH
G.F.C.I.	GROUND ARC-FAULT CIRCUIT INTERRUPTER	W/O	WITHOUT
		WP.	WATERPROOF
G.M.	GAS METER		
GND.	GROUND		
GYP. BD.	GYPSUM BOARD		
H.B.	HOSE BIB		
HD.	HOLDOWN		
HDR.	HEADER		
HGR.	HANGER		
HGT.	HEIGHT		
HORZ.	HORIZONTAL		
HR.	HOUR		
H.W.	HALL WAY		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		
JST.	JOIST		
K.S.	KING STUD		



(E) FRONT ELEVATION

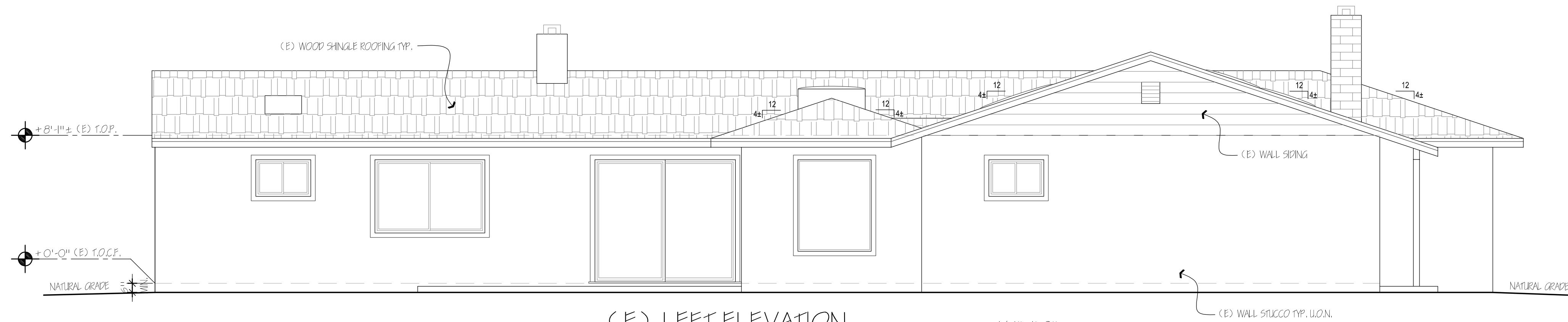
1/4" = 1'-0"



(E) REAR ELEVATION

1/4" = 1'-0"

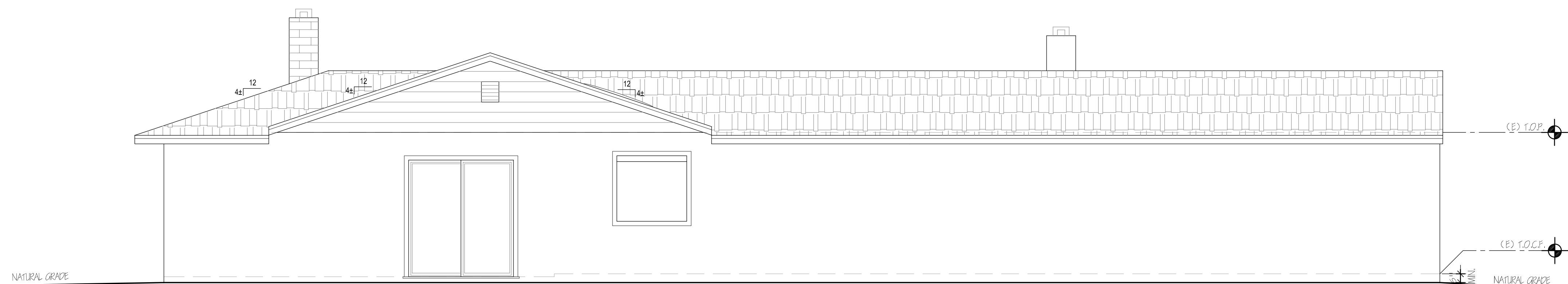
NOTE: COVERED PATIO NOT SHOWN.



(E) LEFT ELEVATION

1/4" = 1'-0"

NOTE: COVERED PATIO NOT SHOWN.



(E) RIGHT ELEVATION

1/4" = 1'-0"

REVISIONS

- 1 PLANNING REV. 5-17-2018
- 2 PLANNING REV. 7-2-2018

SUPING SHI
 P.O. Box 1107
 Alviso, CA 95002
 Tel: 408-717-0809
 E-Mail: sshisec@yahoo.com



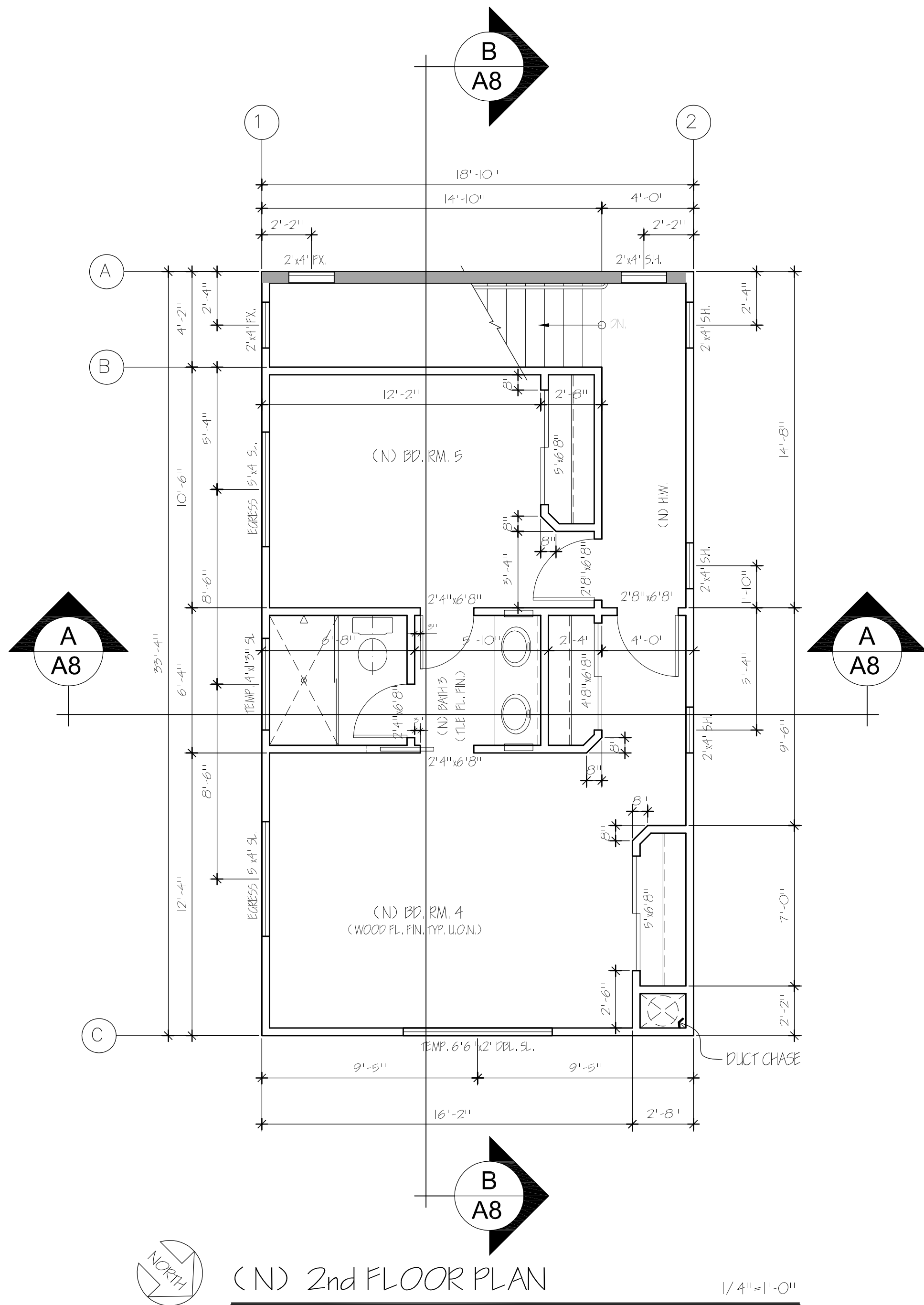
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 FOR: MR. AND MRS. NARASIMHAN**

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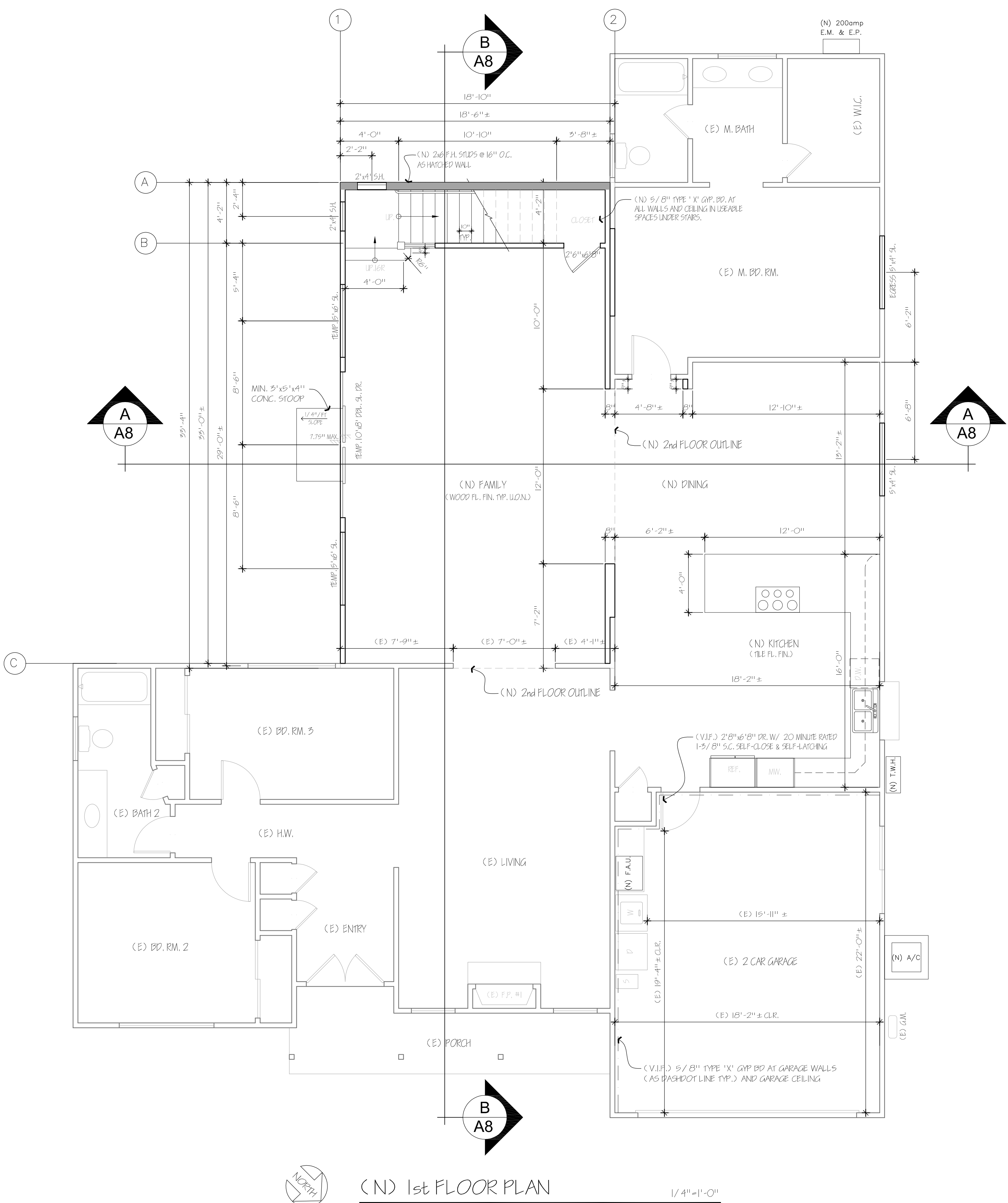
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A3

OF SHEETS



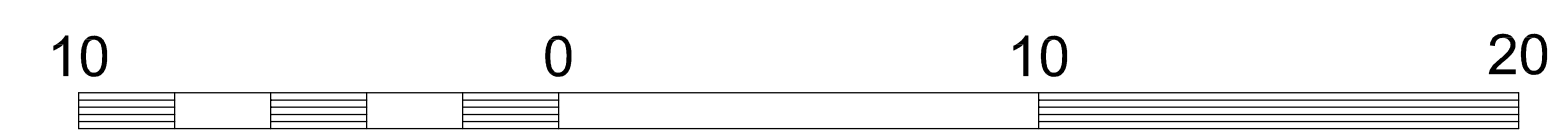
(N) 2nd FLOOR PLAN
1/4"=1'-0"



(N) 1st FLOOR PLAN
1/4"=1'-0"

FLOOR PLAN NOTES:

- DENOTES EXISTING WALL TO BE REMAINED.
- DENOTES NEW 2x4 STUDS @ 16" O.C. WALL TO BE FRAMED TYP. U.O.N.
- DENOTES NEW 2x6 STUDS @ 16" O.C. WALL TO BE FRAMED TYP. U.O.N.
- DENOTES NEW DBL. 2x4 or 2x6 STUDS @ 16" O.C. WALL TO BE FRAMED TYP. U.O.N.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD U.O.N. ALL ANGLES OTHER THAN 90° SHALL BE 45°. OPTIONAL: ALL CORNERS AT GYP. BD. TO BE BILLOUSED.
- NEW EXTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. FOR WALL HEIGHT LESS THAN 10'. AND 2-2x4 @ 16" O.C. OR 2x6 STUDS @ 16" O.C. FOR WALL HEIGHT OVER 10', TYP. U.O.N.
- NEW INTERIOR WALLS TO BE MIN. 2x4 STUDS 16" O.C. AND 2x6 STUDS 16" O.C. FOR SHEAR WALL W/ PLUMBING W/ 1/2" GYP. BD. ON BOTH SIDES, TYP. U.O.N.
- ALL INTERIOR WALL & CEILING FINISH TO BE SMOOTH TEXTURE PAINT, COLOR TO BE MATCH (E) AND SELECT BY THE OWNER.
- NEW CEILING GYP. BD. TO BE 5/8" TYPE 'X'.
- ALL SWING DOORS SHALL INSTALL DOOR STOPS TYP.
- WRAP ALL EXTERIOR FILLING WALLS WITH WALL PLYWOOD W/ 8d NAILS @ 6" O.C. AT EDGE AND 12" O.C. AT FIELD. TYP. U.O.N. ON STRUCTURAL DWGS.
- ALL DOORS SHALL BE FRAMED WITH MIN. 4" JAMBS, TYP. U.O.N.
- VERIFY ALL FINISH MATERIALS W/ OWNER PRIOR TO INSTALLATION.
- SKYLIGHT, SUN-TUNNEL, WINDOW & DOOR SIZES SHOWN ARE FOR DESIGN PURPOSES ONLY. ACTUAL SIZES SHALL BE FRAMED & SET PER MFG. SPECIFICATIONS. MAKE & MODEL NUMBERS SHALL BE CALLED OUT PER SUPPLIER'S AND/ OR OWNER'S SPECIFICATIONS. WINDOWS TO BE DUAL-PANED.
- BEDROOM WINDOW OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR. MIN. NET CLEAR OPENINGS SHALL BE MIN 20" IN WIDTH AND 24" IN HEIGHT W/ MIN. CLEAR OPENING OF 5.7 SQ. FEET.
- SHOWER/ TUB & SHOWER/ TUB WALLS TO BE SMOOTH, HARD, NON-ABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO BE EXTENDED UP TO 6'-0" MEASURED FROM THE SHOWER DRAIN RIM.
- DOOR AND PANELS OF SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC. SHOWER DOOR SHALL BE MIN. 22" WIDE.
- ALL GLASS DOORS, GLASS WITHIN 24" OF DOORS & WITHIN 18" OF FLOORS, GLASS SUBJECT TO HUMAN IMPACT, ETC. SHALL BE SAFETY TEMPERED.
- OPENINGS AROUND GAS VENTS, DUCTS & PIPING @ FLOOR SHALL BE FIRE STOPPED.
- PROVIDE TEMPERATURE MIXING VALVE AT ALL SHOWERS.
- PROVIDE MIN. 15" CLEAR SPACING AT EACH SIDE OF TOILETS, AND MIN. 24" CLEAR IN FRONT.
- UPPER CABINETS SHALL BE A MIN. OF 30" ABOVE COOKING TOP OR A HOOD IS TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS WITH CLEARANCES AS REQUIRED BY THE RANGE / COOK TOP MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE MIN. CLEARANCES TO COMBUSTIBLE MATERIALS.



REVISIONS

1	PLANNING REV. 5-17-2018
2	PLANNING REV. 7-2-2018

SUPING SHI
 P.O. Box 1107
 Aliso, CA 95002
 Tel: 408-717-0809
 E-Mail: sshisec@yahoo.com

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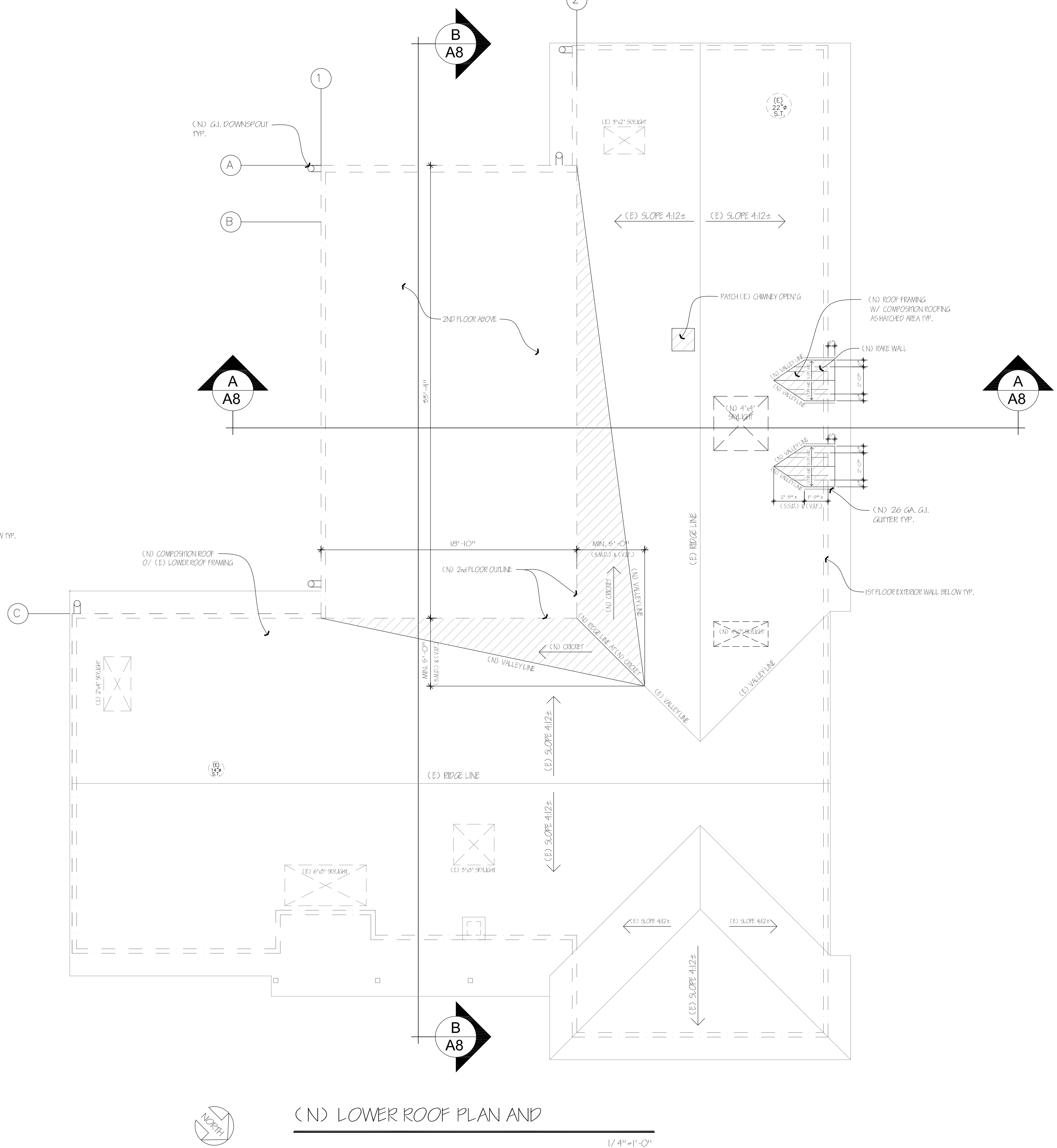
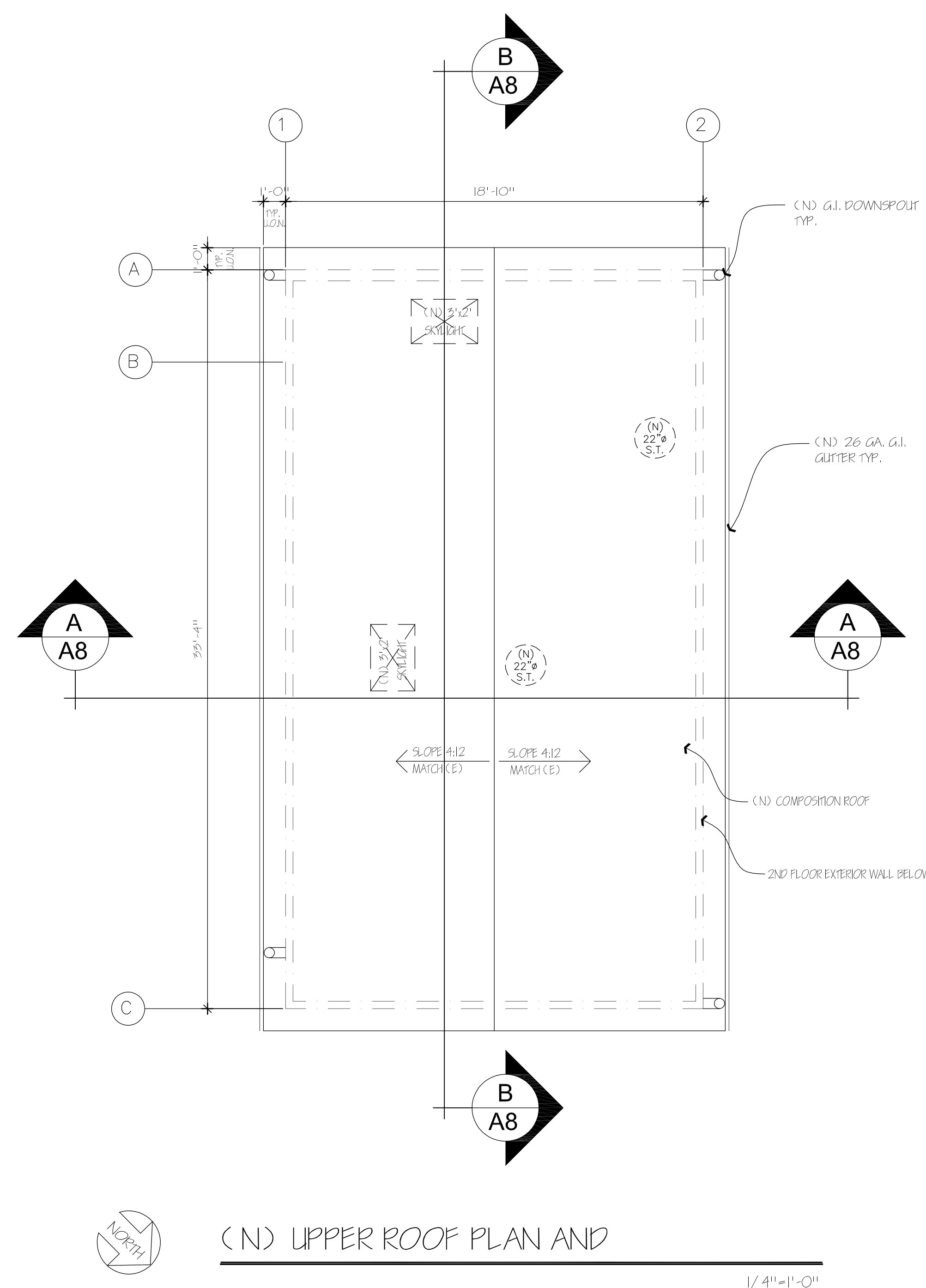
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ROOF PLAN NOTES

1. ARROW HEAD INDICATES ROOF SLOPE DIRECTION.
 (N) ROOF SLOPE MATCH (E) TYP. U.O.N.
2. ROOF TO BE CLASS "A" COMPOSITION ASPHALT SHINGLE AS SELECTED BY OWNER. INSTALLED PER MFR. REQ'YS.
 O/ (2) LAYERS OF 15# FELT O/ ROOF PLYWD
3. GUTTERS TO BE 5" 26 GA. G.I. FULL "OCREE" FASCIA GUTTER O/ 2X FASCIA BOARD W/ 3" X 2" G.I. DOWNSPOUTS
4. FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. WHERE FLASHING IS OF METAL, THE METAL SHALL BE CORROSION RESISTANT WITH A THICKNESS OF NOT LESS THAN NO. 26 GALVANIZED SHEET AND EXTEND MINIMUM 8" INTO ROOFING OR WALL, INSTALLED PER INDUSTRIAL STANDARD.
5. PROVIDE MIN. SLOPE 1/4" PER FEET AT CRICKET TYP. U.O.N.
6. THE FINISHED ROOFING MATERIAL SHALL BE INSTALLED AND COMPLETED PRIOR TO FRAME INSPECTION.



REVISIONS

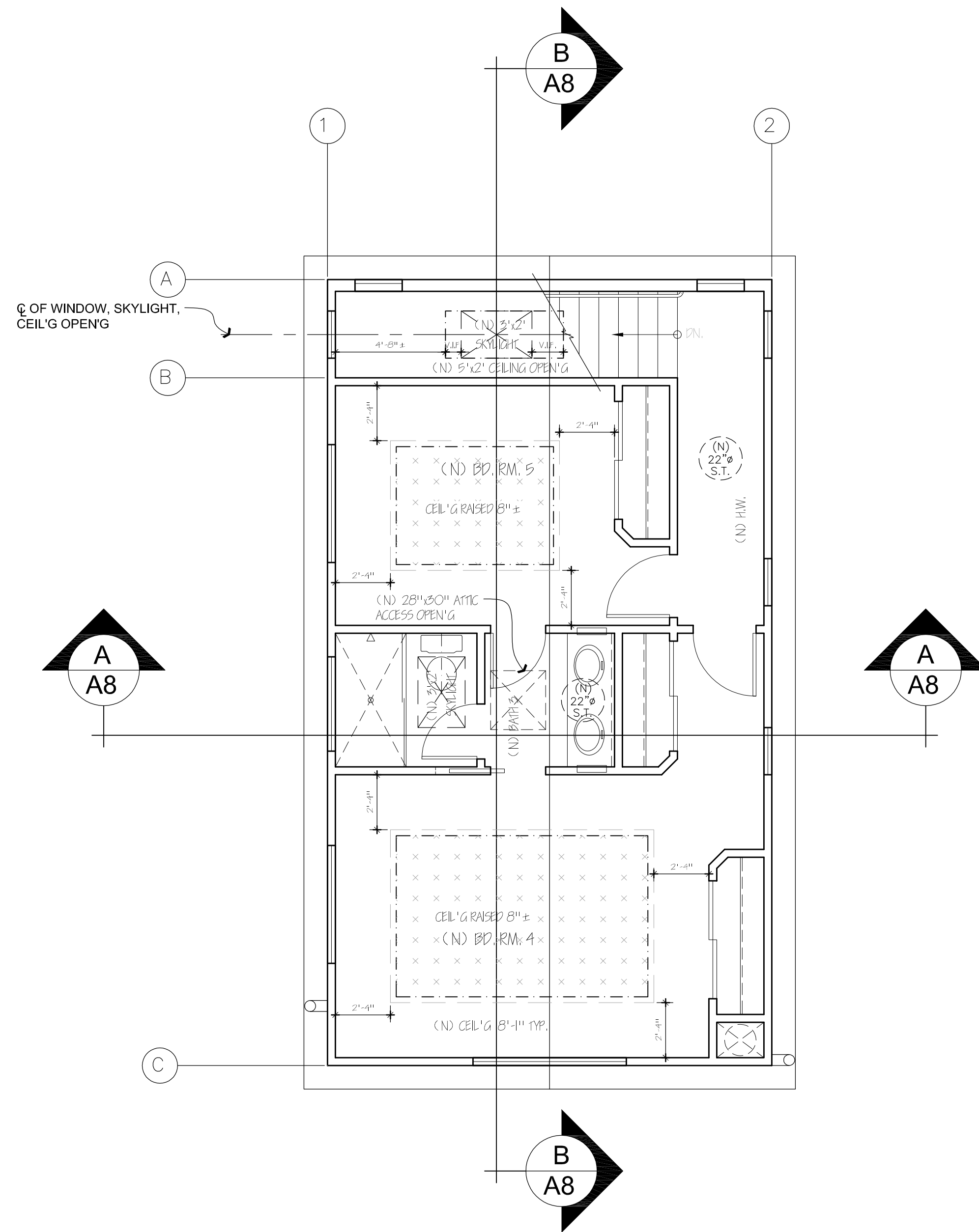
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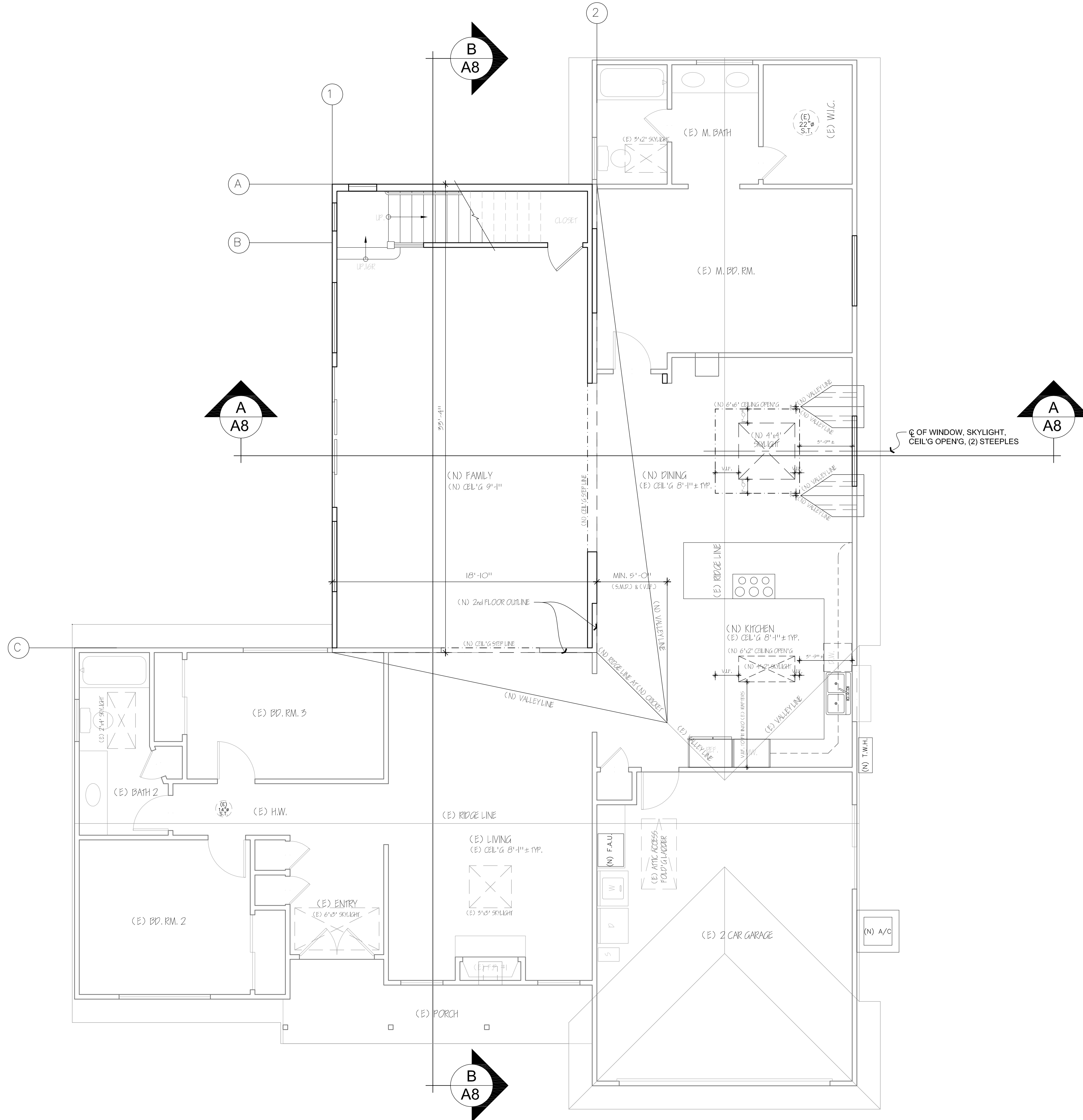


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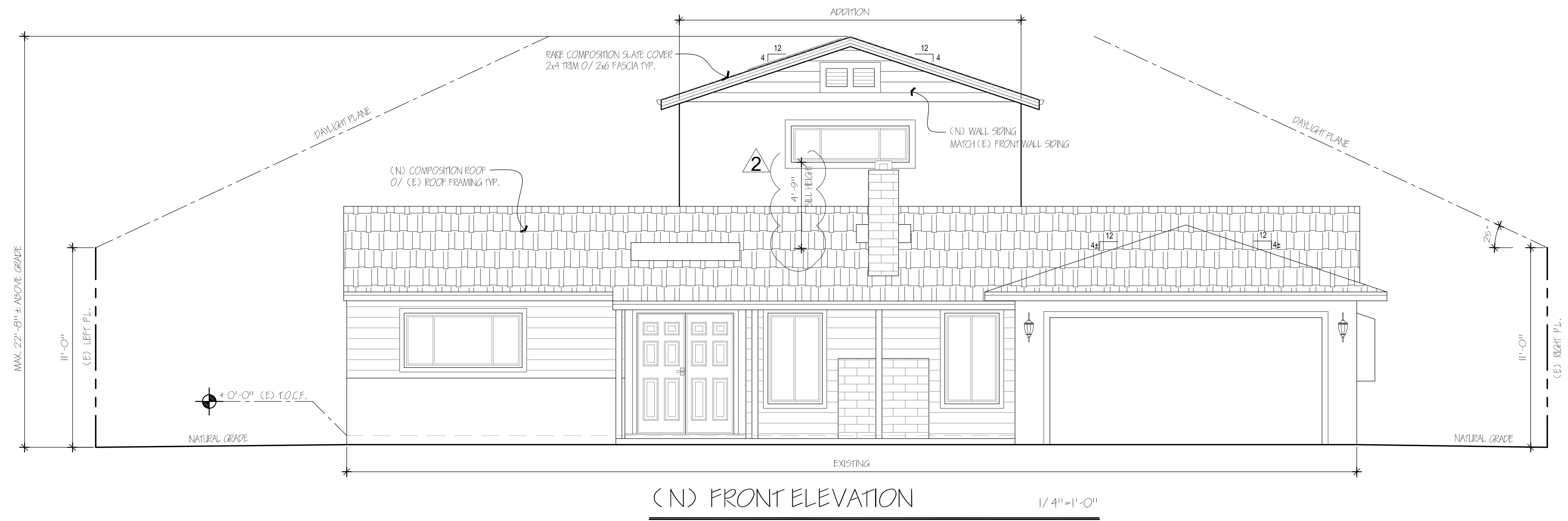


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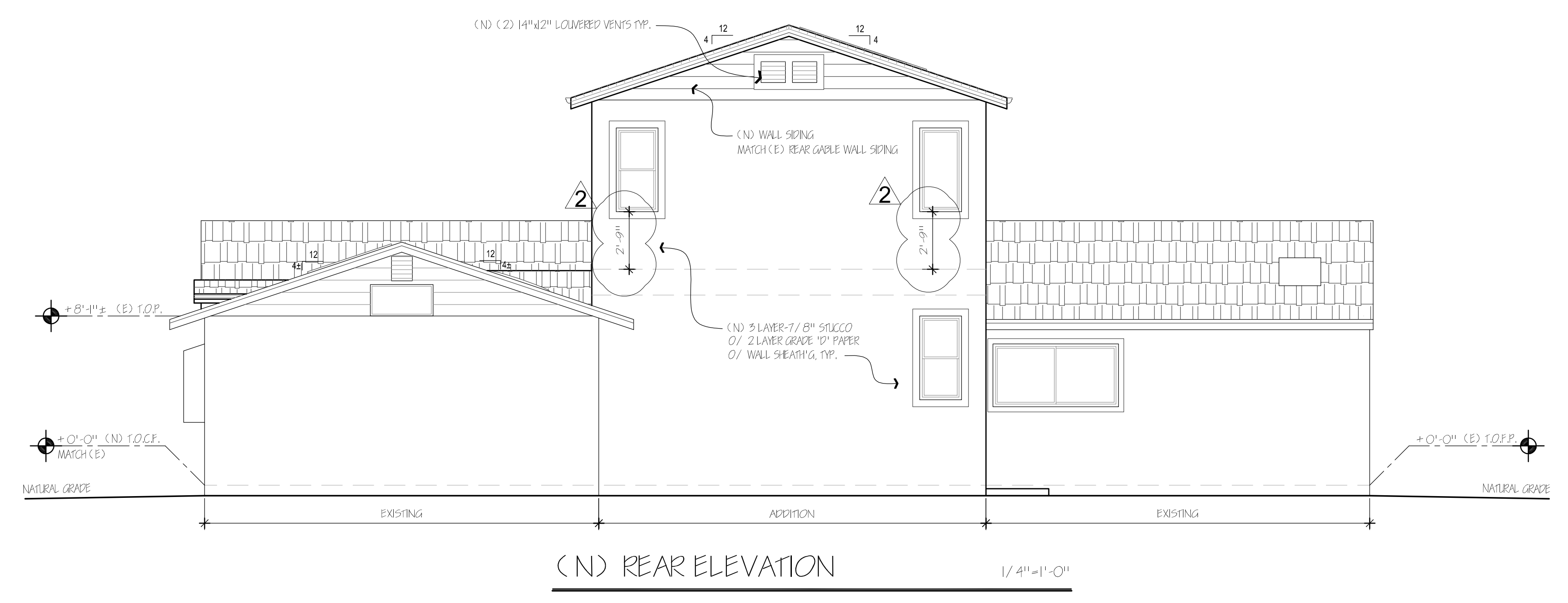


ELEVATION NOTES:

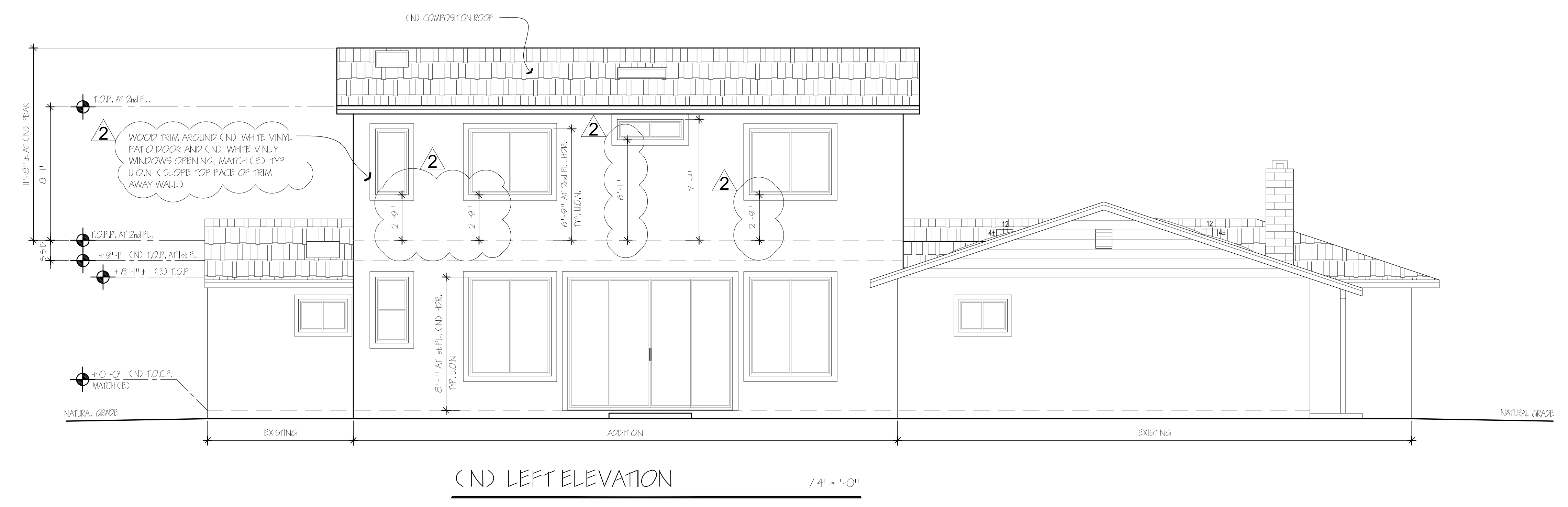
1. THE BUILDING ADDRESS NUMBERS SHALL HAVE MIN. 4" ON CONTRASTING BACKGROUND AND A MIN. STROKE WIDTH OF 1/2".
2. A MINIMUM 26 GA. CORROSION - RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3/2" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS WITH STUCCO. THE SCREED SHALL BE PLACED A MINIMUM 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
3. ALL SKYLIGHTS, SUNTUNNELS, WINDOWS AND DOORS WITH GLAZING ARE REQUIRED "U" VALUE PER I24 FORMS.
4. SEE 'ROOF PLAN NOTES' ON SHEET A5 FOR INFORMATION NOT SHOWN.
5. THE COLOR AND STYLE OF ALL EXTERIOR FINISHES (i.e. ROOFING, WALL, TRIM, GUTTER, LIGHT etc.) PER OWNER SELECTION. THEY SHALL BE SELECTED FROM COMPLIANCE WITH THE DESIGN CONCEPT.
6. ALL NEW VENT OPENINGS TO BE PROTECTED WITH HOT DIPPED GALVANIZED STEEL WIRE MESH WITH 1/4" MAXIMUM OPENINGS TYP.



(N) FRONT ELEVATION 1/4"=1'-0"



(N) REAR ELEVATION 1/4"=1'-0"



(N) LEFT ELEVATION 1/4"=1'-0"

REVISIONS

1	PLANNING REV.	5-17-2018
2	PLANNING REV.	7-2-2018

SUPING SHI
P.O. Box 1107
Alviso, CA 95002
Tel: 408-717-0809
E-Mail: sshisec@yahoo.com

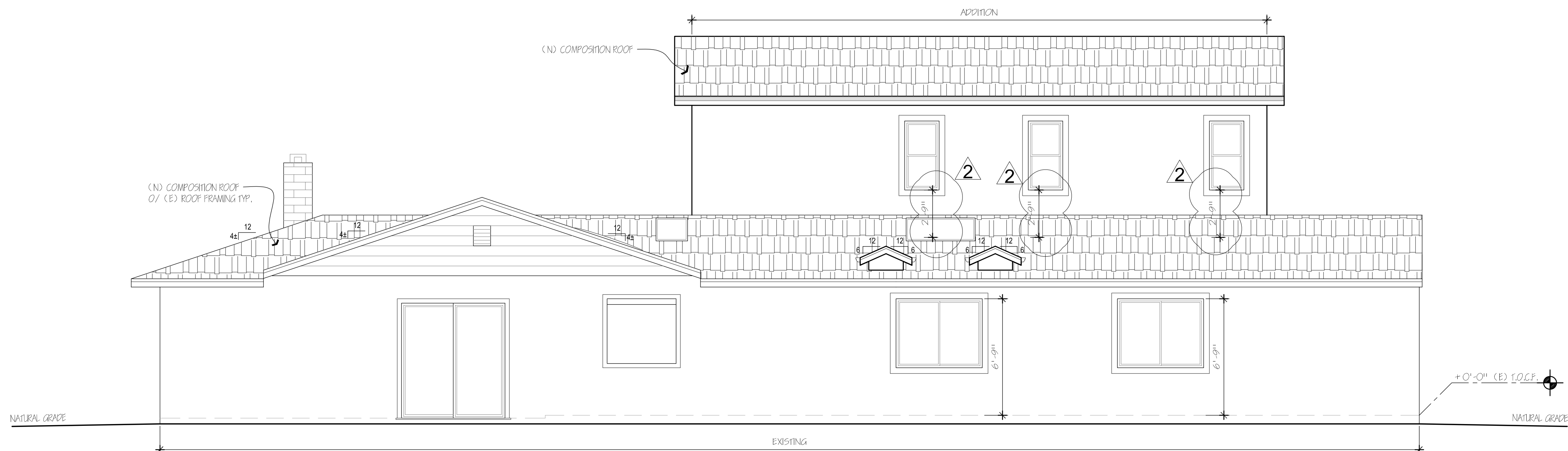


RESIDENTIAL ADDITION & REMODEL
FOR: MR. AND MRS. NARASIMHAN
1540 NESTON WAY
LOS ALTOS, CA 94024

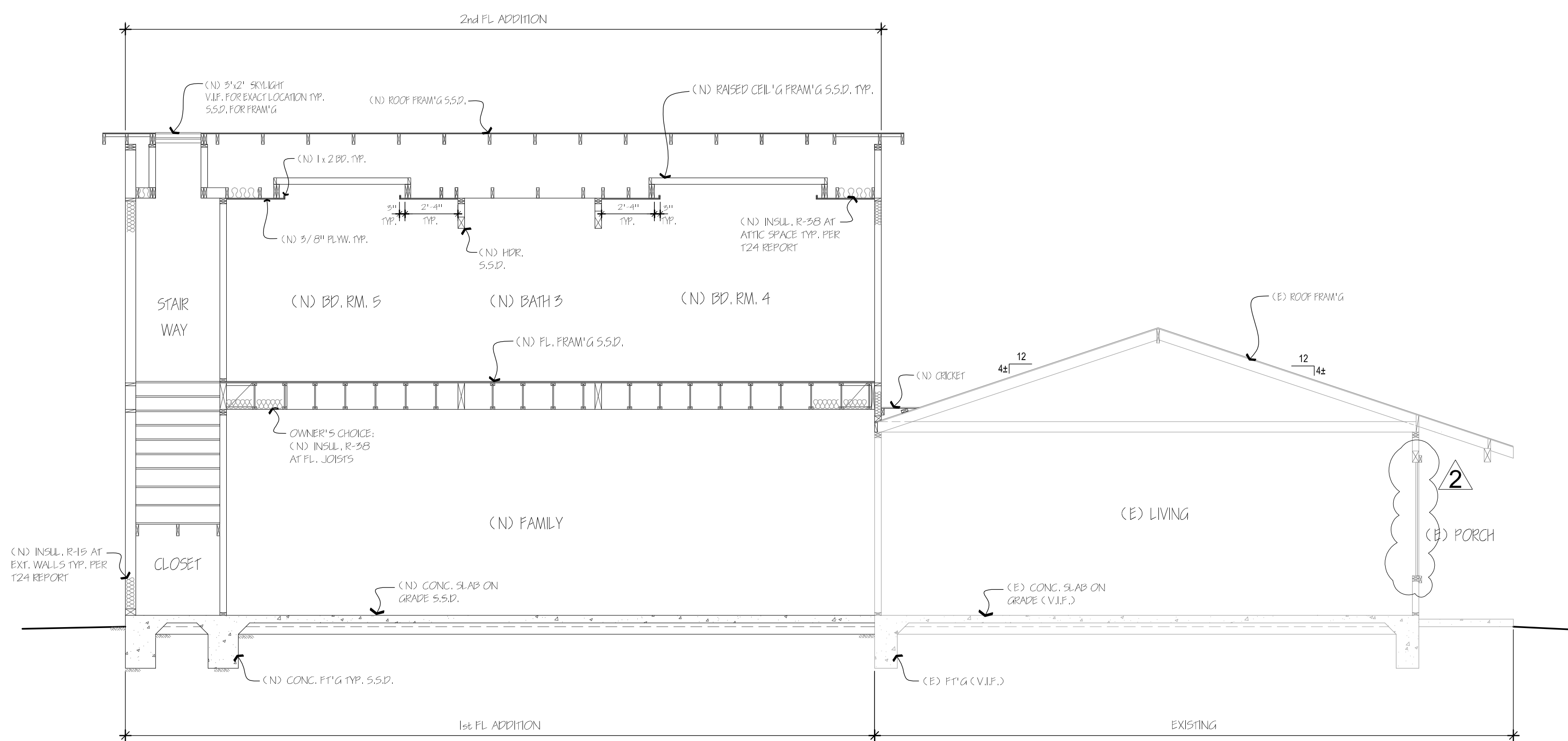
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REVISIONS

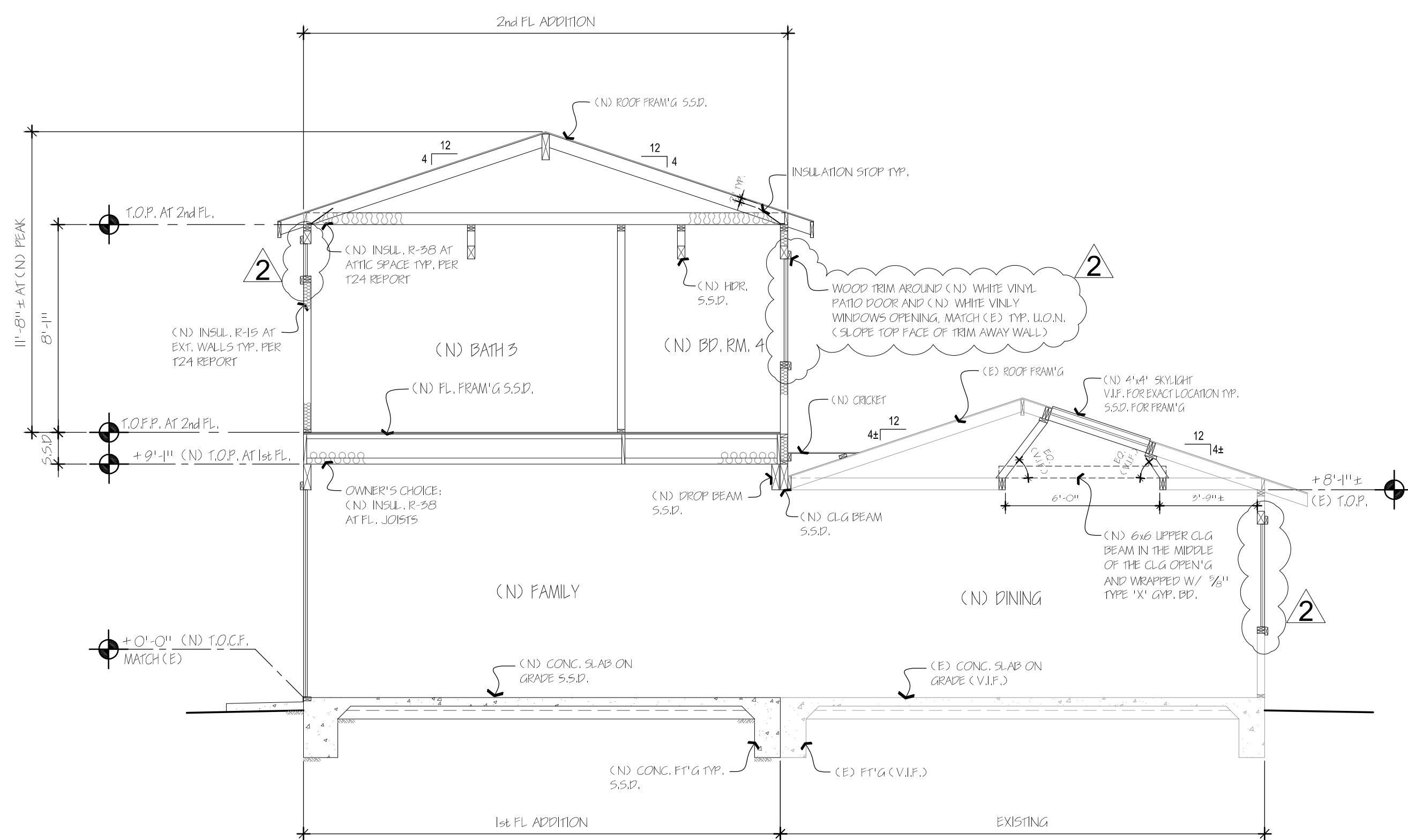
- 1 PLANNING REV. 5-17-2018
- 2 PLANNING REV. 7-2-2018



(N) RIGHT ELEVATION 1/4"=1'-0"



SECTION B-B 1/4"=1'-0"



SECTION A-A 1/4"=1'-0"

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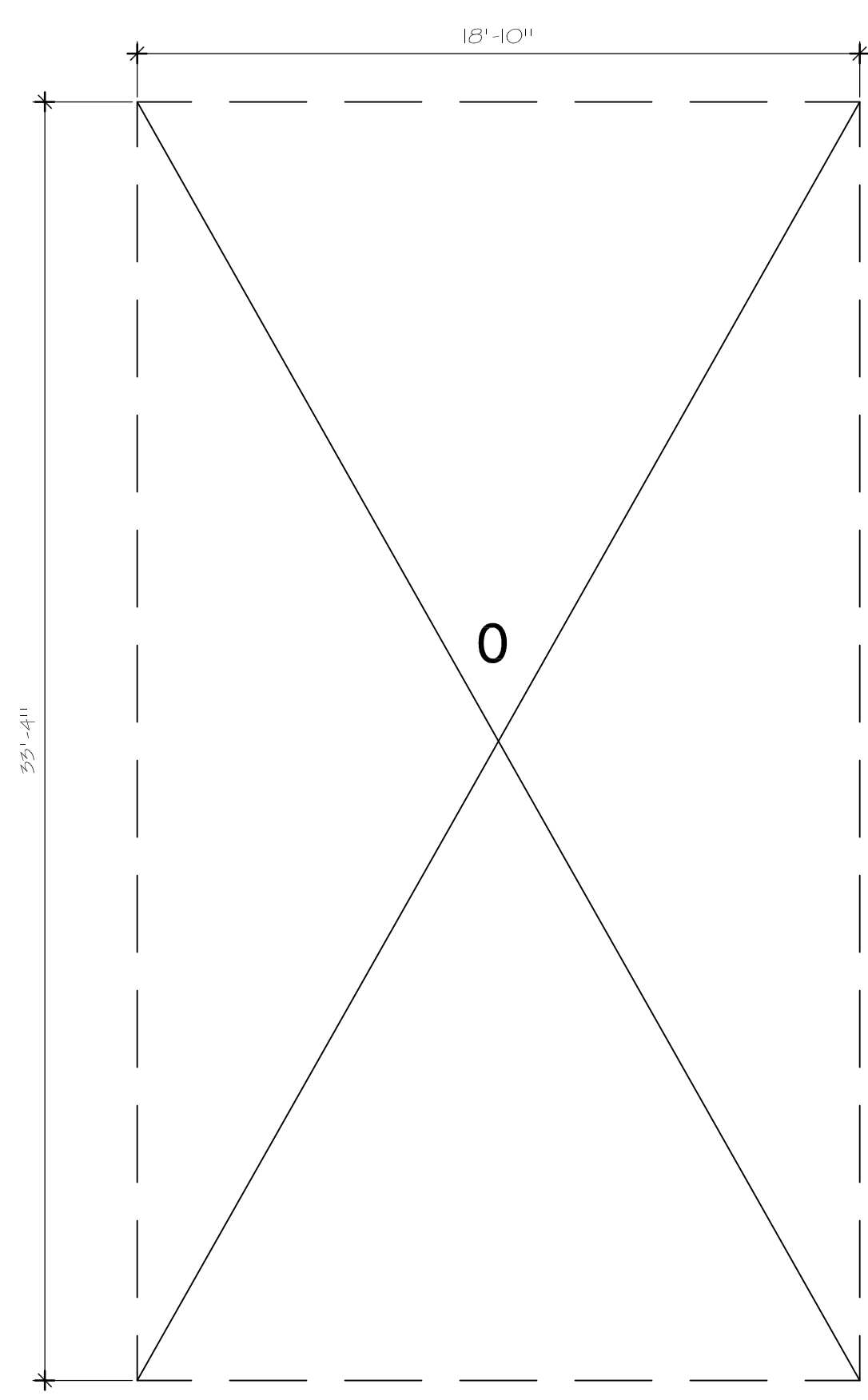
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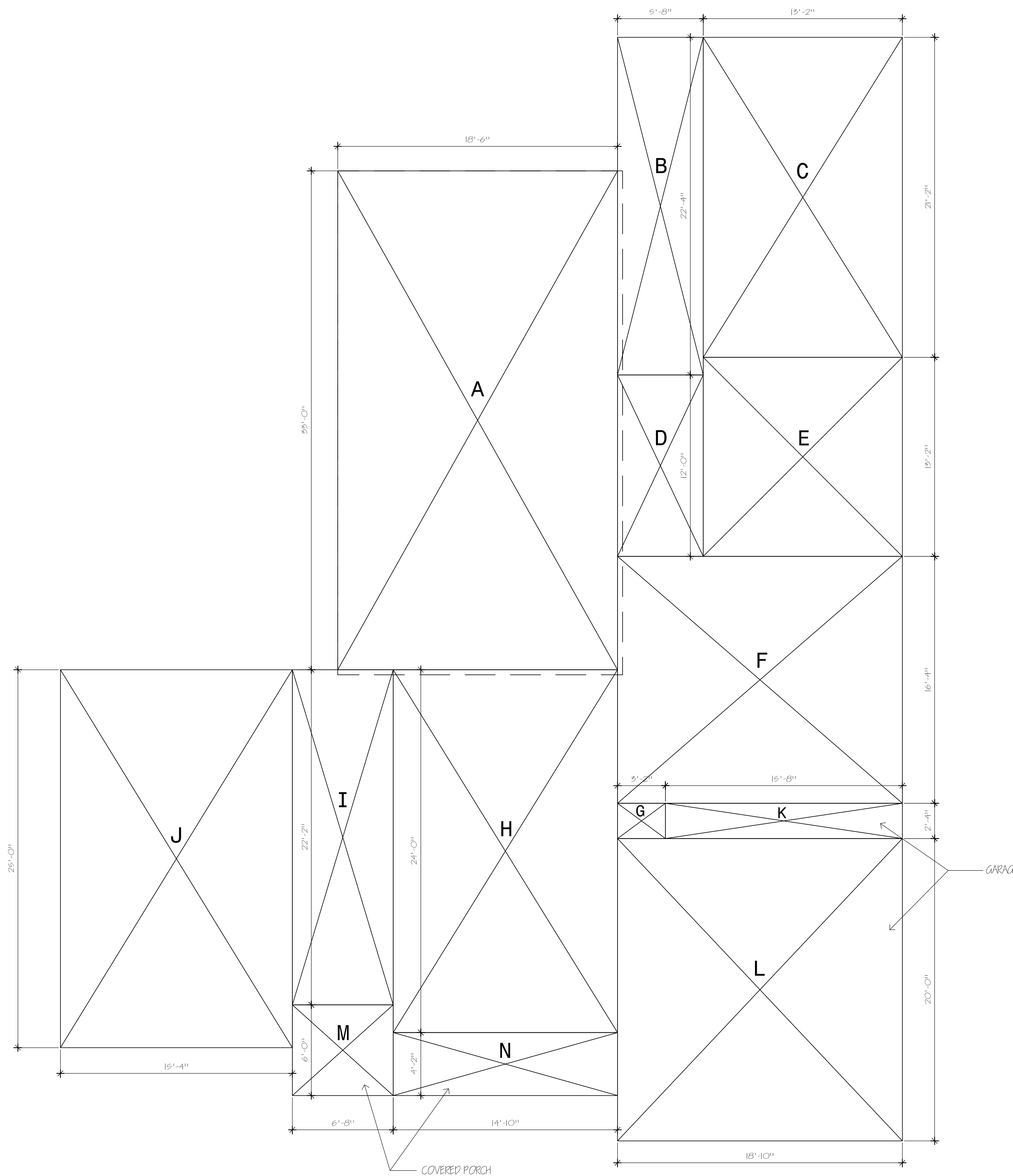


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(N) 2nd FLOOR AREA DIAGRAM
 1/4"=1'-0"



(N) 1st FLOOR AREA DIAGRAM
 1/4"=1'-0"

FLOOR AREA AND
 COVERAGE CALCULATIONS:

SECTION	DIMENSIONS	AREA
A	18'6" x 33'	610.5 S.F. ±
B	5'8" x 22'4"	126.6 S.F. ±
C	13'2" x 21'2"	278.7 S.F. ±
D	5'8" x 12'	68 S.F. ±
E	13'2" x 13'2"	173.4 S.F. ±
F	18'10" x 16'4"	307.6 S.F. ±
G	3'2" x 2'4"	7.4 S.F. ±
H	14'10" x 24'	356 S.F. ±
I	6'8" x 22'2"	147.8 S.F. ±
J	15'4" x 25'	383.3 S.F. ±
K	15'8" x 2'4"	36.6 S.F. ±
L	18'10" x 20'	376.7 S.F. ±
1st FLOOR SUBTOTAL =		2,872.6 S.F. ±
O	18'10" x 33'4"	627.8 S.F. ±
2nd FLOOR SUBTOTAL =		627.8 S.F. ±
TOTAL FLOOR AREA =		3,500 S.F. ±

M	6'8" x 6'	40 S.F. ±
N	14'10" x 4'2"	61.8 S.F. ±
1st FLOOR SUBTOTAL =		2,872.6 S.F. ±
TOTAL LOT COVERAGE =		2,974 S.F. ±

ROOF FRAMING AREA CALCULATIONS:

(N) ROOF STRUCTURE AREA:

- AREA A = 628 S.F. ±
- AREA B = 47 S.F. ±
- AREA C = 83 S.F. ±
- AREA D = 10 S.F. ±
- AREA E = 10 S.F. ±

TOTAL (N) ROOF STRUCTURE AREA = 778 S.F. ±

(E) ROOF STRUCTURE TO BE REMOVED AREA:

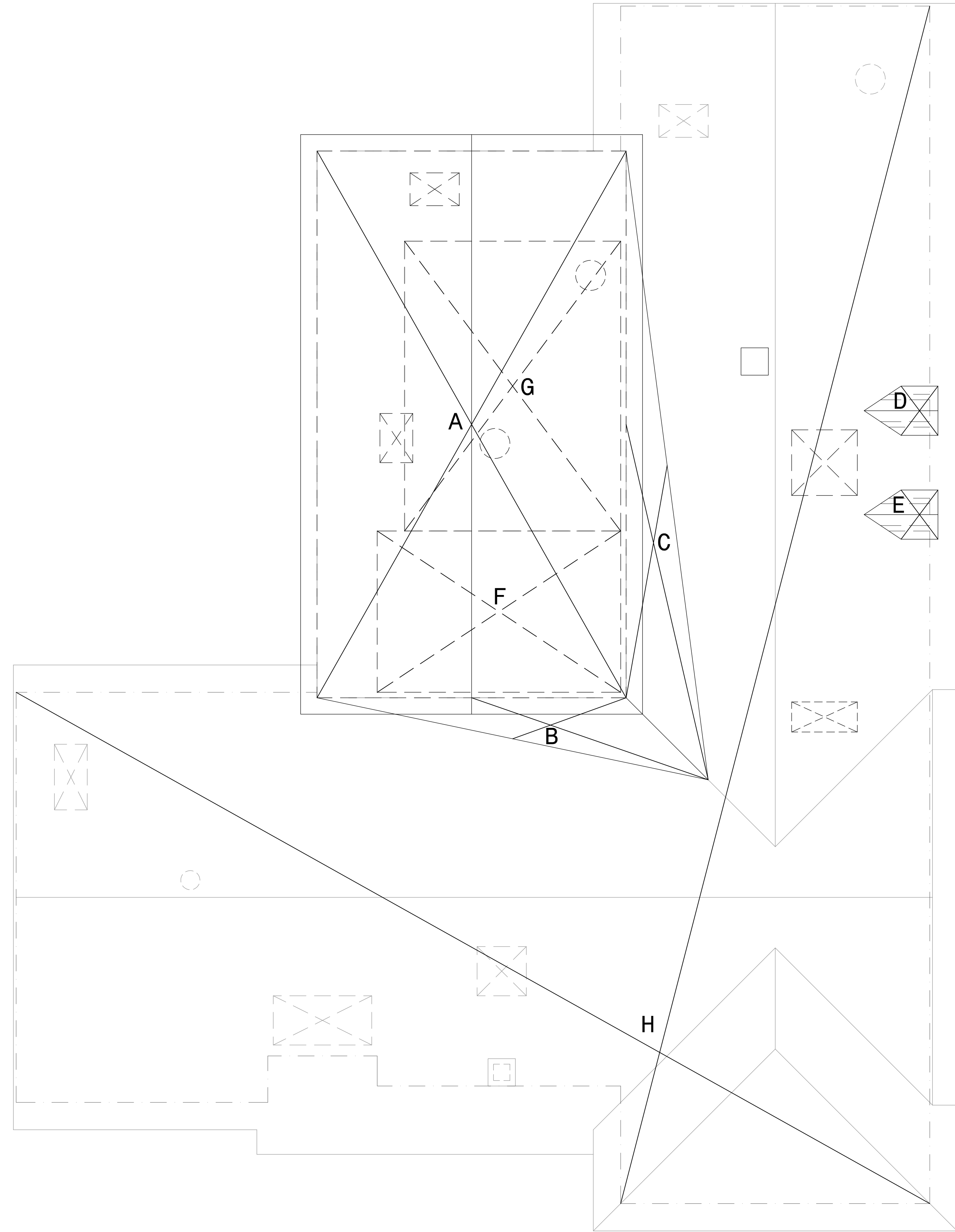
- AREA F = 146 S.F. ±
- AREA G = 233 S.F. ±

TOTAL REMOVED (E) ROOF STRUCTURE AREA = 379 S.F. ±

(E) ROOF STRUCTURE TO BE REMAINED AREA:

- AREA H = 2364 S.F. ±

TOTAL REMAINED (E) ROOF STRUCTURE AREA = 2364 S.F. ±



(N) LOWER & UPPER ROOF AREA DIAGRAM

1/4" = 1'-0"

REVISIONS

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A10

OF SHEETS