

BODIS RESIDENCE

REVISIONS	BY
6.25.18	MM
7.05.18	MM
8.20.18	MM

APPLICABLE CODES

ALL CONSTRUCTION AND INSTALLATIONS SHALL CONFORM TO THE :

- 2017 CALIFORNIA BUILDING CODE
- 2017 CALIFORNIA RESIDENTIAL CODE
- 2017 CALIFORNIA PLUMBING CODE
- 2017 CALIFORNIA MECHANICAL CODE
- 2017 CALIFORNIA ELECTRICAL CODE
- 2017 CALIFORNIA FIRE CODE
- 2017 CALIFORNIA ENERGY CODE
- 2017 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2017 BUILDING ENERGY EFFICIENCY STANDARDS

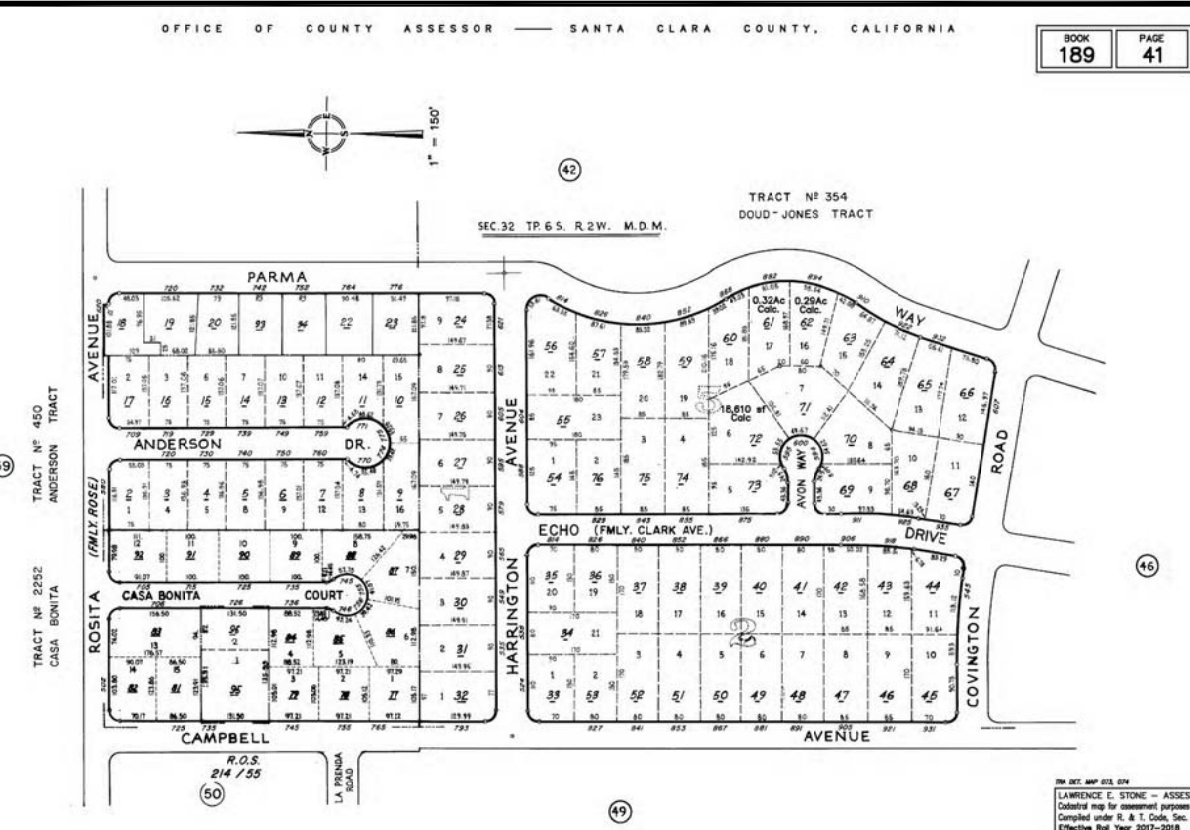
TOGETHER WITH ALL OTHER APPLICABLE STATE, FEDERAL & ALL LOCAL ORDINANCES

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A NEW TWO STORY SINGLE FAMILY RESIDENCE WITH AN ATTACHED TWO-CAR GARAGE AND A BASEMENT.

THE EXISTING HOUSE AND ATTACHED GARAGE WILL BE DEMOLISHED.

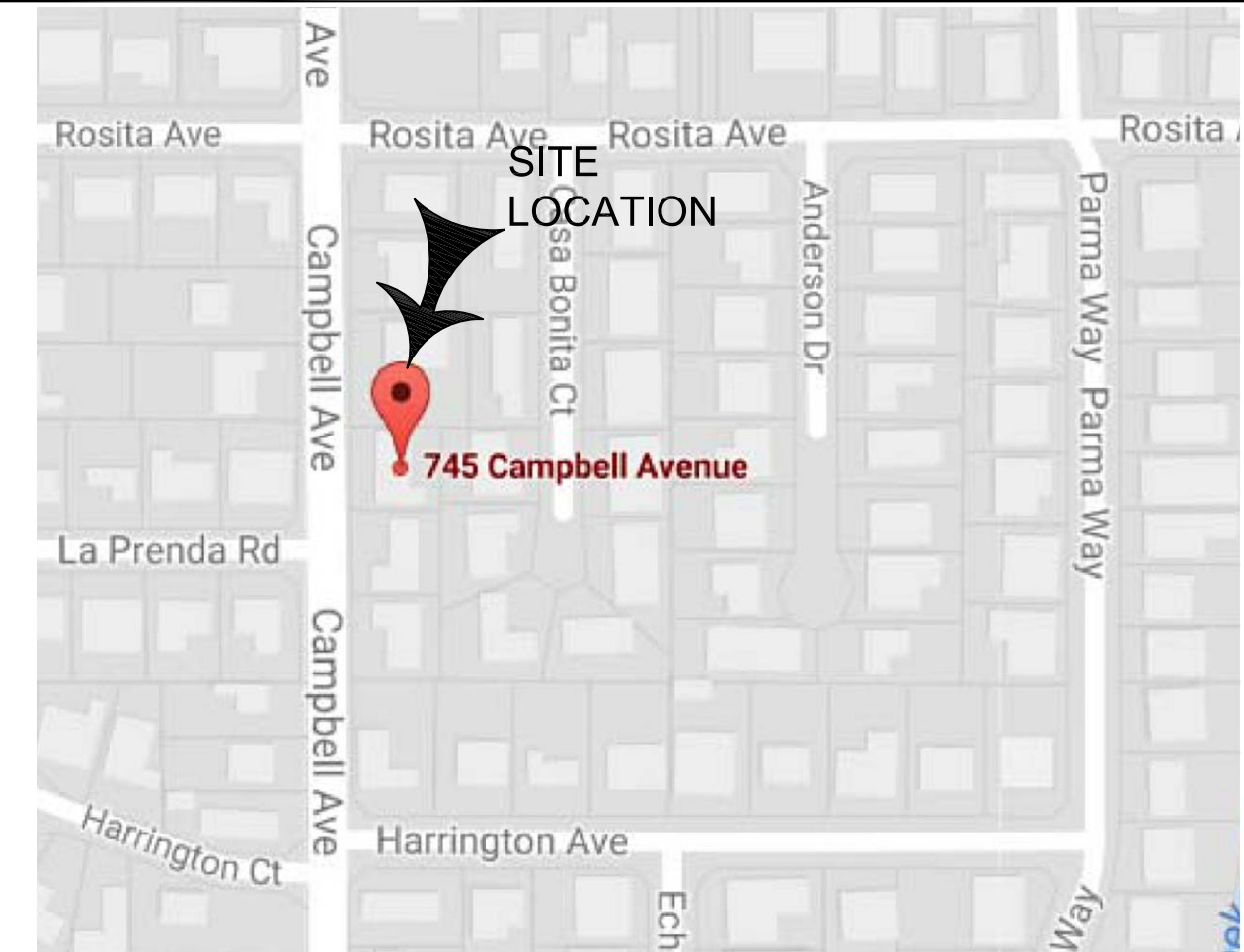
PARCEL MAP



SYMBOLS

	ELEVATION MARK		DETAIL REFERENCE
	INTERIOR ELEVATION REFERENCE		GLAZING REFERENCE
	EXTERIOR ELEVATION REFERENCE		DOOR REFERENCE
	SECTION REFERENCE		WALL TYPE REFERENCE
			ALIGN

VICINITY MAP



PROPOSED RENDERING



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- C-1 GRADING & DRAINAGE PLAN & EROSION CONTROL PLAN
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- A5.1 3D PHOTO-REALISTIC RENDERINGS

PROJECT INFO

APN NO.	189-41-079	FLOOR AREA SUMMARY	
LOT AREA	10,209 SF	1ST FLOOR AREA	1715.82 SF
OCCUPANCY TYPE	RESIDENTIAL	2ND FLOOR AREA	1306.26 SF
CONSTRUCTION TYPE	V-B	GARAGE	521.17 SF
NO. OF STORIES	3	BASEMENT	1048.49 SF
SPRINKLER - UNDER DEFERRED SUBMITTAL		(not counted towards FAR)	
		TOTAL FLOOR AREA	3,543.25 SF
		ALLOWABLE FLOOR AREA	3,573.15 SF
SETBACKS			
	REQUIRED	PROPOSED	
FRONT	25'	25'-0"	
REAR	25'	26'-9"	
RIGHT SIDE	10'	10'-0"	
LEFT SIDE	10'	11'-4"	
LOT COVERAGE SUMMARY			
		1ST FLOOR INCLUDING GARAGE	2236.99 SF
		TOTAL COVERED PORCHES	487.29 SF
ALLOWABLE ADDITIONAL COVERED			
		TOTAL LOT COVERAGE	2,724.28 SF
		ALLOWABLE LOT COVERAGE (30% OF LOT SIZE)	3,062.70 SF

PROJECT INFO

ZONING COMPLIANCE			
	Existing	Proposed	Allowed/Required
LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2643.13 square feet (25.8 %)	2724.28 square feet (26.6 %)	3,062.70 square feet (30 %)
FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	2643.13 square feet (25.8 %)	3543.25 square feet (34.7 %)	3,573.15 square feet (35 %)
SETBACKS:			
Front	22'-9" feet	25 feet	25 feet
Rear	25'-9" feet	26'-9" feet	25 feet
Right side (1 st /2 nd)	9'-10" feet/___feet	10'-0" feet/___feet	10 feet/___feet
Left side (1 st /2 nd)	10'-3" feet/___feet	11'-4" feet/___feet	10 feet/___feet
HEIGHT:	17'-0" feet	23'-0" feet	27'-0" feet

SQUARE FOOTAGE BREAKDOWN

	Existing	Change in	Total Proposed
HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	2145 square feet	+ 1925.57 square feet	4,070.57 square feet
NON- HABITABLE AREA: <i>Does not include covered porches or open structures</i>	498 square feet	+ 23.17 square feet	521.17 square feet

LOT CALCULATIONS

NET LOT AREA:	10,209 square feet
FRONT YARD HARDSCAPE AREA: 2434.30 sq. ft. <i>Hardscape area in the front yard setback shall not exceed 50%</i>	923.34 square feet (37.9%)
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 5,121 sq ft
	Existing softscape (undisturbed) area: 5,088 sq ft
	New softscape area: 0 sq ft
	Sum of all three should equal the site's net lot area: 10,209

PROJECT DIRECTORY

ARCHITECT	OWNER	STRUCTURAL ENGINEER
MAYDAN ARCHITECTS P.O. BOX 60864 PALO ALTO, CA 94306 TEL: 650.303.5977 FAX: 650.472.3795 mary@maydanarchitects.com CONTACT: MARY MAYDAN	ATTILA BODIS 745 CAMPBELL AVE. LOS ALTOS, CA 94024 CELL: 408.784.6101 CONTACT: ATTILA BODIS ABODIS@GMAIL.COM	SAABCO CONSULTING, INC. 1263 EL CAMINO REAL, SUITE "1" MENLO PARK, CA 94025 TEL: 650-329-9219 FAX: 650-329-1943 CONTACT: MOHAMMAD SABAR MOHAMMAD@SAABCO.COM
TOPO SURVEYOR	TITLE 24	
LEA & BRAZE ENGINEERS, INC 2495 INDUSTRIAL PARKWAY W. HAYWARD, CA 94545 TEL: 510-887 4086 FAX: 510-887 3019 CONTACT: ALEX ABAYA	KATERINA DENEK HERS RATER CC2005682, CEPE GREEN POINT RATER TEL: 650.759.7709 FAX: 650.685.5502 WWW.BAYAREAHERS.COM	

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Maydan Architects
P.O. Box 60864, Palo Alto 94306
Tel: 650.303.5977, Fax: 650.472.3795
mary@maydanarchitects.com



Bodis Residence
745 Campbell Ave. Los Altos, CA 94024

A.P.N. 189-41-079	
DRAWN	JD
CHECKED	MM
DATE	7.05.18
SCALE	AS NOTED
JOB NAME	BODIS
SHEET	
A0.1	

REVISIONS	BY
6.25.18	
PLANNING DEPT.	MM
7.05.18	
PLANNING DEPT.	MM
8.20.18	
PLANNING DEPT.	MM

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PROPOSED STREETScape



735 CAMPBELL AVE

745 CAMPBELL AVE

755 CAMPBELL AVE



745 CAMPBELL AVE - W/O LANDSCAPING

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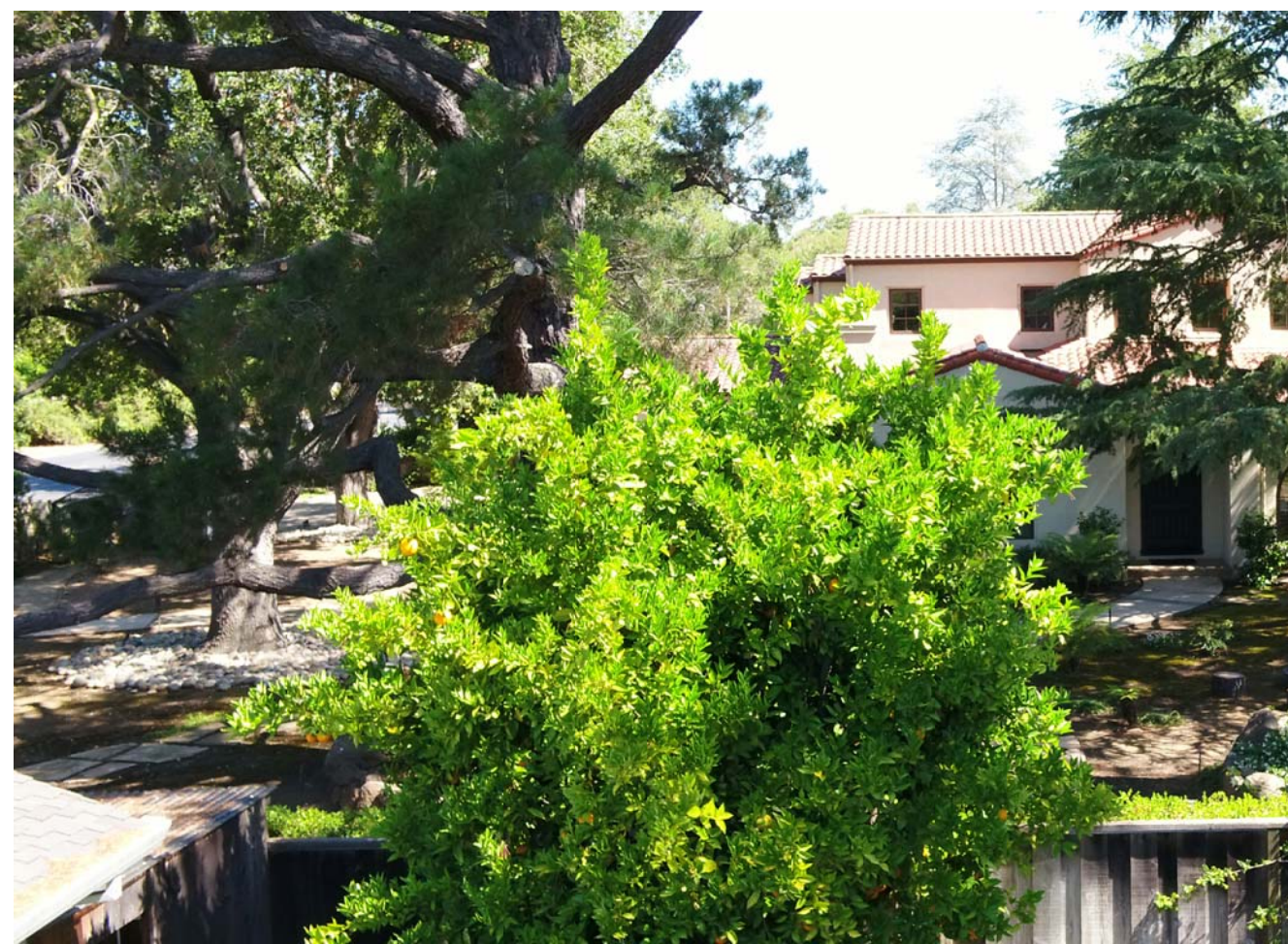


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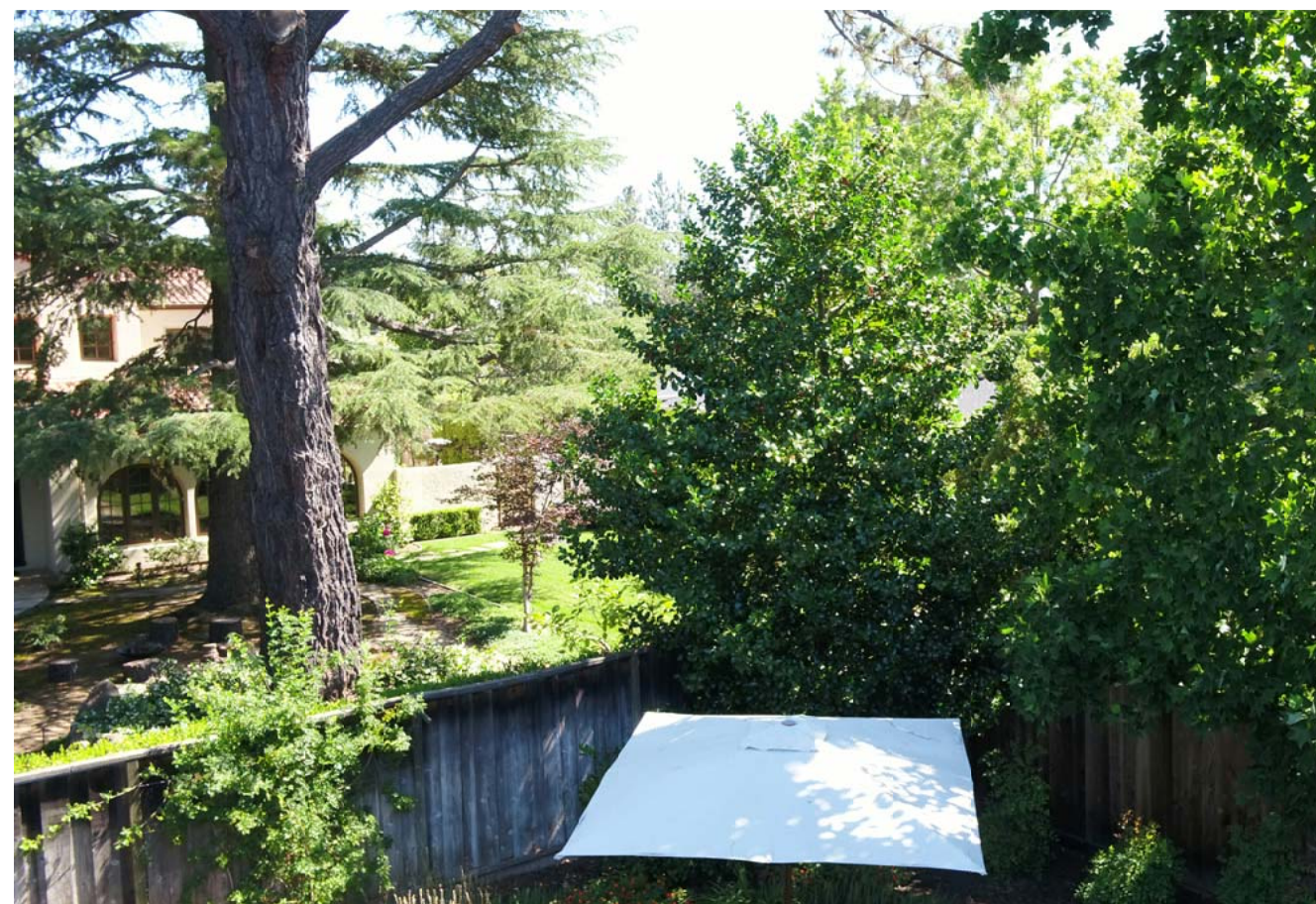
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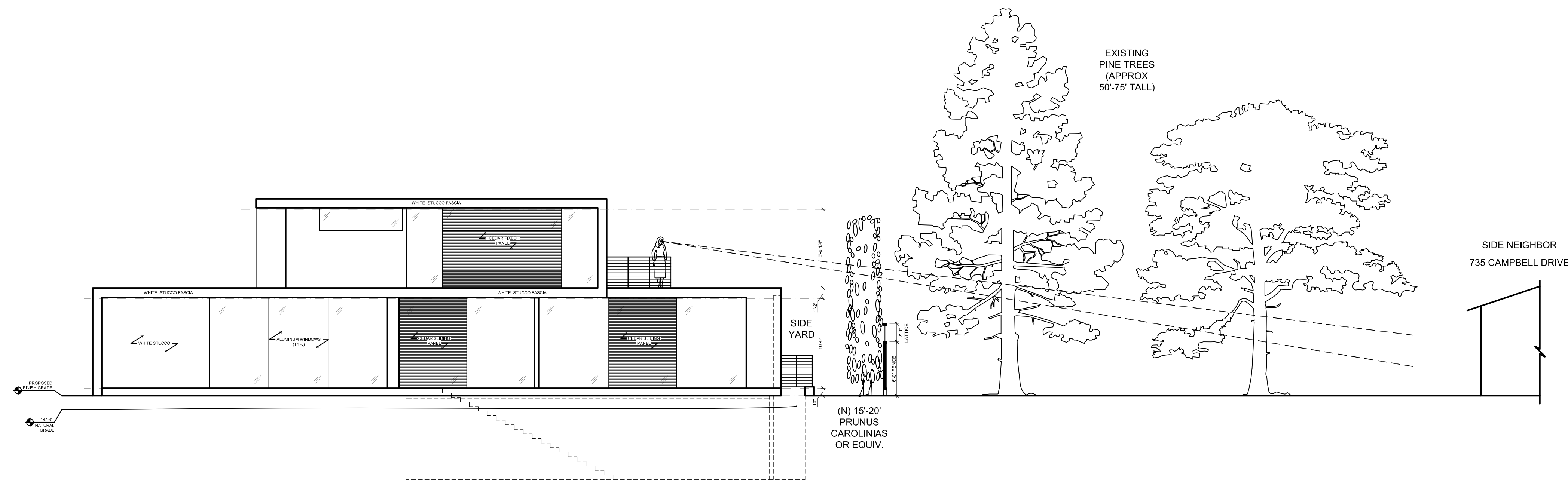
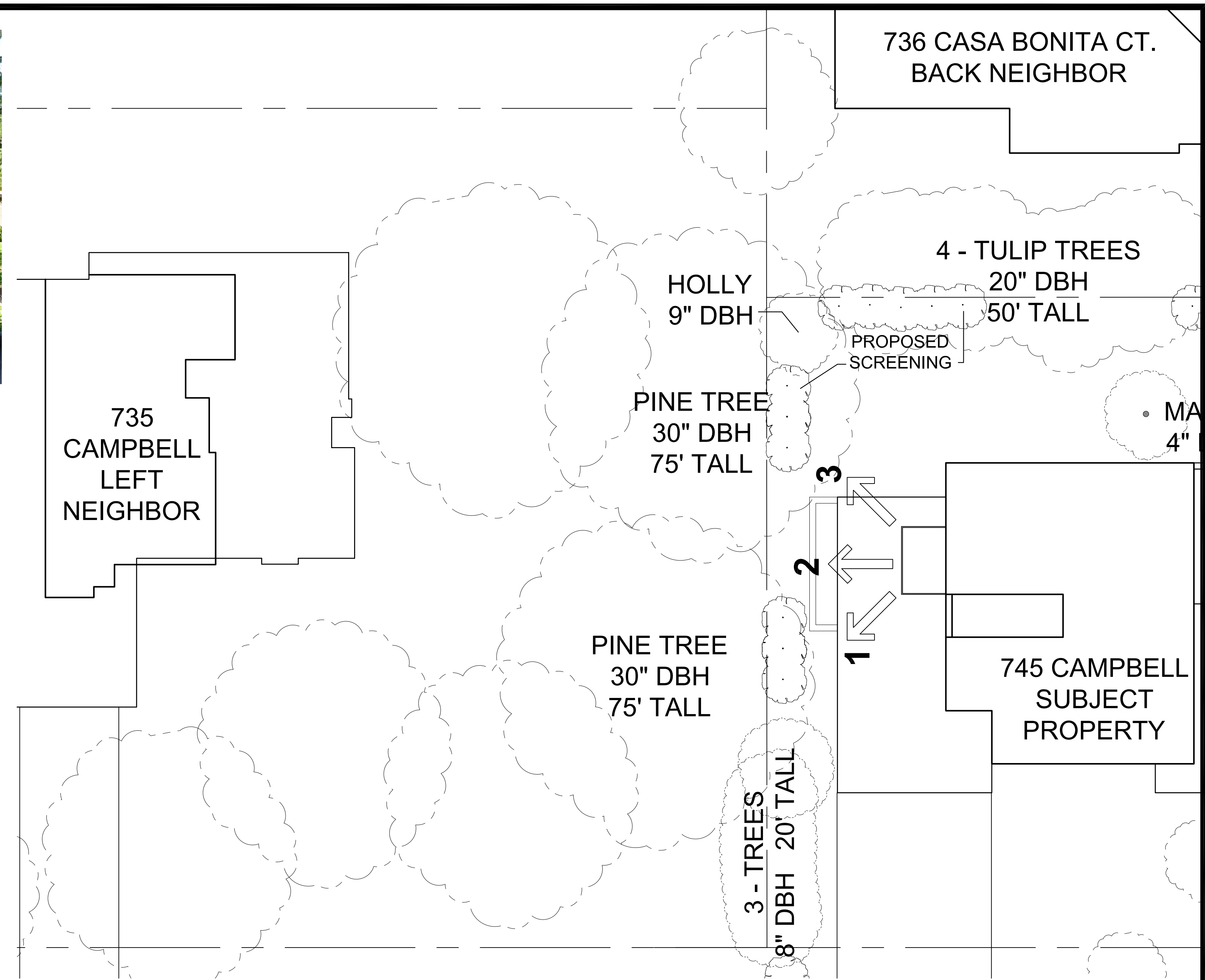
1



2



3



1 SITE LINE STUDY - LEFT SIDE DECK
A3.2 1/8"=1'-0"

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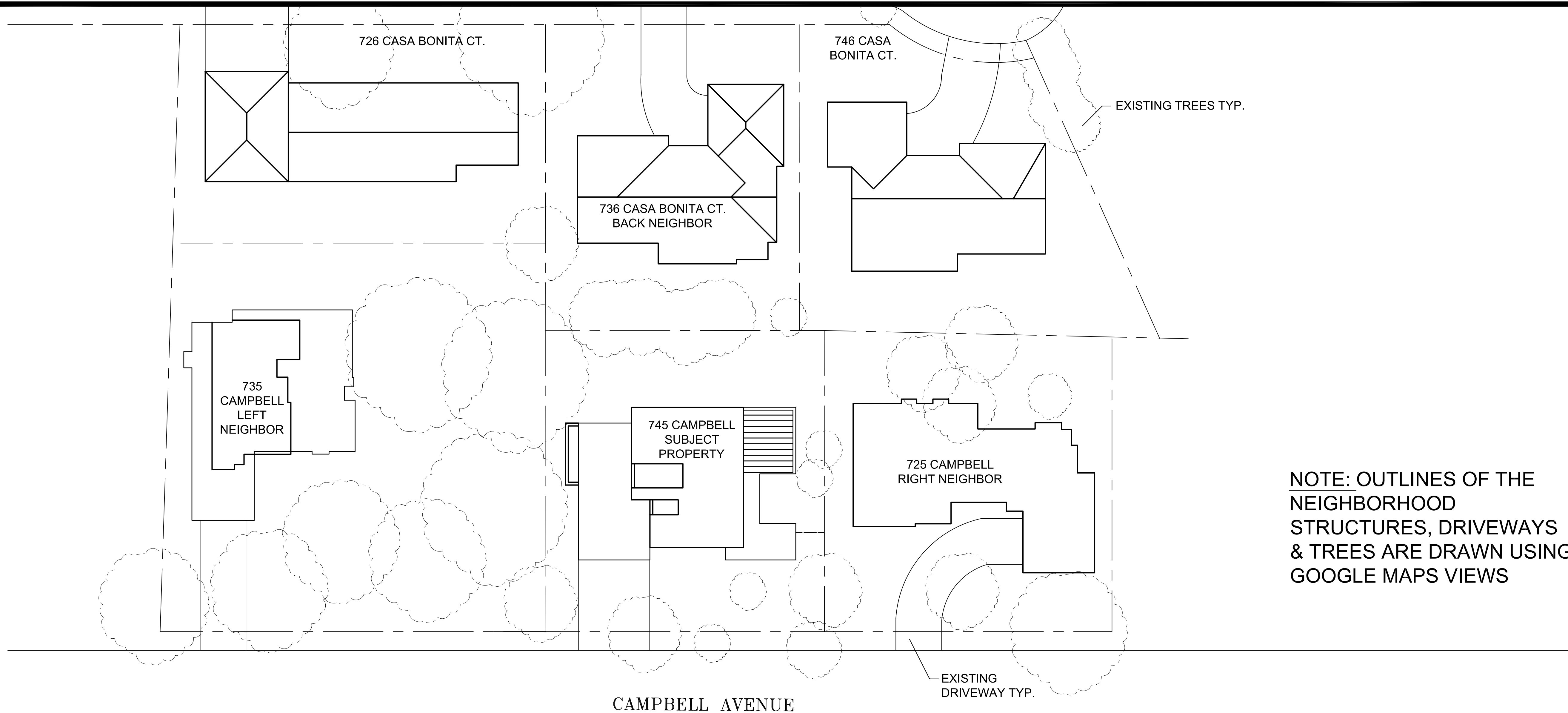
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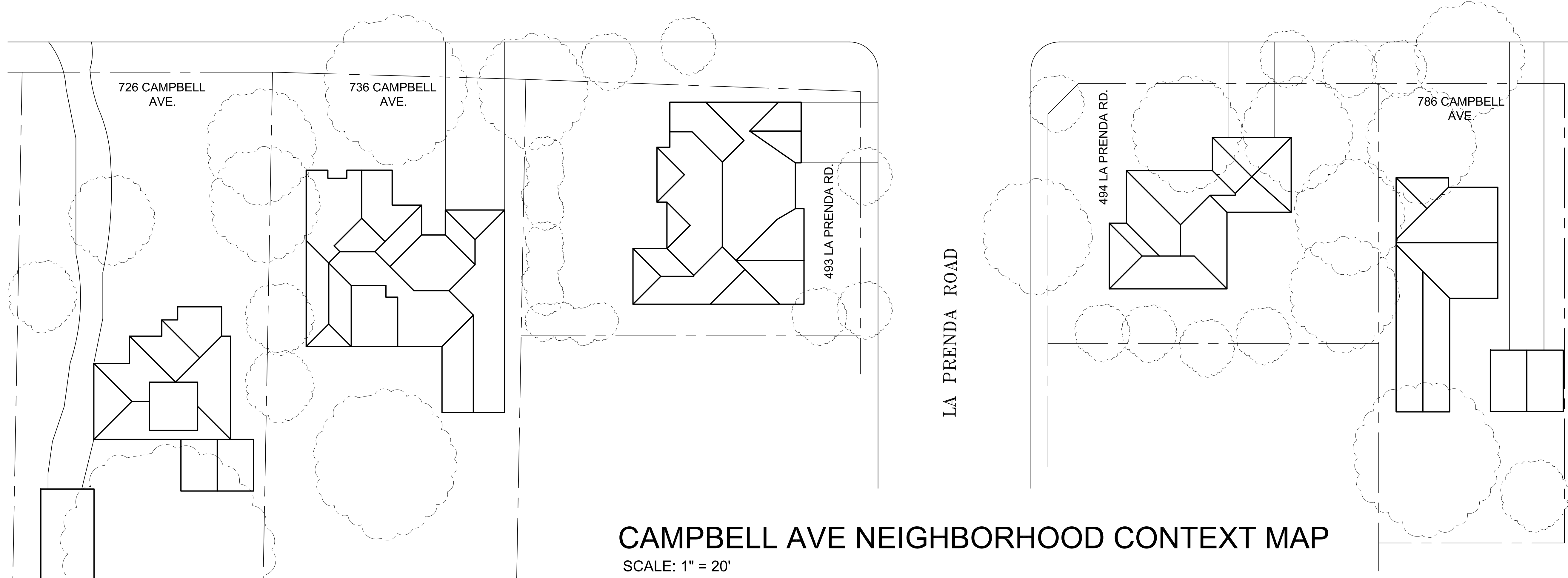
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A0.4



NOTE: OUTLINES OF THE NEIGHBORHOOD STRUCTURES, DRIVEWAYS & TREES ARE DRAWN USING GOOGLE MAPS VIEWS



CAMPBELL AVE NEIGHBORHOOD CONTEXT MAP
SCALE: 1" = 20'

REVISIONS	BY
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8.20.18	MM

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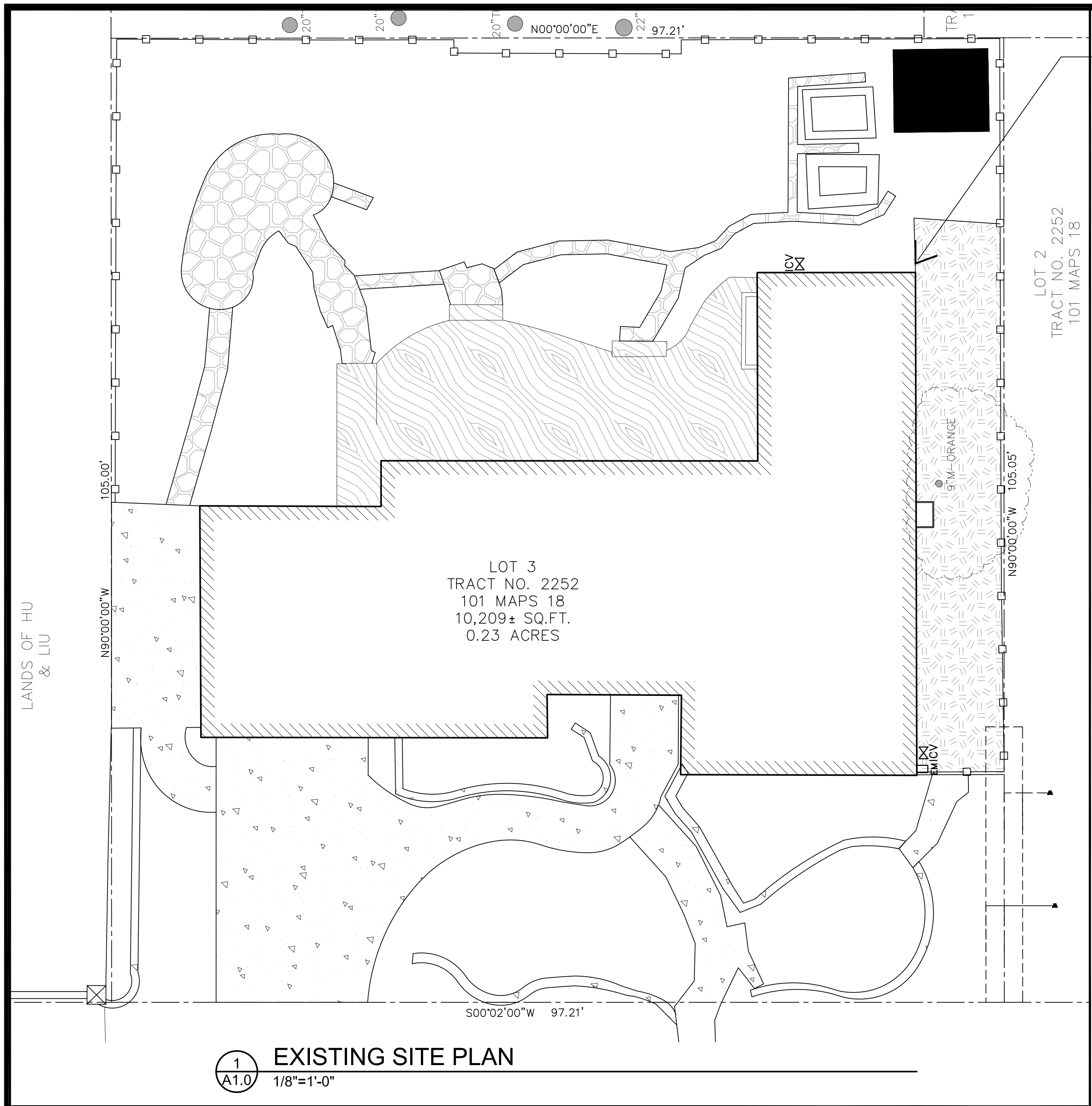
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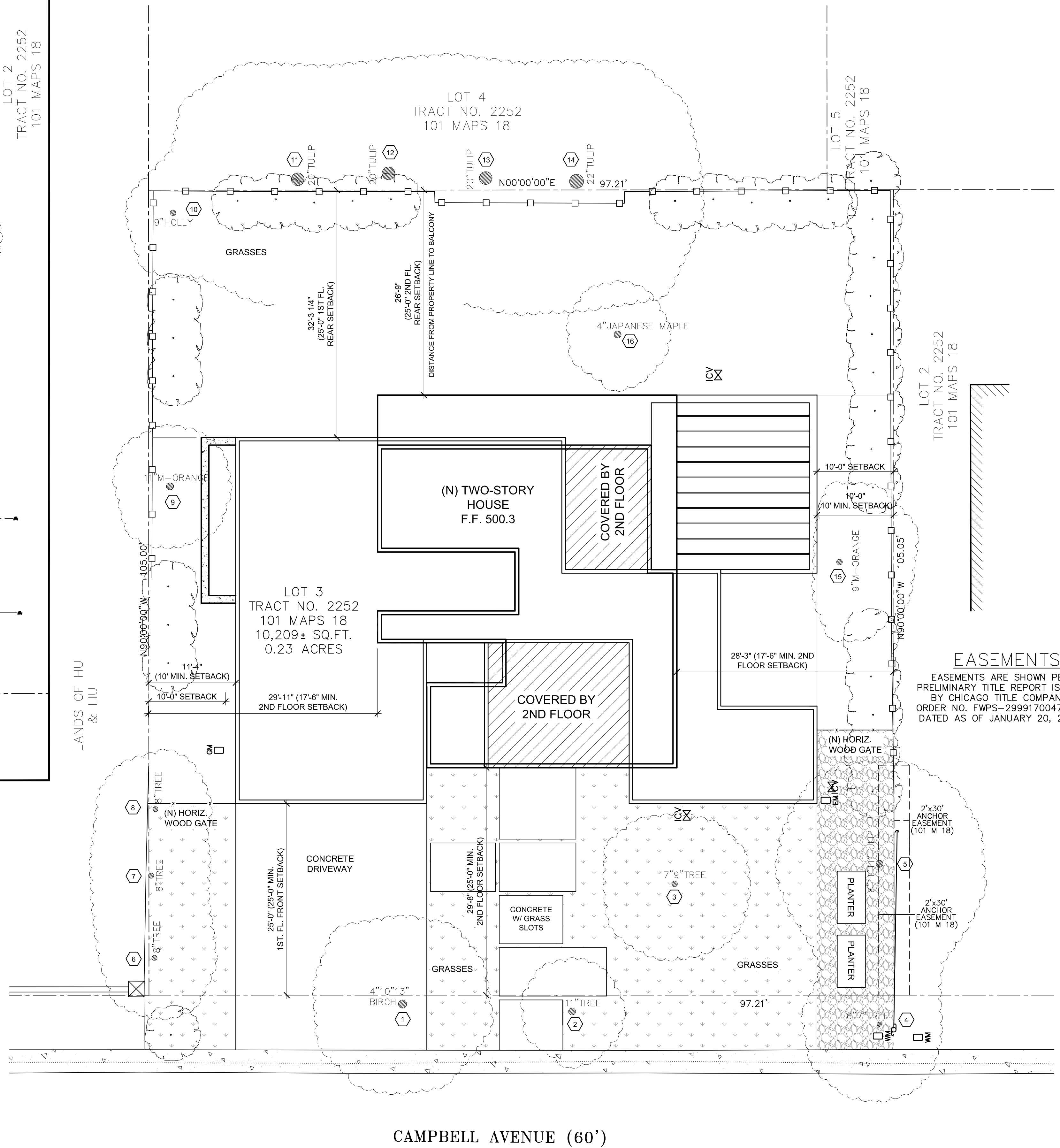
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SHEET	

A0.5



1
A1.0 EXISTING SITE PLAN
1/8"=1'-0"

NOTE: ENTIRE EXISTING STRUCTURE TO BE DEMOLISHED



1
A1.0 PROPOSED SITE PLAN & TREE ID KEY
1/8"=1'-0"

TREE IDENTIFICATION KEY							
TAG	SPECIES	SIZE	RETAIN/ REMOVE? (REMOVE OR MOVE IF POSSIBLE)	TAG	SPECIES	SIZE	RETAIN/ REMOVE?
1	WHITE BRICH	14"	RETAIN	9	ORANGE TREE	11"	RETAIN
2	MAYTENUS	11"	RETAIN	10	HOLLY	9"	RETAIN
3	MAYTENUS	7", 9"	RETAIN	11	TULIP TREE	20"	RETAIN
4	CHERRY CAROLINA	6", 7"	RETAIN	12	TULIP TREE	20"	RETAIN
5	TULIP TREE	8", 11"	RETAIN	13	TULIP TREE	20"	RETAIN
6	CRAPE MYRTLE	8"	RETAIN	14	TULIP TREE	20"	RETAIN
7	CRAPE MYRTLE	8"	RETAIN	15	ORANGE TREE	9"	RETAIN
8	CRAPE MYRTLE	8"	RETAIN	16	JAPANESE MAPLE	4"	RETAIN

NOTES:
1. ONE TREE IS TO BE REMOVED FROM PROPOSED LANDSCAPE

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A1.0



PRUNUS CAROLINIANA
MATURE SIZE: 15'-30' TALL GROWTH: MODERATE USE: SCREEN

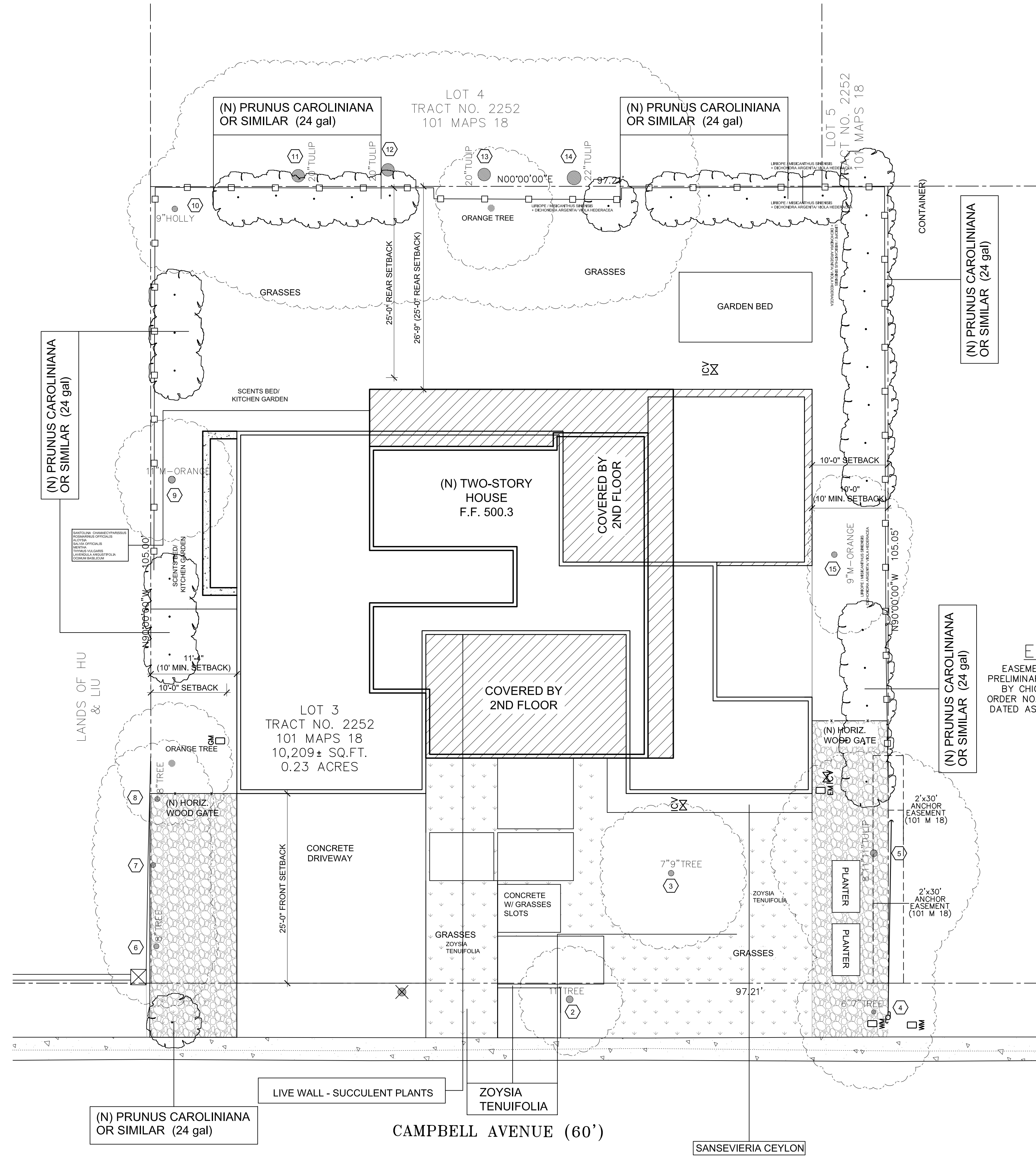
OR SIMILAR ALTERNATIVE



MARINA STRAWBERRY TREE
MATURE SIZE: 20'-30' TALL GROWTH: MODERATE USE: SCREEN

TREE IDENTIFICATION KEY							
TAG	SPECIES	SIZE	RETAIN/ REMOVE?	TAG	SPECIES	SIZE	RETAIN/ REMOVE?
1	WHITE BRICH	14"	REMOVE	9	ORANGE TREE	11"	RETAIN
2	MAYTENUS	11"	RETAIN	10	HOLLY	9"	RETAIN
3	MAYTENUS	7", 9"	RETAIN	11	TULIP TREE	20"	RETAIN
4	CHERRY CAROLINA	6", 7"	RETAIN	12	TULIP TREE	20"	RETAIN
5	TULIP TREE	8", 11"	RETAIN	13	TULIP TREE	20"	RETAIN
6	CRAPE MYRTLE	8"	RETAIN	14	TULIP TREE	20"	RETAIN
7	CRAPE MYRTLE	8"	RETAIN	15	ORANGE TREE	9"	RETAIN
8	CRAPE MYRTLE	8"	RETAIN	16	JAPANESE MAPLE	4"	REMOVE

NOTES:
1. ONE TREE IS TO BE REMOVED FROM PROPOSED LANDSCAPE



PROPOSED LANDSCAPE PLAN
1/8"=1'-0"

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A1.1

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PLANNING DEPT.	MM

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A1.2

BASEMENT

SECTION	DIMENSIONS	AREA
A	40'-11 1/2" x 19'-7 1/2"	803.80 SQ. FT.
B	40'-6" x 6'-0 1/2"	244.68 SQ. FT.
TOTAL: 1048.49 SF		

1ST FLOOR & GARAGE

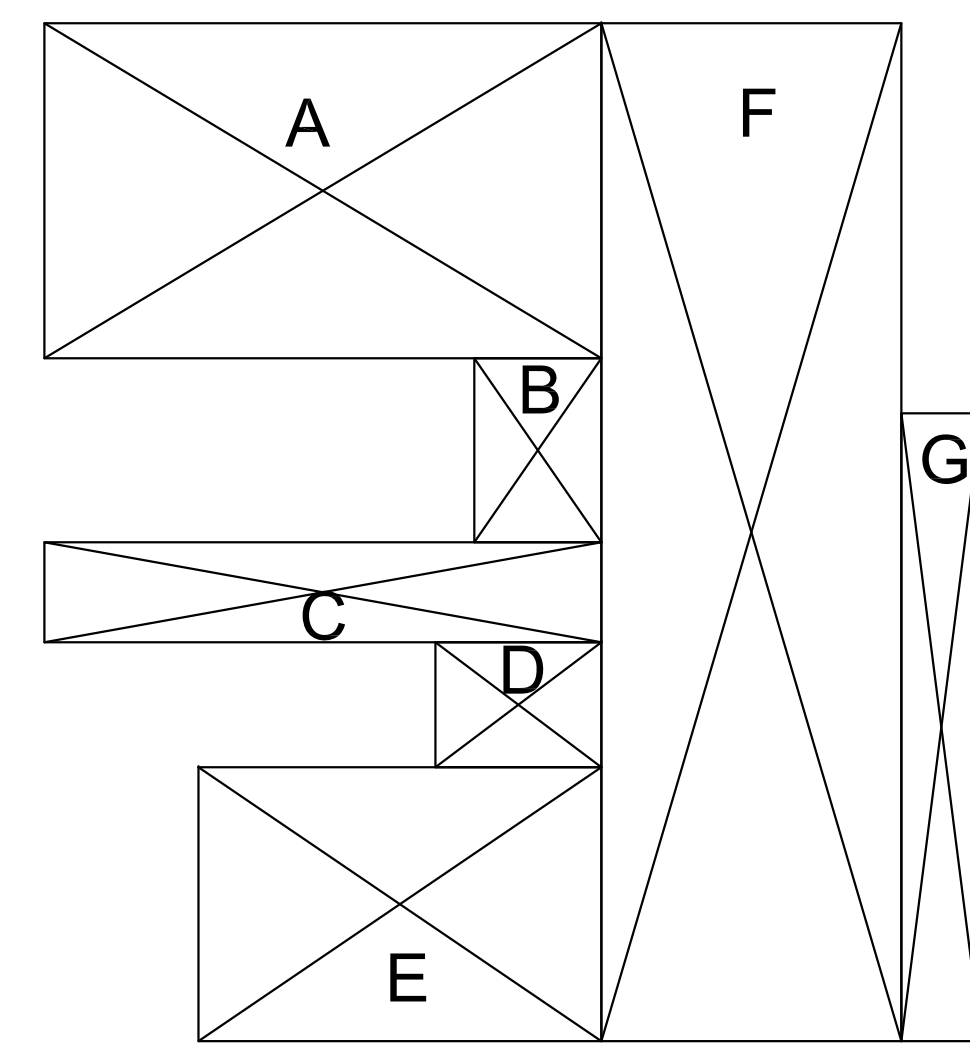
SECTION	DIMENSIONS	AREA
A	43'-0" x 25'-4"	1089.33 SQ. FT.
B	14'-6" x 9'-1"	131.67 SQ. FT.
C	20'-11" x 24'-11"	521.17 SQ. FT.
D	8'-0" x 16'-7"	132.64 SQ. FT.
E	6'-2" x 20'-11"	129.20 SQ. FT.
F	18'-4" x 12'-8 1/2"	232.98 SQ. FT.
TOTAL: 2236.99		

1ST FLOOR COVERED PORCHES

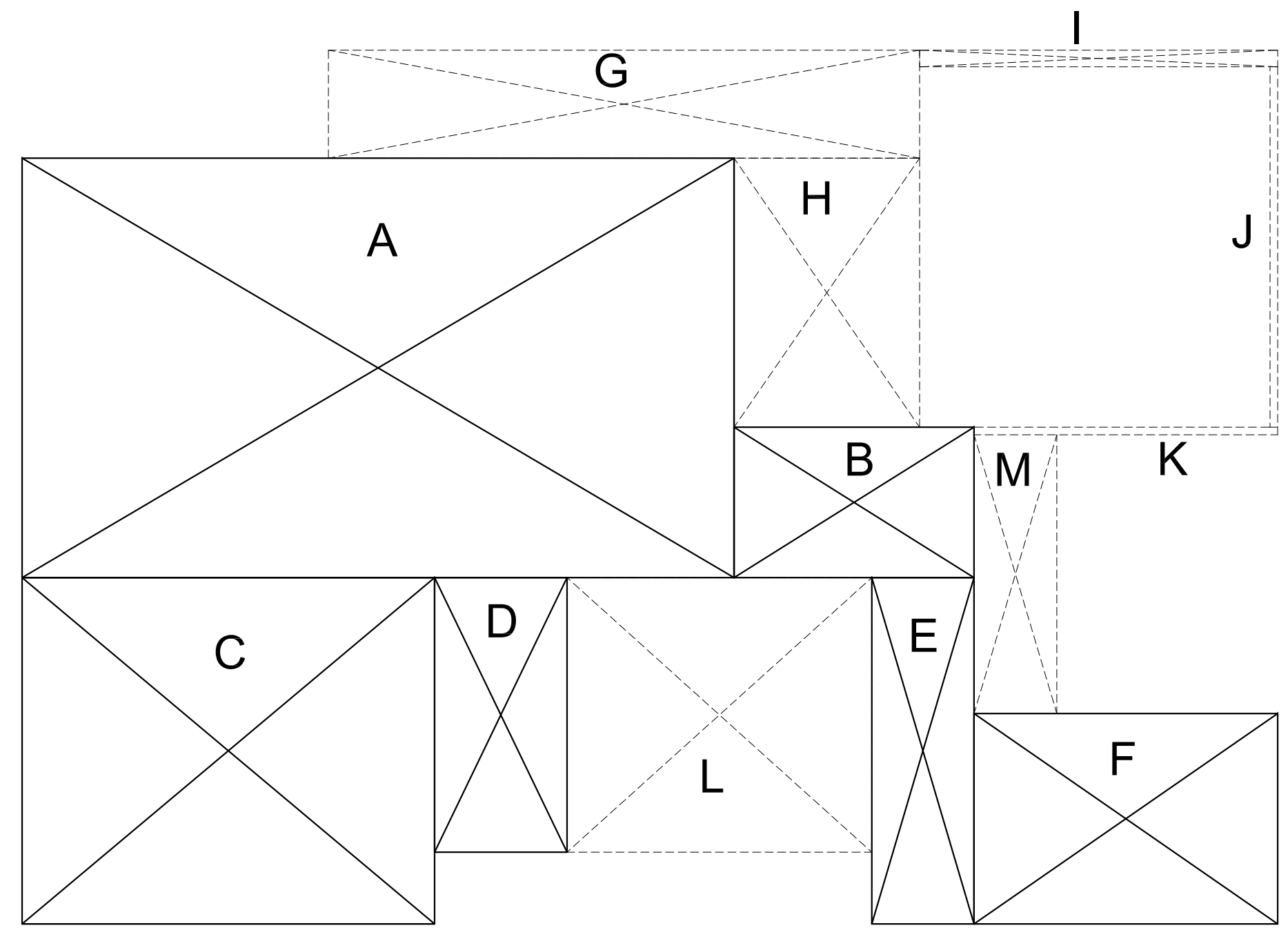
SECTION	DIMENSIONS	AREA
G	35'-8 1/2" x 6'-6 1/4"	232.84 SQ. FT.
H	11'-2 1/2" x 16'-3"	182.11 SQ. FT.
I	23'-1 1/2" x 1'-0"	23.12 SQ. FT.
J	5 1/2" x 21'-9 1/4"	9.97 SQ. FT.
K	18'-4" x 5 1/2"	8.40 SQ. FT.
L	18'-4 3/4" x 16'-7"	305.18 SQ. FT.
M	5'-0" x 16'-5 1/2"	84.16 SQ. FT.
TOTAL: 845.78		

2ND FLOOR

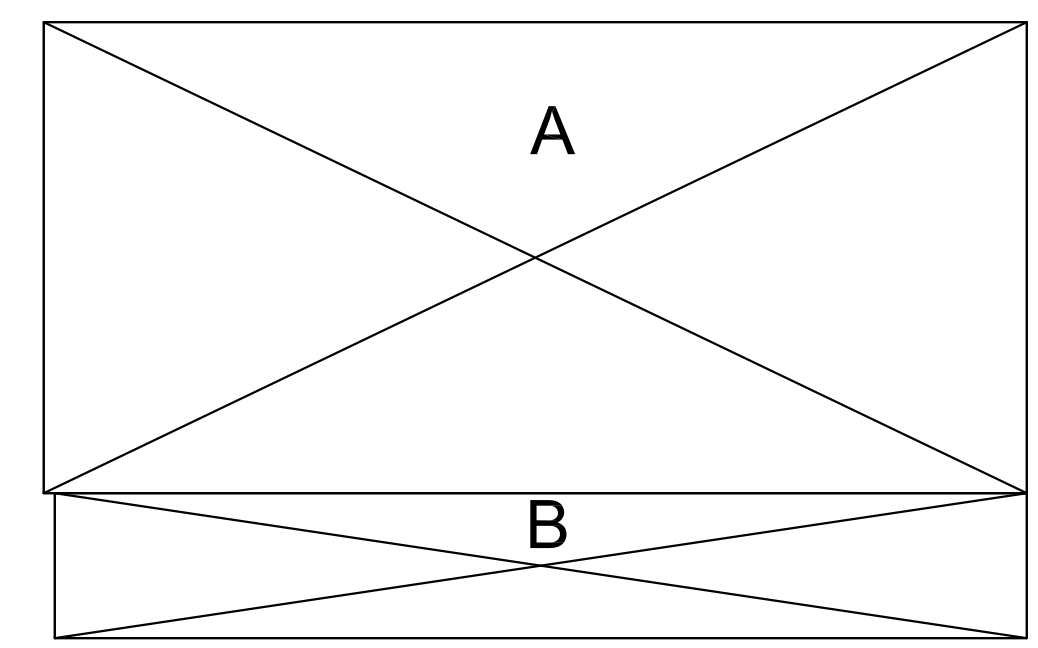
SECTION	DIMENSIONS	AREA
A	23'-2 1/2" x 13'-11 1/2"	323.96 SQ. FT.
B	5'-3 1/2" x 7'-8"	40.57 SQ. FT.
C	23'-2 1/2" x 4'-2"	96.70 SQ. FT.
D	5'-2 1/2" x 6'-11"	36.01 SQ. FT.
E	11'-5" x 16'-9 1/2"	191.70 SQ. FT.
F	12'-6" x 42'-5"	530.11 SQ. FT.
G	3'-4" x 26'-2"	87.21 SQ. FT.
TOTAL: 1306.26		



1 2FL AREA CALCULATIONS
 1/8"=1'-0"



2 1FL AREA CALCULATIONS
 1/8"=1'-0"



3 BASEMENT AREA CALCULATIONS
 1/8"=1'-0"



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS • LAND SURVEYORS
 SACRAMENTO REGION
 900 J STREET, SUITE 200, SACRAMENTO, CA 95811
 4800 P STREET, SUITE 100, ROSA RIVER, CA 95956
 (P) (916) 966-1338 (F) (916) 797-7263
 WWW.LEABRAZE.COM

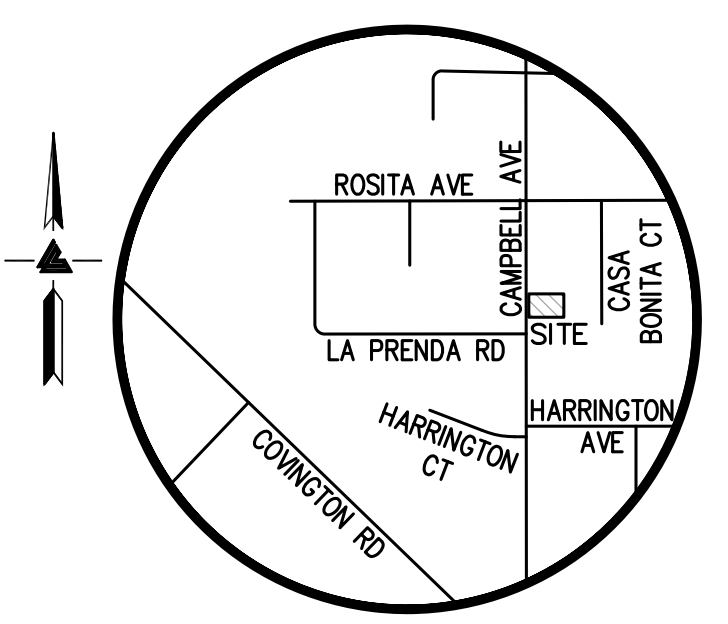
**745 CAMPBELL AVENUE
 LOS ALTOS
 CALIFORNIA**
 SANTA CLARA COUNTY
 APN: 189-41-079

**TOPOGRAPHIC
 SURVEY**

REVISIONS	BY

JOB NO: 2170462
 DATE: 5-25-17
 SCALE: 1"=8'
 FIELD BY: EH
 DRAWN BY: MF
 SHEET NO:

SU1
 1 OF 1 SHEETS



VICINITY MAP
 NO SCALE

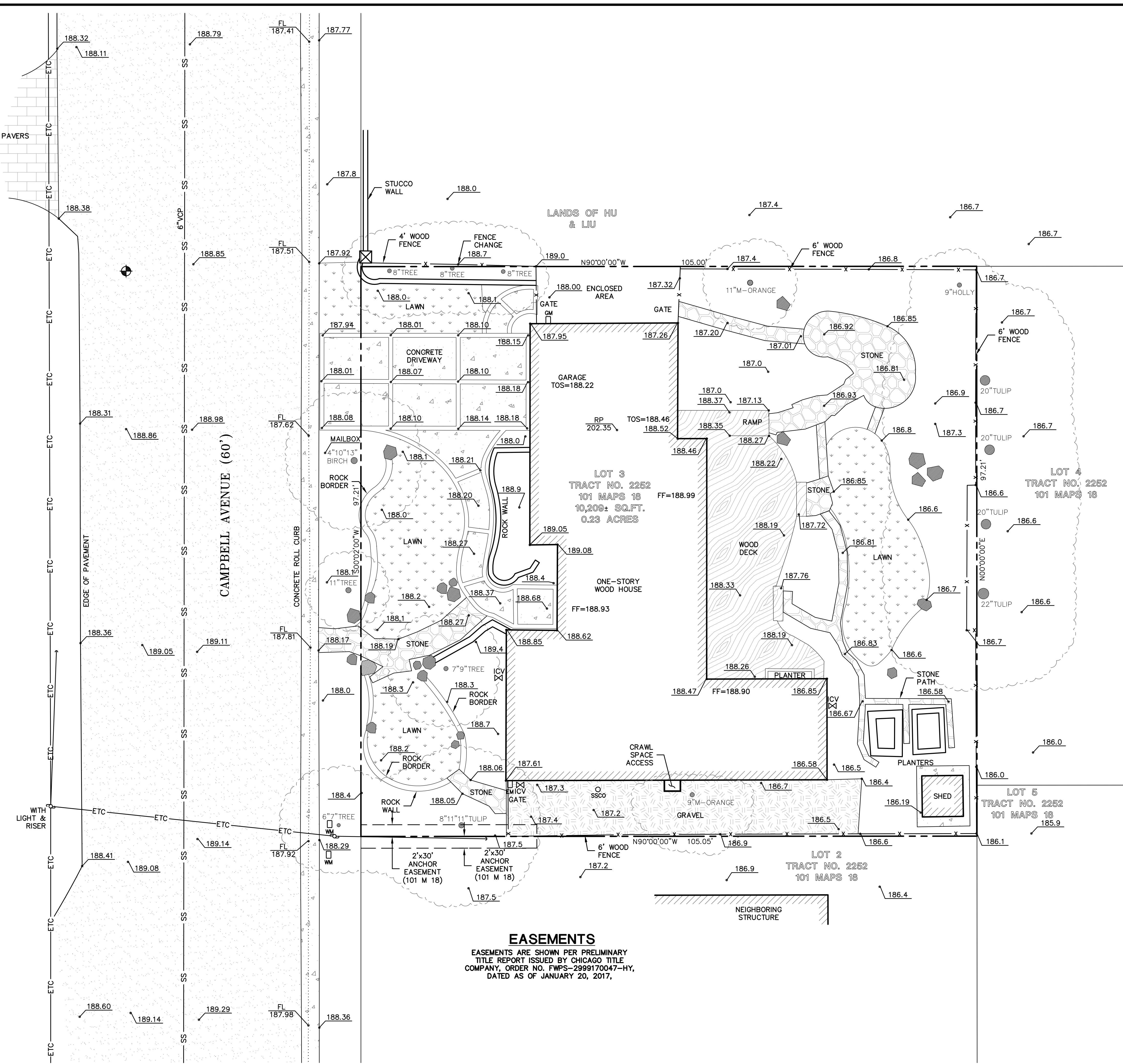
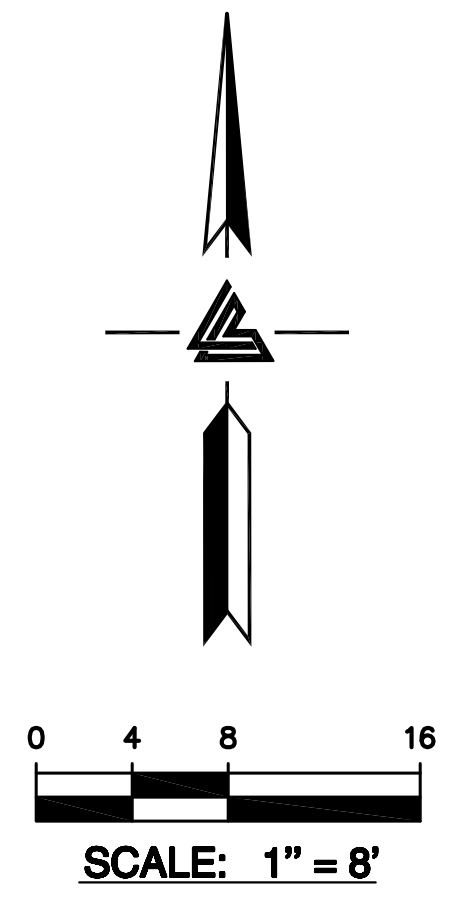
LEGEND AND NOTES

- BOUNDARY LINE
- ETC ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- FENCE LINE
- FLOW LINE
- SS SANITARY SEWER LINE
- BENCHMARK
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GM GAS METER
- GUY ANCHOR
- INV INVERT
- ICV IRRIGATION CONTROL VALVE
- JOINT POLE
- M-MULTI-TRUNK TREE
- RP ROOF PEAK
- ROCK
- SSCO SANITARY SEWER CLEAN-OUT
- SMMH SANITARY SEWER MANHOLE
- TOS TOP OF SLAB
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- WV WATER VALVE
- SPOTGRADE
- ASPHALT
- CONCRETE
- GRAVEL
- LAWN
- RIVER ROCK
- WOOD

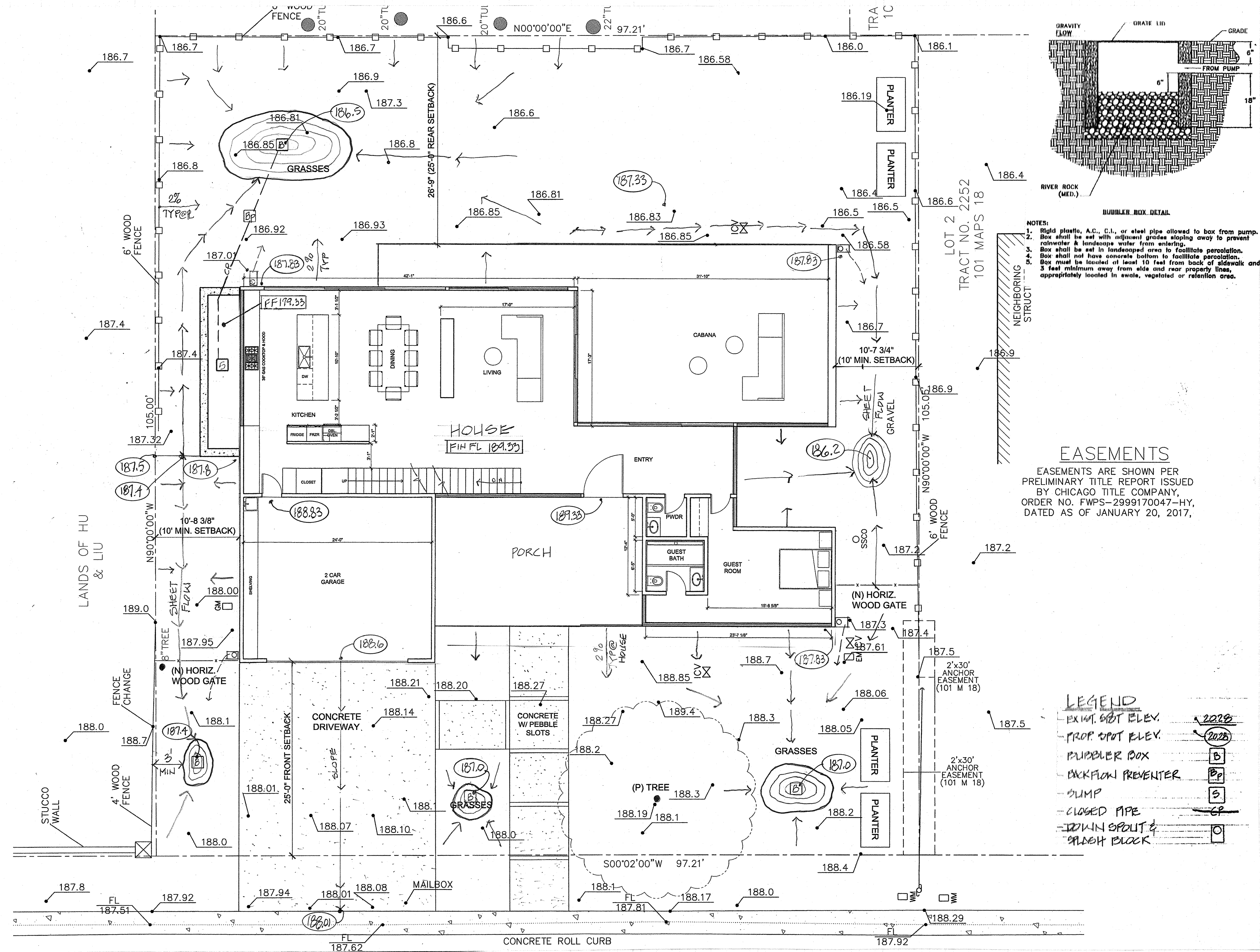
- NOTES**
- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
 - UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
 - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 - FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR)

BENCHMARK
 SANTA CLARA VALLEY WATER DISTRICT BM350
 BRASS DISK ON TOP OF CONCRETE
 NORTHEASTERN HEADWALL LOCATED AT THE
 NORTHWEST END OF SAID HEADWALL ON HALE
 CREEK BRIDGE AT COVINGTON ROAD, CITY OF
 LOS ALTOS.
 ELEVATION = 174.33' (NAVD 88 DATUM)

SITE-BENCHMARK
 SURVEY CONTROL
 SET MAG NAIL AND SHINER
 ELEVATION = 188.77' (NAVD 88 DATUM)



EASEMENTS
 EASEMENTS ARE SHOWN PER PRELIMINARY
 TITLE REPORT ISSUED BY CHICAGO TITLE
 COMPANY, ORDER NO. FWPS-2999170047-HY,
 DATED AS OF JANUARY 20, 2017.



PATRICK J. FLANDERS I
 ARCHITECT

DATE:
 DRAWN
 CHECKED
 SHEET NO.

DATE:
 DRAWN
 CHECKED
 SHEET NO.

DATE:
 DRAWN
 CHECKED
 SHEET NO.

DATE:
 DRAWN
 CHECKED
 SHEET NO.

RG Horticulture Consulting
Tree Management - Landscape Management

5994 Shawcroft Dr. San Jose, CA 95123

ISA Certified Arborist # WE-3081A Roberto Guzman Owner - President
Landscape Contractor License # 634290 August 3, 2017
CA Pest Control Adviser # 075606

ISA Certified Arborist Report

TREE SURVEY
Tree Protection and Preservation Plan Report

Prepared for:

Attila Bodis
745 Campbell Ave.
Los Altos, CA

Prepared By:

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July, 2017

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Tree Management - Landscape Management

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ISA Certified Arborist # WE-3081A Roberto Guzman Owner - President
Landscape Contractor License # 634290 August 3, 2017
CA Pest Control Adviser # 075606

July, 2017 Attila Bodis, 745 Campbell Ave. Los Altos

Summary

The property located at 745 Campbell Ave. in Los Altos, CA contains 14 trees of different species, all of them in acceptable health condition

I picked out the existing 16 trees comprised in 8 different varieties for the survey; their condition is very good and most of them are suited for preservation, however, due to the projected new construction of a house, some of them could be affected or subjected to removal. All the potential affected ones will be protected during the construction time.

Background
Attila Bodis, owner of the property hired me to assess the site, trees, and proposed plans, to provide an arborist report with my findings and recommendations to help to satisfy the City of Los Altos planning requirements, regarding tree protection.

Assignment

- 1- Provide the arborist report including the assessment of the trees within the project area. The assessment shall include the species, diameter, health condition, structure, and suitability for preservation.
- 2- Provide Tree Protection Plan (TPP) specifications and the intensity ratings for the trees that will be impacted by the construction project.

Purpose and use of this report

This report is intended to identify all the trees in the premises of the plan area, and specifically the ones that could be affected by the construction project. The report will also be used by Maidan Architects, their engineers, and the city of Los Altos

The trees subjected to the protection plan are a total of eight (8), and their description is as follows:

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- 1- Tree # one (1). A heritage mature White birch tree (*Betula pendula*) with a DBH of 14"; 25 feet high and 25' canopy spread; good vigor and highly suitable for preservation. This tree however is located on the right side of the entrance of the property, and will be in the way for the traffic of vehicles and construction machinery, so my recommendation is to remove it.
- 2- Tree # two (2) *Maytenus* (*Maytenus boaria*) DBH 11"; 15' high, 12' spread of canopy, good vigor and highly suitable for preservation; it will be protected during the construction process.
- 3- Tree # three (3). *Maytenus* (*Maytenus boaria*). DBH 7", 9" (co-dominant stems); 15' high, 12' spread of canopy, good vigor, and highly suitable for preservation. It will be protected during the construction process.
- 4- Tree # four (4). *Cherry Carolina* (*Prunus caroliniana*). DBH 6", 7" (co-dominant stems); 15' high, 12' spread of canopy, good vigor, and fairily suitable for preservation.
- 5- Tree # five (5). *Tulip tree* (*Liriodendron*). DBH 8", 11" (co-dominant stems); 20' high, 20' spread canopy, good vigor, suitable for preservation.
- 6- Tree # six (6). *Crape myrtle tree* (*Lagerstroemia*). DBH 8"; 15' high, 12' spread canopy, good vigor, suitable for preservation. It will be protected during the construction process.
- 7- Tree # seven (7). *Crape myrtle tree* (*Lagerstroemia*). DBH 8"; 15' high, 12' spread canopy, good vigor, suitable for preservation. It will be protected during the construction process
- 8- Tree # eight (8). *Crape myrtle tree* (*Lagerstroemia*). DBH 8"; 15' high, 12' spread canopy, good vigor, suitable for preservation. It will be protected during the construction process
- 9- Tree # nine (9). *Orange tree* (*Citrus sinensis*). DBH 11"; 18' high, 12' spread canopy, good vigor, suitable for preservation, needs structural pruning and fertilization. Its protection during the construction process will depend of its closure to the construction area.
- 10- Tree # ten (10) *Holly tree* (*Ilex aquifolium*). DBH 9"; 12' high, 12' spread canopy, good vigor, suitable for preservation.
- 11- Tree # eleven (11) *Tulip tree* (*Liriodendron*). DBH 20"; 40' high, 30' spread canopy, good vigor. It is suitable for preservation given its size and value for the property, however this specie is very sensitive to aggressive attack of aphids and scales, so it will need a permanent observation of this pest,

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- 12-Tree # twelve (12) *Tulip tree* (*Liriodendron*). DBH 20"; 40' high, 30' spread canopy, good vigor. It is suitable for preservation given its size and value for the property; however this specie is very sensitive to aggressive attack of aphids and scales, so it will need a permanent observation of this pest.
- 13-Tree # thirteen (13) *Tulip tree* (*Liriodendron*). DBH 20"; 40' high, 30' spread canopy, good vigor. It is suitable for preservation given its size and value for the property; however this specie is very sensitive to aggressive attack of aphids and scales, so it will need a permanent observation of this pest.
- 14-Tree # fourteen (14) *Tulip tree* (*Liriodendron*). DBH 20"; 40' high, 30' spread canopy, good vigor. It is suitable for preservation given its size and value for the property; however this specie is very sensitive to aggressive attack of aphids and scales, so it will need a permanent observation of this pest.
- 15- Tree # fifteen (15). *Orange tree* (*Citrus sinensis*). DBH 9"; 15' high, 12' spread canopy, good vigor, suitable for preservation. Needs structural pruning and fertilization.
- 16- Tree # sixteen (16) *Japanese maple*. DBH 4"; 8' high, 8' spread canopy, acceptable vigor.

The biggest trees in the property (*Tulip trees* along the back fence) apparently will not be affected by the construction operation. These are heritage trees and will need to be protected if a minimum risk of damage is possible.

Tree Protection

The Tree Protection focuses on protecting trees from damage to the roots, trunk, and scaffold branches from heavy equipment. The Tree Protection Zone (TPZ) can be determined by a formula based on species tolerance, tree age, and Diameter at Breast Height (DBH) or as drip line in general.

Due the proximity of some of the described trees to the construction area, the tree protection zone for this project should be installed at 7 -12 feet from the trees trunk where possible. The protection could include the use of Straw wattles to wrap 6' above the ground of the trees trunks (see Tree inventory site plan) to protect them from potential mechanical injuries, as a result of machinery and construction equipment

The Tree Protection Zone (TPZ) will include a chain link fencing around tree trunk and main limbs on the drip line area. The fence will protect the trees against injuries on trunk and bark, soil compaction

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or disturbance, bruising and breaking of roots. The project arborist shall be present at the time of the structure demolition to ensure the protection of the tree trunk and roots.

Critical Root Zone.

The critical root zone (CRZ) is the area around the trunk of the tree where roots that provide stability are located. It is also the minimum distance from the trunk that root cutting and trenching can occur. It is defined by the tree's trunk diameter as a distance of three times the DBH in feet and preferably five times.

The described actions are the core of the Tree Protection and Preservation Plan (TPPP), such plan is part of the permit process for the re-construction or re-modeling of the existing structure.

When potential development impacts take place within the dripline of or will affect any protected tree, a preservation report must be prepared by a certified consulting arborist. The TPPP intends to outline the different measures to protect the trees during construction, assess potential impacts, and recommend mitigation measurements to reduce such impacts to a less significant level. The TPPP also includes requirements for pre-construction, treatments during demolition, new installations, and establishment of a Tree Protection Zone (TPZ). The plan also includes tree monitoring, inspection, and provisions to continue the good maintenance after completion of construction.

The Tree Protection and Preservation Plan

Pre-construction

One of the most important parts of the TPP is the installation of the Tree Protection Zone (TPZ), which is a temporary fenced enclosure under the tree's drip line or as specified in this report. The TPZ is a restricted activity zone where no soil disturbance is permitted unless approved and supervised by the planning director and consulting arborist.

Tree Fencing -Size and type of fence. The chain link fence will be 5- 6 feet high and as much as possible of radius from the trunk of the trees. The fence will be mounted on two-inch diameter galvanized posts supported by a concrete base (no driven posts into the ground if fencing is too close to the tree). The fence will remain in place until final landscape or mulching is required. If for some reasons, the fence needs to be moved or modified, the contractor will request that the city arborist and consulting arborist supervise the movement.

No storage of equipment, vehicle, tools, or debris shall be allowed between the drip line of the tree at any time. No trenching shall occur beneath the dripline of the tree to be protected. No disposal or deposit of oil, gasoline, chemicals or other harmful materials will be allowed within the dripline of the tree.

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Specification for pruning. When necessary, reduce the encroaching branches back to appropriate sized lateral limbs or remove completely back to the main stem.

During the construction process, a periodic monitoring of the project site and the health of the trees should take place. The consulting arborist will be present whenever activities take place which pose a potential threat to the health of the trees. The planning director and project arborist shall be notified within 6 hours of any damage that occurs to the protected tree during construction, so that proper treatment can be applied in accordance with accepted arboriculture methods.

Mitigation Plan

A mitigation measurement plan will be set up in case that the construction around the tree will cause drought stress or dust accumulation. To reduce any impact injury, the following actions will be implemented by the project arborist:

- 1- Irrigation program. Irrigate to wet the soil within the TPZ to a depth of 30-inches. This irrigation will be applied with high pressure water injector.
- 2- Dust control program. During periods of extended drought, wind or grading, spray-wash trunk, limbs and foliage to remove accumulated construction dust.
- 3- Mulch and gravel will be available in case of a necessary root buffering.
- 4- Hay to spread in layers over the sloped area to control erosion.

Post construction care

After completion of construction, the trees will be carefully examined to assure that their integrity has been kept in good standing. A periodic check out of the trees will be performed by the arborist to detect any significant change associated with the construction.

Recommendations.

- Remove the dead trees and protect the ones to have high influence by the construction project.
- Get all necessary permits before the removal or significantly altering any tree on site.

Specification: Reduce encroaching branches back to appropriate sized lateral limbs no less than 50% the diameter of the parent branch at the cut, or remove completely back to the main stem. The objective is to provide clearance on the site to accommodate the construction work.

- Wrap the trunk of the protected trees with straw wattles up to 8 feet above the ground to prevent mechanical damage to the stem.

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- Place mulch to a depth of 4-6 inches underneath the tree within the critical root zone radius of 7 to 12 feet from the trunk.
- Place tree protection fence at a distance of 7 to 12 feet from the main stem of the trees. Place signage on the fence.
- Do not remove the tree protection fence - neither temporarily or final removal- without consulting with the city arborist and project arborist.

Appendixes:

- Certificate of performance
- Qualifications, Assumptions and limiting conditions

Attachments

- Pictures
- Site plan, tree inventory and location map, tree removal map, and tree protection plan map.

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Certification of Performance

I, Roberto Guzman, certify:

- That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and or appraisal is stated in the attached report and in the terms and conditions;
- That I have no current interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- That the analysis, opinions, and conclusions stated herein are my own, and are based on experience, current scientific procedures, and facts;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client on any other party, nor upon the results of the assessment, the attainment of stipulated result, or the occurrence of any subsequent events;
- That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices;
- That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a Member of the American Society of Consulting Arborist, and I am an International Society of Arboriculture Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 30 years.

Signed: _____ Date: _____

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7.05.18	MM
8.20.18	MM

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DRAWN	JD
CHECKED	MM
DATE	7.05.18
SCALE	AS NOTED
JOB NAME	BODIS
SHEET	

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August 3, 2017

Appendix: Qualifications, Assumptions, and Limiting Conditions

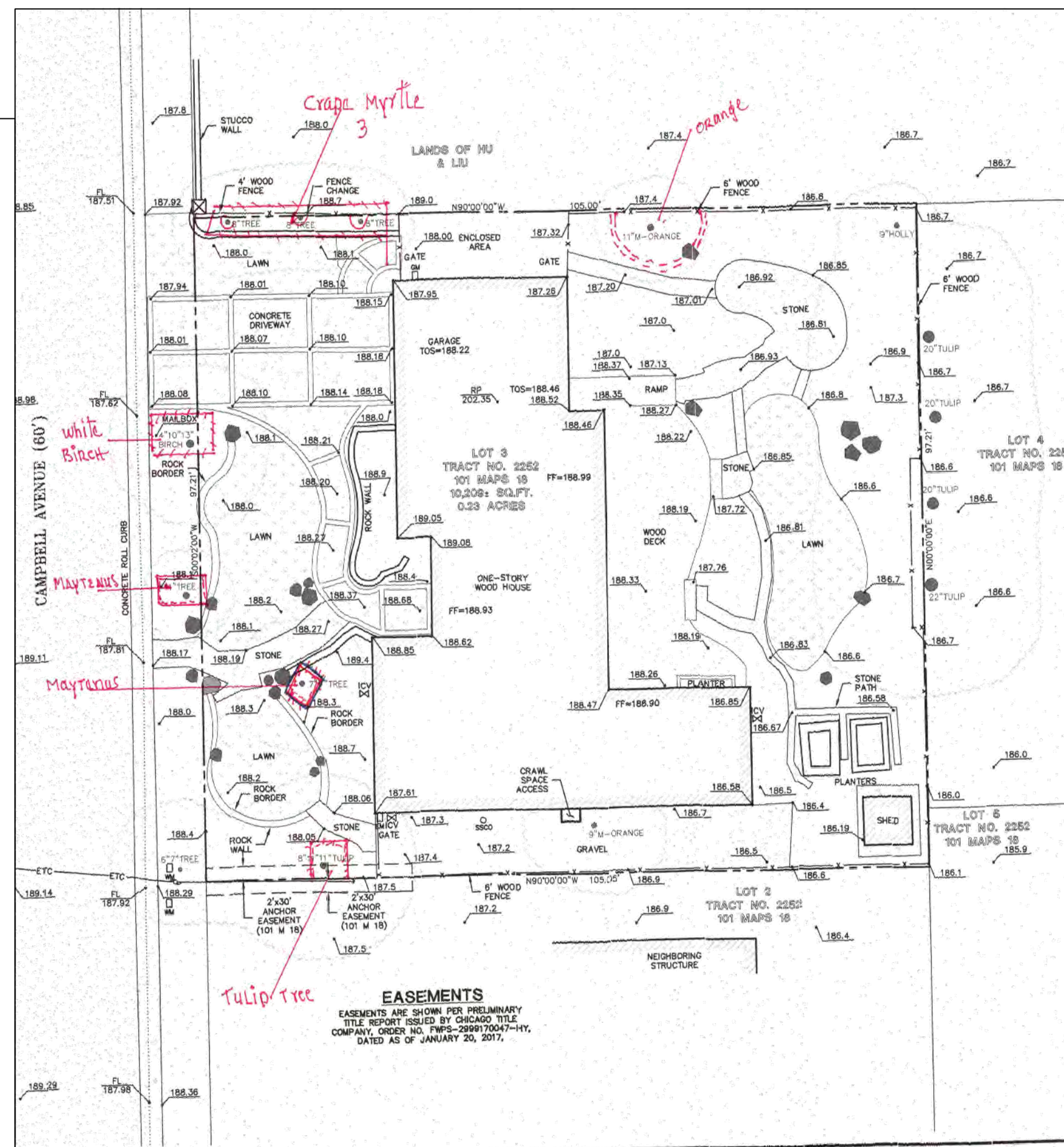
1. Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. Neither the arborist undertaking this report, nor the company responsible shall be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services, as described in the fee schedule and contract of engagement.
3. This report and any values expressed herein represent the opinion of the author and his fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
4. Care has been taken to obtain information from reliable sources. All data has been verified insofar as possible; however R G Horticulture Consulting can neither guarantee nor be responsible for the accuracy of information provided by others.
5. Unless otherwise required by law, neither all or any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressly written or verbal consent of the author.
6. Unless otherwise required by law, possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressly written or verbal consent of the author or his company.
7. The information contained in this report covers only the trees subject of this report and no others. It reflects the condition of the trees and its component parts at the time of inspection and was limited to a visual examination of the accessible items.
8. The details obtained from the photographs, and outlined in the sketch plan are intended as visual aids and are not to scale. They should not be construed as engineering reports or surveys.
9. Loss or alteration of any part of this report invalidated the entire report.

End of report.

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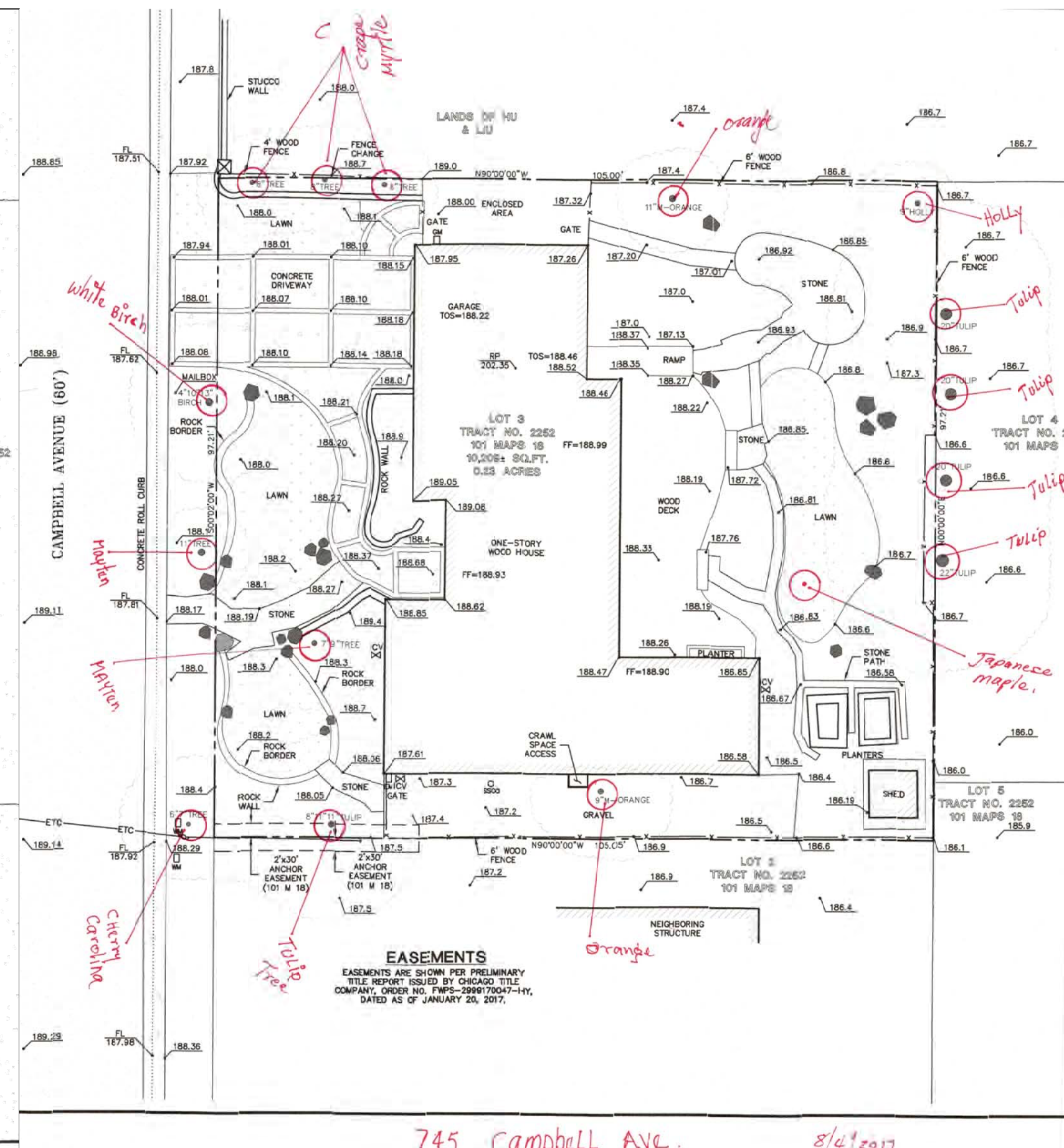
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745 Campbell Avenue Los Altos 8/4/2017

Tree protection plan map

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745 Campbell Ave.
General Tree inventory map

8/4/2017

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NOTES:

SITE

- SEE SITE PLAN & LANDSCAPING PLANS FOR NEW FENCING, ENTRY PATH, PAVING, DRIVEWAY, PATIOS, ETC.
- DECKS & BALCONIES - VERIFY TYPE & FINISH W/ ARCHITECT & OWNER. SELECTED MATERIAL SHALL BE SLIP-RESISTANT IN WET CONDITIONS.
- ALL EXTERIOR EGRESS DOORS MUST HAVE A MIN. 36" DEEP CLEAR LANDING NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD & WITH A SLOPE NO GREATER THAN 1/4" PER FOOT.
- DOOR BETWEEN GARAGE & DWELLING TO BE 1 3/4" THICK, TIGHT FITTING, SELF-LATCHING, 20 MINUTE FIRE RATED DOOR.
- PER CRC 311.3 ALL EXTERIOR DOORS REQUIRE A LANDING. PROVIDE A LEVEL FLOOR LANDING ON EACH SIDE OF NON-EGRESS EXTERIOR DOORS NO MORE THAN 7 1/2" BELOW THE THRESHOLD.

EXCEPTIONS:

- EXTERIOR LANDINGS NEED TO SLOPE A MAX OF 2% AND IF NOT AT GRADE NEED STAIRS OR RAMPS TO GRADE.
- A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.

FRAMING

- CONTRACTOR TO VERIFY DIMENSIONS WITH ARCHITECT BEFORE START OF CONSTRUCTION.
- SEE STRUCTURAL PLANS FOR SHEAR WALLS, POSTS, & HOLD-DOWN LOCATIONS. SEE BUILDING SECTIONS FOR TYPICAL WALL INSULATION LOCATIONS & VALUES. SEE ROOF PLAN FOR GUTTERS, PARAPETS & SKYLIGHTS. SEE WINDOW SCHEDULE & REVIEW WITH ARCHITECT.
- FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ELECTRICAL, MECHANICAL & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS, LAYOUT OF FLOOR, & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADING OFF, CENTER FLOOR REGISTERS W/ DOORS, ALIGN CHUTES & CHASES, ETC. CONTRACTOR TO DISCUSS PLAN W/ARCHITECT BEFORE THE START OF FRAMING.
- EXTERIOR WALLS - (N) WALLS 2x6 WOOD STUDS @ 16" o.c. TYP., EXCEPT WHERE OTHERWISE NOTED.
- INTERIOR WALLS - ALL INTERIOR WALLS ARE 2x6 WOOD STUDS @ 16" o.c. TYP., EXCEPT WHERE OTHERWISE NOTED.

INTERIOR FINISHES

- BLOCKING - SEE INTERIOR ELEVATIONS & FINISH SCHEDULE AND VERIFY WITH ARCHITECT PRIOR TO FRAMING. CONTRACTOR TO INSTALL BLOCKING AT ALL WALLS FOR BASE, TOWEL BARS, LIGHT FIXTURES, HANGING VANITIES & CABINETS, FLOATING SHELVES, TV's, ETC.
- INTERIOR FINISHES - 1/2" GYPSUM BOARD TYP. ALL INTERIOR WALLS U.N.O. 1/2" TYPE 'X' GYPSUM BOARD @ ALL WALLS & CEILING IN GARAGE & AT ENCLOSED SPACE UNDER STAIRS.
- VERIFY ALL PAINT & FINISH SELECTIONS, BASEBOARD, TRIM, AND DOOR & WINDOW CASINGS W/ ARCHITECT IN FIELD. PROVIDE MOCK-UPS FOR APPROVAL PRIOR TO INSTALLATION.
- GARAGE WALLS & CEILING TO BE FINISHED WITH 1/2" TYPE 'X' GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING AT SEPARATION WALL BETWEEN GARAGE & RESIDENCE. THE CEILING OF THE FLOOR-CEILING ASSEMBLY ABOVE THE GARAGE AND THE MEMBERS THAT SUPPORT THIS FLOOR-CEILING SEPARATION SUCH AS BEAM AND COLUMNS.

CUSTOM CABINETRY AND BUILT-INS

- CABINETRY - VERIFY INTERIOR ELEVATIONS WITH ARCHITECT PRIOR TO FRAMING, ELECTRICAL, AND PLUMBING.
- KITCHEN CABINETRY - VERIFY INTERIOR ELEVATIONS WITH ARCHITECT, PRIOR TO FRAMING, ELECTRICAL, AND PLUMBING.
- BUILT-IN SHELVES & CABINETS, VERIFY WITH OWNER/ARCHITECT.

STAIRS, HANDRAILS AND GUARDRAILS

- PROVIDE HANDRAILS & GUARDRAILS TO BE CAPABLE OF SUPPORTING 200 LB CONCENTRATED LOAD AT ANY ANGLE TO RAIL. OPEN GUARDRAILS OR HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH. TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT.
- ONE HOUR FIRE RATED CONSTRUCTION CONSISTING OF 2 LAYERS OF TYPE-X GYPSUM BOARD TO BE INSTALLED ON THE UNDERSIDE OF STAIRS & BETWEEN GARAGE AND HABITABLE SPACE.

INTERIOR AND EXTERIOR FINISHES

- EXTERIOR FINISH - STUCCO PAINTED CEMENT PLASTER OVER PRIMER 1/8" MIN. THICK. 3-COAT APPLICATION W/ WEEP SCREE @ FOUNDATION PLATE LINE. OVER WIRE LATH OVER (2) LAYERS GRADE 'D' BUILDING PAPER, OVER 1/2" SHEAR PLYWOOD. METAL PRIMER ON ALL GUTTERS & R.W.L. VERIFY ALL PAINT SELECTIONS WITH ARCHITECT.
- EXTERIOR FINISH - WOOD SIDING - CEDAR OR IPE (TBD), MILLED PER ARCHITECT'S DETAIL. BLIND NAIL PATTERN OVER WHITE BUILDING PAPER. REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- INTERIOR PAINT LOW VOC (VERIFY ALL WITH ARCHITECT/OWNER). WALLS - FLAT LATEX OR EGGSHELL ON DRYWALL PRIMER; CEILING - FLAT. DOORS & TRIM - OIL OR SEMI GLOSS LATEX (VERIFY PRICE OPTIONS). CAULK ALL HOLES, AND PRIME (RE-CAULK & SAND AS NECESSARY) PRIOR TO FINAL FINISH COAT.

FLOOR FINISHES

- SMOOTH CONCRETE FINISH AT GARAGE SLAB. PROVIDE CONTROL JOINTS @ 10'-0" o.c. EACH WAY. SLOPE SLAB 1/8" PER FOOT TOWARDS OPENINGS TO DRAIN PER CIVIL DRAINAGE PLAN.
- HARDWOOD FLOORING. VERIFY STAIN, FINISHES, PATTERNS & DETAILS W/ARCHITECT. HARDWOOD FLOOR WILL BE LEVELED WITH TILED FLOOR & WITH CONCRETE FLOOR. USE SCHLUTER TRANSITION. VERIFY SCHLUTER DESIGN WITH ARCHITECT.
- TILE FLOOR IN BATHROOMS (SELECTION TBD)
- USE METAL SCHLUTER TRANSITION BETWEEN DIFFERENT FLOORING (VERIFY SCHLUTER DESIGN WITH ARCHITECT)

PLUMBING, BATH FIXTURES, ACCESSORIES

- ALL NEW BATHROOM CABINETS, COUNTERS, PLUMBING FIXTURES, ACCESSORIES, & FINISHES TO BE SELECTED BY ARCHITECT/OWNER. VERIFY ALL ROUGH PLUMBING REQUIREMENTS. SHOWERS & TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE ADJUSTED TO 120 DEGREES MAXIMUM.
- AT ALL SHOWERS & TUBS WITH SHOWERS, WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 80" ABOVE DRAIN. MATERIALS OTHER OR APPROVED EQUAL TO 80" ABOVE DRAIN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. VERIFY FINISH MATERIALS W/ARCHITECT. INSTALL HOT-MOP SHOWER PAN @ ALL SHOWERS (TYPICAL). BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER UPC 410.5 VERIFY DRAIN LOCATION W/OWNER. TEMPERED GLASS @ WINDOW & SHOWER ENCLOSURE. SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 3/8" OR 1/2" GLASS. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, AND ALSO SHALL BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE. PER UPC 412.7
- PROVIDE & INSTALL ALL BATHROOM ACCESSORIES (I.E. VANITIES, MIRRORS, MEDICINE CABINETS, TOWEL BARS & HOOKS, TOILET PAPER HOLDERS, SOAP DISHES, ETC.) TO BE SELECTED BY ARCHITECT/OWNER. VERIFY LOCATIONS, PROVIDE BLOCKING.

PLUMBING

- VERIFY PLUMBING REQUIREMENTS & FRAMING REQUIREMENTS FOR CHOSEN PLUMBING FIXTURES.
- MAINTAIN A MIN. 30 INCH WIDE CLEAR SPACE AT WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT OF WATER CLOSET PER UBC 2904. WATER CLOSETS TO HAVE MAX. FLOW RATE OF 1.28 GALLONS PER FLUSH, PER CALIFORNIA HEALTH & SAFETY CODE. ALL SHOWER HEADS TO HAVE A MAX. FLOW OF 2.0 GPM, & KITCHEN FAUCET TO HAVE A MAX. FLOW RATE OF 1.8 GPM, & LAVATORY FAUCETS TO HAVE MAX. FLOW RATE OF 1.5 GPM.
- PROVIDE WATER CLOSET CLEARANCE MIN. 24" IN FRONT & 15" FROM THE CENTER TO A WALL OR OBSTRUCTION (CPC 402.5)
- PROVIDE AN OPENING TO THE SHOWER COMPARTMENT WITH MIN. DOOR CLEAR WIDTH OF 22" (CPC 408.5)
- PER CPC 603.5.7 ALL HOSE BIBS MUST HAVE BACK FLOW PROTECTION.
- PROVIDE AN ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE INSTALLED FOR ALL NEW, REPAIRED, REPLACED OR ALTERED BUILDING SEWERS.
- BUILDING SEWERS SHALL HAVE AN ATMOSPHERIC RELIEF VALVE INSTALLED UPSTREAM OF THE BACKWATER VALVE OUTSIDE THE BUILDING IN CLOSE PROXIMITY TO THE FOUNDATION. PROVIDE STREET CLEAN OUT 2' TO 5' BEHIND PROPERTY LINE.
- PROVIDE STATE ARCHITECT CERTIFIED EARTHQUAKE-ACTUATED GAS SHUTOFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.
- EACH VENT SHALL TERMINATE NOT LESS THAN 10' FROM, OR NOT LESS THAN 3' ABOVE AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY & STREET. CPC 906.2.

BASEMENT THEATERS/MEDIA ROOMS

- BASEMENT THEATERS/MEDIA ROOMS SHALL HAVE EITHER A DIRECT EMERGENCY EGRESS DOOR OR WINDOW TO OUTSIDE OR AN INTERCONNECTED SMOKE DETECTION & VISUAL STROBE INSTALLED WHEN THE ENTIRE BUILDING IS PROVIDED WITH A NFPA 13D SPRINKLER SYSTEM. SUCH ROOMS SHALL INCLUDE ADEQUATE VENTILATION FROM EITHER:
 - OUTSIDE THE BUILDING PER 2013 CBC SECTION 1203.4.1.
 - INSIDE THE BUILDING PER 2013 CBC SECTION 1203.4.1.1 WITH THE DOOR TO THE THEATER CLOSED

FIREPLACES

- ONLY DECORATIVE GAS APPLIANCES, PELLET-FUELED WOOD HEATERS OR EPA PHASE II CERTIFIED WOOD-BURNING APPLIANCES MAY BE INSTALLED AS PERMITTED PER CHAPTER 12.64 OF THE MUNICIPAL CODE (SOLID FUEL BURNING FIREPLACES SHALL BE EPA CERTIFIED).

VENTILATION

- MIN. LOCAL EXHAUST RATE OF BATHROOM FANS SHALL BE 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. CRC R303.3 & CMC TABLE 403.7.

SUMP PUMPS

- SEWER & EXTERIOR STORM DRAINS AT LIGHT WELLS. A SEWER EJECTOR OR SEWAGE PUMP RECEIVING THE DISCHARGE OF WATER CLOSET SHALL BE CAPABLE OF PASSING A 1-1/2" DIAMETER SOLID BALL, & THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE & GATE VALVE, & BE A MINIMUM OF 2" IN DIAMETER PER CPC 710.3.2

FRAMING NOTES:

- ALL THE DIMENSIONS ARE TO FACE OF STUD
- Dimensions of ALL the openings are of frame size of windows and doors.

Framer to add :
 * 4" to R/O of interior doors and entry door (2" on each side).
 * 1/2" to R/O of windows (1/4" on each side).

- See bathroom elevations for niches. Review with architect before framing.
- Transition between flooring materials will have metal Schluter.

- Review with architect location for mini split (AC) devices.

Framer to notify architect and builder if windows need to be shortened.

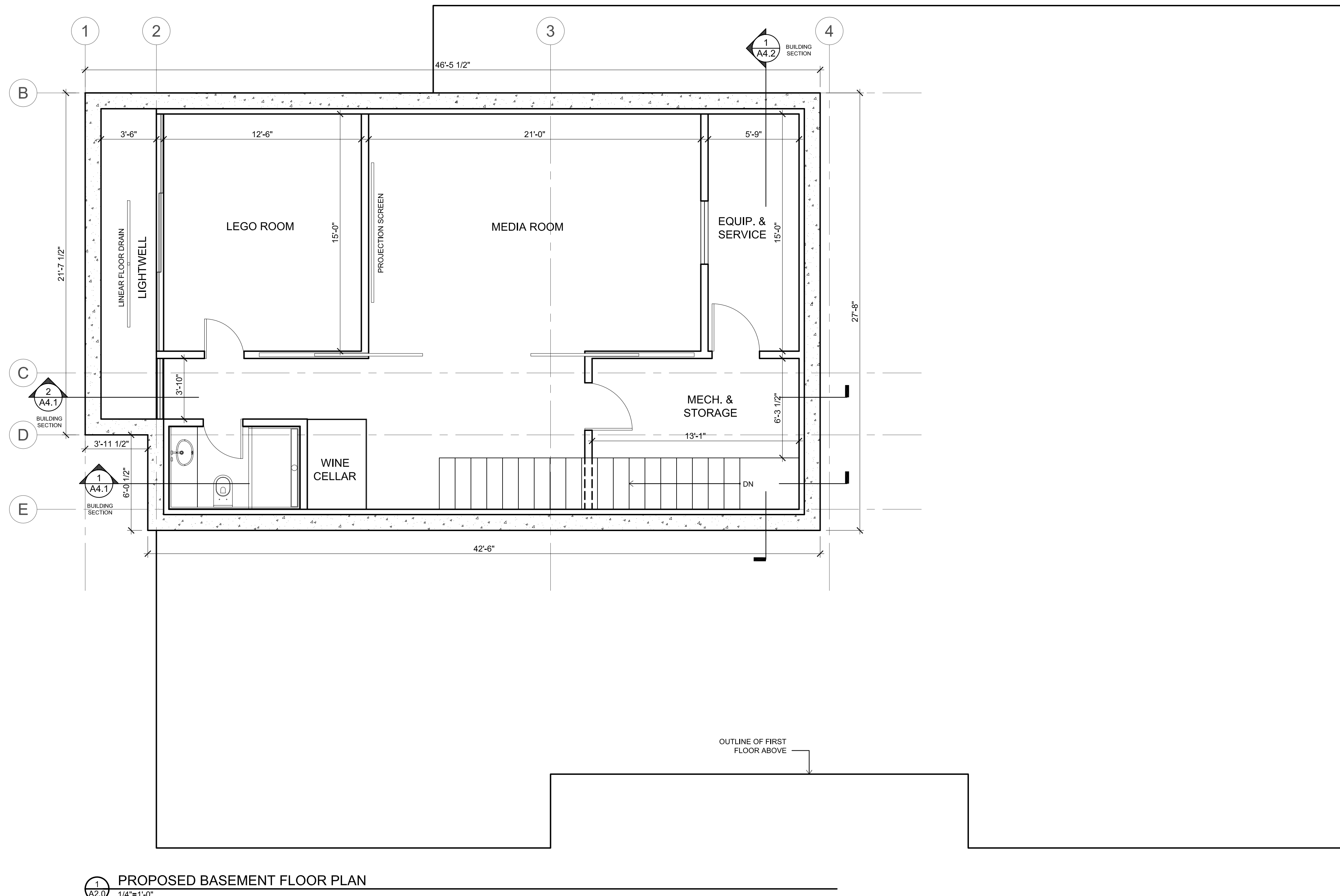
SEE SHEET A0.3 FOR BUILDING CODE REQUIREMENTS

KEY TO SYMBOLS:

- (1) FLOOR PLAN KEYNOTES
- (1) WINDOW SYMBOL, SEE SHEET A3.3 AND EXTERIOR ELEVATIONS
- (2) DOOR SYMBOL, SEE SHEET A3.3 AND EXTERIOR ELEVATIONS

GREEN BUILDING NOTES

- THAT ALL EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES, AND ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH WATER-CONSERVING PLUMBING FIXTURES. CGBSC SECTION 301.1.1
- THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. CGBSC SECTION 4.303.1.1
- ALL SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. CGBSC SECTION 4.303.1.3.1
- THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. CGBSC SECTION 4.303.1.4.1
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 80 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. CGBSC SECTION 4.303.1.4.4



PROPOSED BASEMENT FLOOR PLAN
 1/4"=1'-0"

REVISIONS	BY
6.25.18	MM
7.05.18	MM
8.20.18	MM

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SCALE	AS NOTED
JOB NAME	BODIS
SHEET	

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NOTES:

SITE

- SEE SITE PLAN & LANDSCAPING PLANS FOR NEW FENCING, ENTRY PATH, PAVING, DRIVEWAY, PATIOS, ETC.
- DECKS & BALCONIES - VERIFY TYPE & FINISH W/ ARCHITECT & OWNER. SELECTED MATERIAL SHALL BE SLIP-RESISTANT IN WET CONDITIONS.
- ALL EXTERIOR EGRESS DOORS MUST HAVE A MIN. 36" DEEP CLEAR LANDING NOT MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD & WITH A SLOPE NO GREATER THAN 1/4" PER FOOT.
- DOOR BETWEEN GARAGE & DWELLING TO BE 1 3/4" THICK, TIGHT FITTING, SELF-LATCHING, 20 MINUTE FIRE RATED DOOR.
- PER CRC 311.3 ALL EXTERIOR DOORS REQUIRE A LANDING, PROVIDE A LEVEL FLOOR LANDING ON EACH SIDE OF NON-EGRESS EXTERIOR DOORS NO MORE THAN 7 1/2" BELOW THE THRESHOLD.

EXCEPTIONS:

- EXTERIOR LANDINGS NEED TO SLOPE A MAX OF 2% AND IF NOT AT GRADE NEED STAIRS OR RAMPS TO GRADE.
- A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF TWO OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY.

FRAMING

- CONTRACTOR TO VERIFY DIMENSIONS WITH ARCHITECT BEFORE START OF CONSTRUCTION.
- SEE STRUCTURAL PLANS FOR SHEAR WALLS, POSTS, & HOLD-DOWN LOCATIONS. SEE BUILDING SECTIONS FOR TYPICAL WALL INSULATION LOCATIONS & VALUES. SEE ROOF PLAN FOR GUTTERS, PARAPETS & SKYLIGHTS. SEE WINDOW SCHEDULE & REVIEW WITH ARCHITECT.
- FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ELECTRICAL, MECHANICAL, & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS, LAYOUT OF FLOOR, & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADING OFF, CENTER FLOOR REGISTERS W/ DOORS, ALIGN CHUTES & CHASES, ETC. CONTRACTOR TO DISCUSS PLAN W/ ARCHITECT BEFORE THE START OF FRAMING.
- EXTERIOR WALLS** - (N) WALLS 2x6 WOOD STUDS @ 16" o.c. TYP., EXCEPT WHERE OTHERWISE NOTED.
- INTERIOR WALLS** - ALL INTERIOR WALLS ARE 2x6 WOOD STUDS @ 16" o.c. TYP. EXCEPT WHERE OTHERWISE NOTED.

INTERIOR FINISHES

- BLOCKING - SEE INTERIOR ELEVATIONS & FINISH SCHEDULE AND VERIFY WITH ARCHITECT PRIOR TO FRAMING. CONTRACTOR TO INSTALL BLOCKING AT ALL WALLS FOR BASE, TOWEL BARS, LIGHT FIXTURES, HANGING VANITIES & CABINETS, FLOATING SHELVES, TV'S, ETC.
 - INTERIOR FINISHES - 1/2" GYPSUM BOARD TYP. ALL INTERIOR WALLS U.N.O. 1/2" TYPE 'X' GYPSUM BOARD @ ALL WALLS & CEILING IN GARAGE & AT ENCLOSED SPACE UNDER STAIRS.
 - VERIFY ALL PAINT & FINISH SELECTIONS, BASEBOARD, TRIM, AND DOOR & WINDOW CASINGS W/ ARCHITECT IN FIELD. PROVIDE MOCK-UPS FOR APPROVAL PRIOR TO INSTALLATION.
 - GARAGE WALLS & CEILING TO BE FINISHED WITH 1/2" TYPE 'X' GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING AT SEPARATION WALL BETWEEN GARAGE & RESIDENCE. THE CEILING OF THE FLOOR-CEILING ASSEMBLY ABOVE THE GARAGE AND THE MEMBERS THAT SUPPORT THIS FLOOR-CEILING SEPARATION SUCH AS BEAM AND COLUMNS.
- CUSTOM CABINETRY AND BUILT-INS**
- CABINETRY - VERIFY INTERIOR ELEVATIONS WITH ARCHITECT PRIOR TO FRAMING, ELECTRICAL, AND PLUMBING.
 - KITCHEN CABINETRY - VERIFY INTERIOR ELEVATIONS WITH ARCHITECT. PRIOR TO FRAMING, ELECTRICAL, AND PLUMBING.
 - BUILT-IN SHELVES & CABINETS, VERIFY WITH OWNER/ARCHITECT.

STAIRS, HANDRAILS AND GUARDRAILS

- PROVIDE HANDRAILS & GUARDRAILS TO BE CAPABLE OF SUPPORTING 200 LB CONCENTRATED LOAD AT ANY ANGLE TO RAIL. OPEN GUARDRAILS OR HANDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH, TOP OF GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT.
- ONE HOUR FIRE RATED CONSTRUCTION CONSISTING OF 2 LAYERS OF TYPE-X GYPSUM BOARD TO BE INSTALLED ON THE UNDERSIDE OF STAIRS & BETWEEN GARAGE AND HABITABLE SPACE.

INTERIOR AND EXTERIOR FINISHES

- EXTERIOR FINISH - STUCCO PAINTED CEMENT PLASTER OVER PRIMER 1/4" MIN. THICK, 3-COAT APPLICATION W/ WEEP SCREED @ FOUNDATION PLATE LINE, OVER WIRE LATH OVER (2) LAYERS GRADE 1" BUILDING PAPER, OVER 1/2" SHEAR PLYWOOD, METAL PRIMER ON ALL GUTTERS & R.W.L. VERIFY ALL PAINT SELECTIONS WITH ARCHITECT.
- EXTERIOR FINISH - WOOD SIDING - CEDAR OR IPE (TBD), MILLED PER ARCHITECT'S DETAIL. BLIND NAIL PATTERN OVER WHITE BUILDING PAPER. REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- INTERIOR PAINT LOW VOC (VERIFY ALL WITH ARCHITECT/ OWNER). WALLS - FLAT LATEX OR EGGSHELL ON DRYWALL PRIMER; CEILING - FLAT. DOORS & TRIM - OIL OR SEMI GLOSS LATEX (VERIFY PRICE OPTIONS). CAULK ALL HOLES, AND PRIME (RE-CAULK & SAND AS NECESSARY) PRIOR TO FINAL FINISH COAT.

FLOOR FINISHES

- SMOOTH CONCRETE FINISH AT GARAGE SLAB. PROVIDE CONTROL JOINTS @ 10'-0" o.c. EACH WAY. SLOPE SLAB 1/8" PER FOOT TOWARDS OPENINGS TO DRAIN PER CIVIL DRAINAGE PLAN.
- HARDWOOD FLOORING. VERIFY STAIN, FINISHES, PATTERNS & DETAILS W/ ARCHITECT. HARDWOOD FLOOR WILL BE LEVELED WITH TILED FLOOR & WITH CONCRETE FLOOR. USE SCHLUTER TRANSITION, VERIFY SCHLUTER DESIGN WITH ARCHITECT.
- TILE FLOOR IN BATHROOMS (SELECTION TBD)
- USE METAL SCHLUTER TRANSITION BETWEEN DIFFERENT FLOORING (VERIFY SCHLUTER DESIGN WITH ARCHITECT)

PLUMBING, BATH FIXTURES, ACCESSORIES

- ALL NEW BATHROOM CABINETS, COUNTERS, PLUMBING FIXTURES, ACCESSORIES, & FINISHES TO BE SELECTED BY ARCHITECT/ OWNER. VERIFY ALL ROUGH PLUMBING REQUIREMENTS. SHOWERS & TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE ADJUSTED TO 120 DEGREES MAXIMUM.
- AT ALL SHOWERS & TUBS WITH SHOWERS, WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 8" ABOVE DRAIN. MATERIALS OTHER OR APPROVED EQUAL TO 8" ABOVE DRAIN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. VERIFY FINISH MATERIALS W/ ARCHITECT. INSTALL HOT-MOP SHOWER PAN @ ALL SHOWERS (TYPICAL). BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER UPC 410.5 VERIFY DRAIN LOCATION W/ OWNER. TEMPERED GLASS @ WINDOW & SHOWER ENCLOSURE. SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 3/4" OR 1/2" GLASS. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1.024 SQUARE INCHES, AND ALSO SHALL BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE, PER UPC 412.7
- PROVIDE & INSTALL ALL BATHROOM ACCESSORIES (I.E. VANITIES, MIRRORS, MEDICINE CABINETS, TOWEL BARS & HOOKS, TOILET PAPER HOLDERS, SOAP DISHES, ETC.) TO BE SELECTED BY ARCHITECT/OWNER. VERIFY LOCATIONS, PROVIDE BLOCKING.

PLUMBING

- VERIFY PLUMBING REQUIREMENTS & FRAMING REQUIREMENTS FOR CHOSEN PLUMBING FIXTURES.
- MAINTAIN A MIN. 30 INCH WIDE CLEAR SPACE AT WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT OF WATER CLOSET PER UPC 2904. WATER CLOSETS TO HAVE MAX. FLOW RATE OF 1.28 GALLONS PER FLUSH, PER CALIFORNIA HEALTH & SAFETY CODE. ALL SHOWER HEADS TO HAVE A MAX. FLOW OF 2.0 GPM, & KITCHEN FAUCET TO HAVE A MAX. FLOW RATE OF 1.8 GPM, & LAVATORY FAUCETS TO HAVE MAX. FLOW RATE OF 1.5 GPM.
- PROVIDE WATER CLOSET CLEARANCE MIN. 24" IN FRONT & 15" FROM THE CENTER TO A WALL OR OBSTRUCTION (CPC 402.5)
- PROVIDE AN OPENING TO THE SHOWER COMPARTMENT WITH MIN. DOOR CLEAR WIDTH OF 22" (CPC 408.5)
- PER CPC 603.5.7 ALL HOSE BIBS MUST HAVE BACK FLOW PROTECTION.
- PROVIDE AN ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE INSTALLED FOR ALL NEW, REPAIRED, REPLACED OR ALTERED BUILDING SEWERS.
- BUILDING SEWERS SHALL HAVE AN ATMOSPHERIC RELIEF VALVE INSTALLED UPSTREAM OF THE BACKWATER VALVE OUTSIDE THE BUILDING IN CLOSE PROXIMITY TO THE FOUNDATION. PROVIDE STREET CLEAN OUT 2' TO 5' BEHIND PROPERTY LINE.
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 - INSIDE THE BUILDING PER 2013 CBC SECTION 1203.4.1.1 WITH THE DOOR TO THE THEATER CLOSED
- ONLY DECORATIVE GAS APPLIANCES, PELLET-FUELED WOOD HEATERS OR EPA PHASE II CERTIFIED WOOD-BURNING APPLIANCES MAY BE INSTALLED AS PERMITTED PER CHAPTER 12.64 OF THE MUNICIPAL CODE (SOLID FUEL BURNING FIREPLACES SHALL BE EPA CERTIFIED).

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SUMP PUMPS

- SEWER & EXTERIOR STORM DRAINS AT LIGHT WELLS. A SEWER EJECTOR OR SEWAGE PUMP RECEIVING THE DISCHARGE OF WATER CLOSET SHALL BE CAPABLE OF PASSING A 1-1/2" DIAMETER SOLID BALL, & THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE & GATE VALVE, & BE A MINIMUM OF 2" IN DIAMETER PER CPC 710.3.2

FRAMING NOTES:

- ALL THE DIMENSIONS ARE TO FACE OF STUD
- Dimensions of ALL the openings are of frame size of windows and doors.
- Framer to add :
 - * 4" to R/O of interior doors and entry door (2" on each side).
 - * 1/2" to R/O of windows (1/4" on each side).
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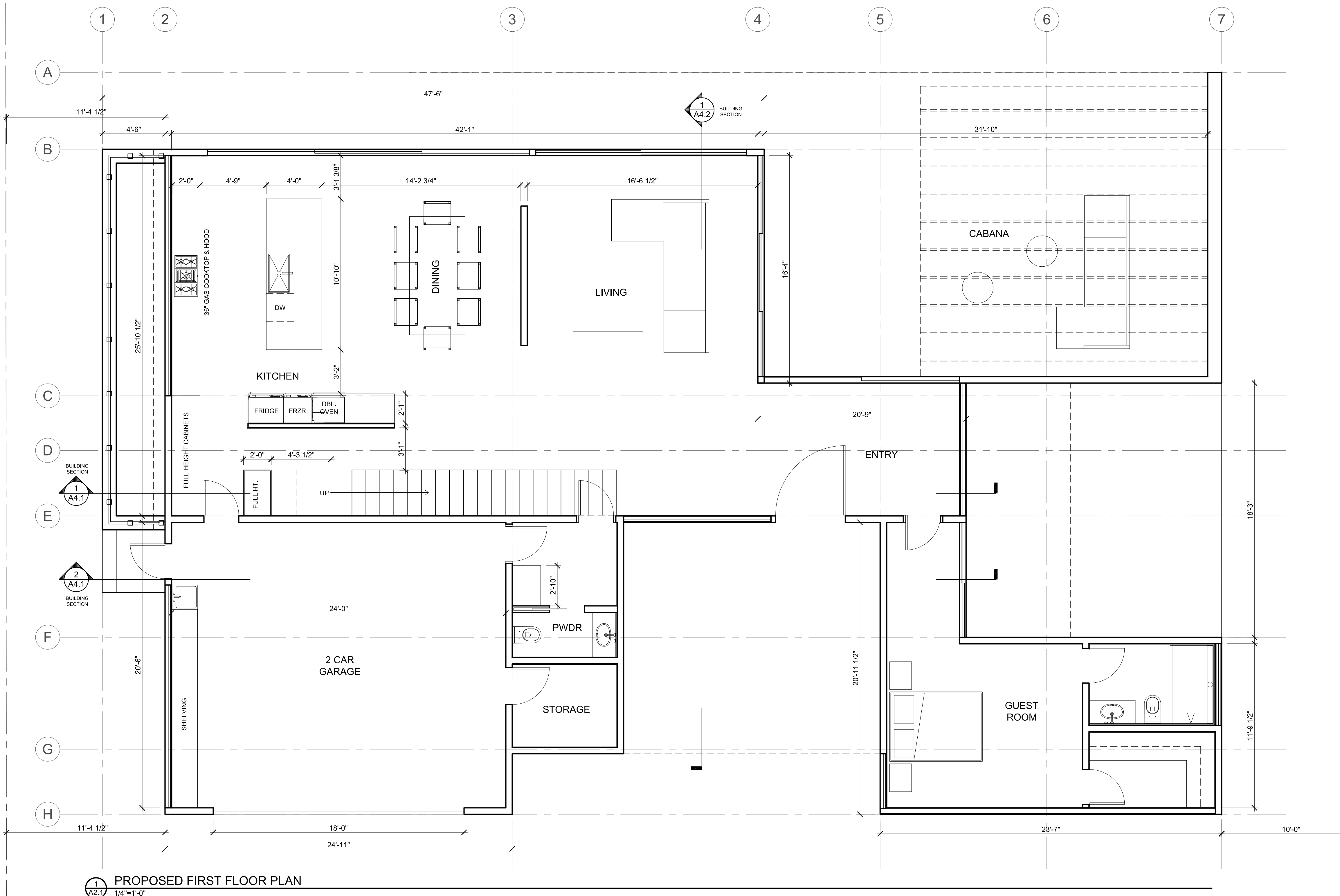
SEE SHEET A0.3 FOR BUILDING CODE REQUIREMENTS

KEY TO SYMBOLS:

- 11 FLOOR PLAN KEYNOTES
- 1 WINDOW SYMBOL, SEE SHEET A3.3 AND EXTERIOR ELEVATIONS
- 2 DOOR SYMBOL, SEE SHEET A3.3 AND EXTERIOR ELEVATIONS

GREEN BUILDING NOTES

- THAT ALL EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. AND ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH WATER-CONSERVING PLUMBING FIXTURES, CGSBC SECTION 301.1.1
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1 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"

REVISIONS	BY
6.25.18	MM
7.05.18	MM
8.20.18	MM

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CHECKED	MM
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SCALE	AS NOTED
JOB NAME	BODIS
SHEET	

A2.1

NOTES:

SITE

- SEE SITE PLAN & LANDSCAPING PLANS FOR NEW FENCING, ENTRY PATH, PAVING, DRIVEWAY, PATIOS, ETC.
- DECKS & BALCONIES - VERIFY TYPE & FINISH W/ ARCHITECT & OWNER. SELECTED MATERIAL SHALL BE SLIP-RESISTANT IN WET CONDITIONS.
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EXCEPTIONS:

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FRAMING

- CONTRACTOR TO VERIFY DIMENSIONS WITH ARCHITECT BEFORE START OF CONSTRUCTION.
- SEE STRUCTURAL PLANS FOR SHEAR WALLS, POSTS, & HOLD-DOWN LOCATIONS. SEE BUILDING SECTIONS FOR TYPICAL WALL INSULATION LOCATIONS & VALUES, SEE ROOF PLAN FOR GUTTERS, PARAPETS & SKYLIGHTS. SEE WINDOW SCHEDULE & REVIEW WITH ARCHITECT.
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- INTERIOR WALLS - ALL INTERIOR WALLS ARE 2x6 WOOD STUDS @ 16" o.c. TYP. EXCEPT WHERE OTHERWISE NOTED.

INTERIOR FINISHES

- BLOCKING - SEE INTERIOR ELEVATIONS & FINISH SCHEDULE AND VERIFY WITH ARCHITECT PRIOR TO FRAMING. CONTRACTOR TO INSTALL BLOCKING AT ALL WALLS FOR BASE, TOWEL BARS, LIGHT FIXTURES, HANGING VANITIES & CABINETS, FLOATING SHELVES, TVs, ETC.
- INTERIOR FINISHES - 1/2" GYPSUM BOARD TYP. ALL INTERIOR WALLS U.N.O. 1/2" TYPE 'X' GYPSUM BOARD @ ALL WALLS & CEILING IN GARAGE & AT ENCLOSED SPACE UNDER STAIRS.
- VERIFY ALL PAINT & FINISH SELECTIONS, BASEBOARD, TRIM, AND DOOR & WINDOW CASINGS W/ ARCHITECT IN FIELD. PROVIDE MOCK-UPS FOR APPROVAL PRIOR TO INSTALLATION.
- GARAGE WALLS & CEILING TO BE FINISHED WITH 1/2" TYPE 'X' GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING AT SEPARATION WALL BETWEEN GARAGE & RESIDENCE. THE CEILING OF THE FLOOR-CEILING ASSEMBLY ABOVE THE GARAGE AND THE MEMBERS THAT SUPPORT THIS FLOOR-CEILING SEPARATION SUCH AS BEAM AND COLUMNS.

CUSTOM CABINETRY AND BUILT-INS

- CABINETRY - VERIFY INTERIOR ELEVATIONS WITH ARCHITECT PRIOR TO FRAMING, ELECTRICAL, AND PLUMBING.
- KITCHEN CABINETRY - VERIFY INTERIOR ELEVATIONS WITH ARCHITECT, PRIOR TO FRAMING, ELECTRICAL, AND PLUMBING.
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STAIRS, HANDRAILS AND GUARDRAILS

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INTERIOR AND EXTERIOR FINISHES

- EXTERIOR FINISH - STUCCO PAINTED CEMENT PLASTER OVER PRIMER 1/2" MIN. THICK, 3-COAT APPLICATION W/ WEEP SCREED @ FOUNDATION PLATE LINE, OVER WIRE LATH OVER (2) LAYERS GRADE 'D' BUILDING PAPER, OVER 1/2" SHEAR PLYWOOD, METAL PRIMER ON ALL GUTTERS & R.W.L. VERIFY ALL PAINT SELECTIONS WITH ARCHITECT.
- EXTERIOR FINISH - WOOD SIDING - CEDAR OR IPE (TBD), MILLED PER ARCHITECT'S DETAIL, BLIND NAIL PATTERN OVER WHITE BUILDING PAPER, REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
- INTERIOR PAINT LOW VOC (VERIFY ALL WITH ARCHITECT/ OWNER). WALLS - FLAT LATEX OR EGGSHELL ON DRYWALL PRIMER; CEILING - FLAT, DOORS & TRIM - OIL OR SEMI GLOSS LATEX (VERIFY PRICE OPTIONS); CAULK ALL HOLES, AND PRIME (RE-CAULK & SAND AS NECESSARY) PRIOR TO FINAL FINISH COAT.

FLOOR FINISHES

- SMOOTH CONCRETE FINISH AT GARAGE SLAB. PROVIDE CONTROL JOINTS @ 10'-0" o.c. EACH WAY. SLOPE SLAB 1/8" PER FOOT TOWARDS OPENINGS TO DRAIN PER CIVIL DRAINAGE PLAN.
- HARDWOOD FLOORING, VERIFY STAIN, FINISHES, PATTERNS & DETAILS W/ARCHITECT. HARDWOOD FLOOR WILL BE LEVELED WITH TILED FLOOR & WITH CONCRETE FLOOR. USE SCHLUTER TRANSITION, VERIFY SCHLUTER DESIGN WITH ARCHITECT.
- TILE FLOOR IN BATHROOMS (SELECTION TBD)
- USE METAL SCHLUTER TRANSITION BETWEEN DIFFERENT FLOORING (VERIFY SCHLUTER DESIGN WITH ARCHITECT)

PLUMBING, BATH FIXTURES, ACCESSORIES

- ALL NEW BATHROOM CABINETS, COUNTERS, PLUMBING FIXTURES, ACCESSORIES, & FINISHES TO BE SELECTED BY ARCHITECT/ OWNER. VERIFY ALL ROUGH PLUMBING REQUIREMENTS. SHOWERS & TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE ADJUSTED TO 120 DEGREES MAXIMUM.
- AT ALL SHOWERS & TUBS WITH SHOWERS, WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 80" ABOVE DRAIN. MATERIALS OTHER OR APPROVED EQUAL TO 80" ABOVE DRAIN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. VERIFY FINISH MATERIALS W/ARCHITECT. INSTALL HOT-MOP SHOWER PAN @ ALL SHOWERS (TYPICAL). BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER UPC 410.5 VERIFY DRAIN LOCATION W/OWNER. TEMPERED GLASS @ WINDOW & SHOWER ENCLOSURE. SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 1/2" OR 3/4" GLASS. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQUARE INCHES, AND ALSO SHALL BE CAPABLE OF ENCOMPASSING A 30-INCH CIRCLE, PER UPC 412.7
- PROVIDE & INSTALL ALL BATHROOM ACCESSORIES (I.E. VANITIES, MIRRORS, MEDICINE CABINETS, TOWEL BARS & HOOKS, TOILET PAPER HOLDERS, SOAP DISHES, ETC.) TO BE SELECTED BY ARCHITECT/OWNER. VERIFY LOCATIONS, PROVIDE BLOCKING.

PLUMBING

- PROVIDE PLUMBING REQUIREMENTS & FRAMING REQUIREMENTS FOR CHOSEN PLUMBING FIXTURES.
- MAINTAIN A MIN. 30 INCH WIDE CLEAR SPACE AT WATER CLOSET, EXTENDING AT LEAST 24 INCHES IN FRONT OF WATER CLOSET PER UPC 2904. WATER CLOSETS TO HAVE MAX. FLOW RATE OF 1.28 GALLONS PER FLUSH, PER CALIFORNIA HEALTH & SAFETY CODE. ALL SHOWER HEADS TO HAVE A MAX. FLOW OF 2.0 GPM, & KITCHEN FAUCET TO HAVE A MAX. FLOW RATE OF 1.8 GPM, & LAVATORY FAUCETS TO HAVE MAX. FLOW RATE OF 1.5 GPM.
- PROVIDE WATER CLOSET CLEARANCE MIN. 24" IN FRONT & 15" FROM THE CENTER TO A WALL OR OBSTRUCTION (CPC 402.5)
- PROVIDE AN OPENING TO THE SHOWER COMPARTMENT WITH MIN. DOOR CLEAR WIDTH OF 22" (CPC 408.5)
- PER CPC 603.5.7 ALL HOSE BIBS MUST HAVE BACK FLOW PROTECTION.
- PROVIDE AN ATMOSPHERIC & LISTED ACCESSIBLE BACK FLOW WATER VALVE INSTALLED FOR ALL NEW, REPAIRED, REPLACED OR ALTERED BUILDING SEWERS.
- BUILDING SEWERS SHALL HAVE AN ATMOSPHERIC RELIEF VALVE INSTALLED UPSTREAM OF THE BACKWATER VALVE OUTSIDE THE BUILDING IN CLOSE PROXIMITY TO THE FOUNDATION. PROVIDE STREET CLEAN OUT 2' TO 5' BEHIND PROPERTY LINE.
- PROVIDE STATE ARCHITECT CERTIFIED EARTHQUAKE-ACTUATED GAS SHUTOFF VALVES AT ALL NEW, RELOCATED, AND REPLACED GAS UTILITY METERS.
- EACH VENT SHALL TERMINATE NOT LESS THAN 10' FROM, OR NOT LESS THAN 3' ABOVE AN OPENABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT, OR NOT LESS THAN 3' IN EVERY DIRECTION FROM A LOT LINE, ALLEY & STREET. CPC 906.2.

BASEMENT THEATERS/MEDIA ROOMS

- BASEMENT THEATERS/MEDIA ROOMS SHALL HAVE EITHER A DIRECT EMERGENCY EGRESS DOOR OR WINDOW TO OUTSIDE OR AN INTERCONNECTED SMOKE DETECTION & VISUAL STROBE INSTALLED WHEN THE ENTIRE BUILDING IS PROVIDED WITH A NFPA 13D SPRINKLER SYSTEM. SUCH ROOMS SHALL INCLUDE ADEQUATE VENTILATION FROM EITHER:
 - OUTSIDE THE BUILDING PER 2013 CBC SECTION 1203.4.1. OR
 - INSIDE THE BUILDING PER 2013 CBC SECTION 1203.4.1.1 WITH THE DOOR TO THE THEATER CLOSED

FIREPLACES

- ONLY DECORATIVE GAS APPLIANCES, PELLET-FUELED WOOD HEATERS OR EPA PHASE II CERTIFIED WOOD-BURNING APPLIANCES MAY BE INSTALLED AS PERMITTED PER CHAPTER 12.64 OF THE MUNICIPAL CODE (SOLID FUEL BURNING FIREPLACES SHALL BE EPA CERTIFIED).

VENTILATION

- MIN. LOCAL EXHAUST RATE OF BATHROOM FANS SHALL BE 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION. CRC R303.3 & CMC TABLE 403.7.

SUMP PUMPS

- SEWER & EXTERIOR STORM DRAINS AT LIGHT WELLS. A SEWER EJECTOR OR SEWAGE PUMP RECEIVING THE DISCHARGE OF WATER CLOSET SHALL BE CAPABLE OF PASSING A 1-1/2" DIAMETER SOLID BALL, & THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP SHALL HAVE A BACKWATER VALVE & GATE VALVE, & BE A MINIMUM OF 2" IN DIAMETER PER CPC 710.3.2

FRAMING NOTES:

- ALL THE DIMENSIONS ARE TO FACE OF STUD
- Dimensions of ALL the openings are of frame size of windows and doors.
- Framer to add :
 - * 4" to R/O of interior doors and entry door (2" on each side).
 - * 1/2" to R/O of windows (1/4" on each side).
- See bathroom elevations for niches. Review with architect before framing.
- Transition between flooring materials will have metal Schluter.
- Review with architect location for mini split (AC) devices.
- Framer to notify architect and builder if windows need to be shortened.

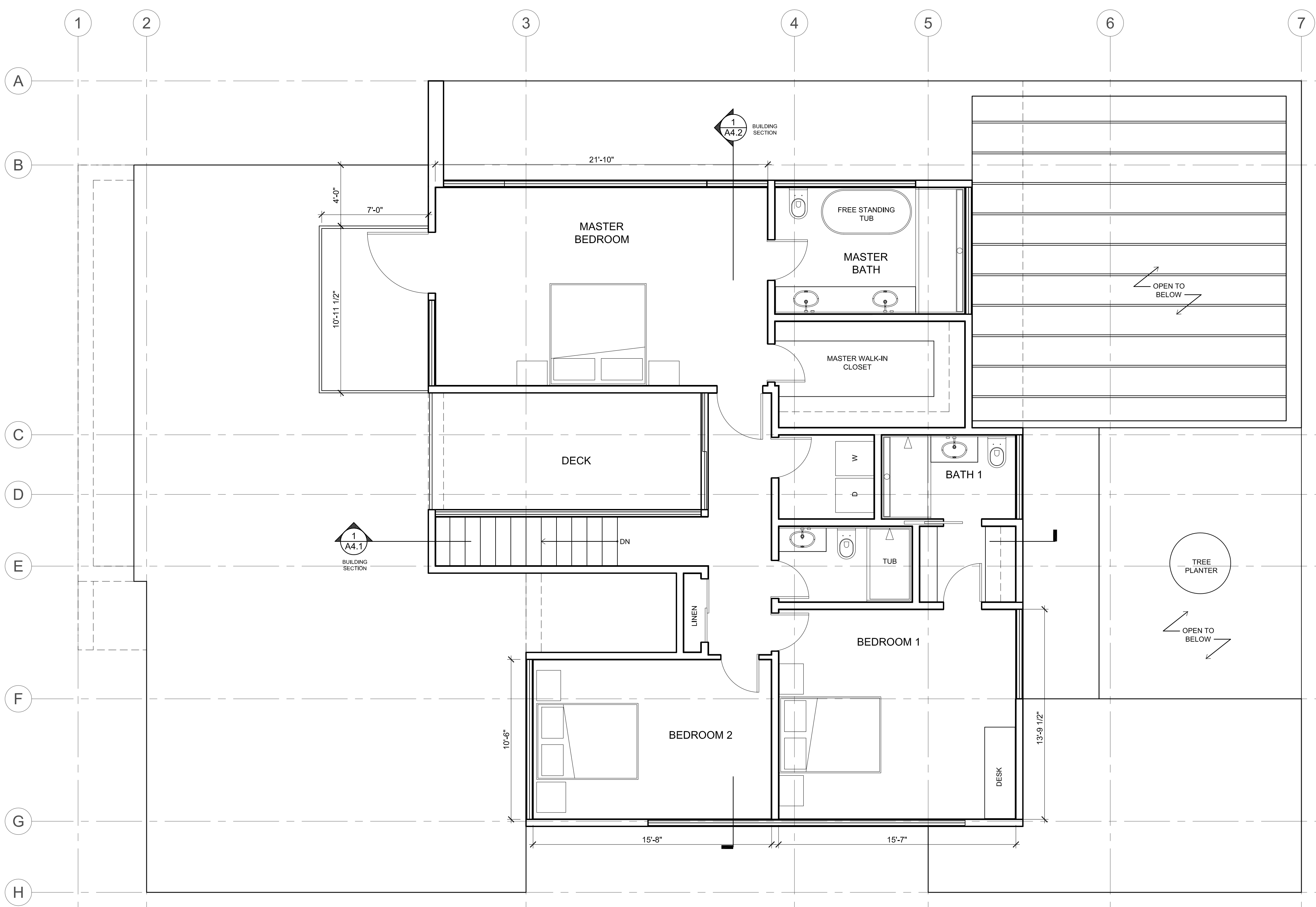
SEE SHEET A0.3 FOR BUILDING CODE REQUIREMENTS

KEY TO SYMBOLS:

- FLOOR PLAN KEYNOTES
- WINDOW SYMBOL, SEE SHEET A3.3 AND EXTERIOR ELEVATIONS
- DOOR SYMBOL, SEE SHEET A3.3 AND EXTERIOR ELEVATIONS

GREEN BUILDING NOTES

- THAT ALL EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES, AND ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH WATER-CONSERVING PLUMBING FIXTURES, CGSBC SECTION 301.1.1
- THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH, CGSBC SECTION 4.303.1.1
- ALL SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI, CGSBC SECTION 4.303.1.3.1
- THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI, CGSBC SECTION 4.303.1.4.1
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI, KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI, CGSBC SECTION 4.303.1.4.4



1 A2.2 1/4"=1'-0" PROPOSED SECOND FLOOR PLAN

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8.20.18	MM

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Bodis Residence
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CHECKED	MM
DATE	7.05.18
SCALE	AS NOTED
JOB NAME	BODIS
SHEET	

A2.2

ROOFING MATERIAL: TPO ROOFING MEMBRANE

FIRESTONE PRODUCT
ESR AND LINK AVAILABLE
UPON REQUEST

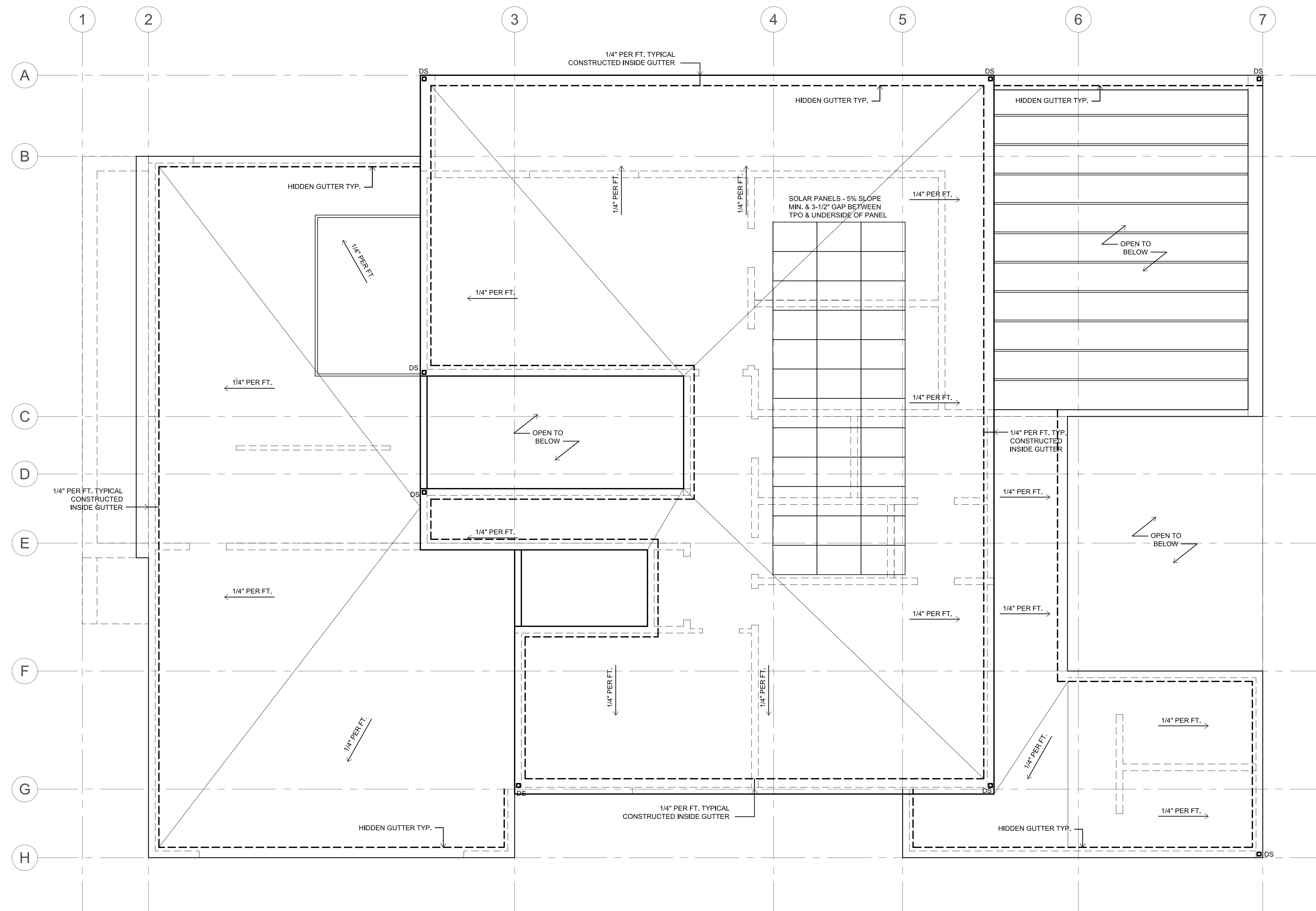
VENTING: OVERHANGS TO HAVE A CONTINUOUS
SCREENED VENT

INSULATION: R38 CLOSED CELL FOAM INSULATION

BAYER BAY SEAL CCX CLOSED CELL
ESR AVAILABLE UPON REQUEST

NOTE:

FINISHED ROOFING MATERIAL SHALL
BE INSTALLED AND COMPLETED PRIOR
TO FRAME INSPECTION.



1
A2.4
PROPOSED ROOF PLAN
1/4"=1'-0"

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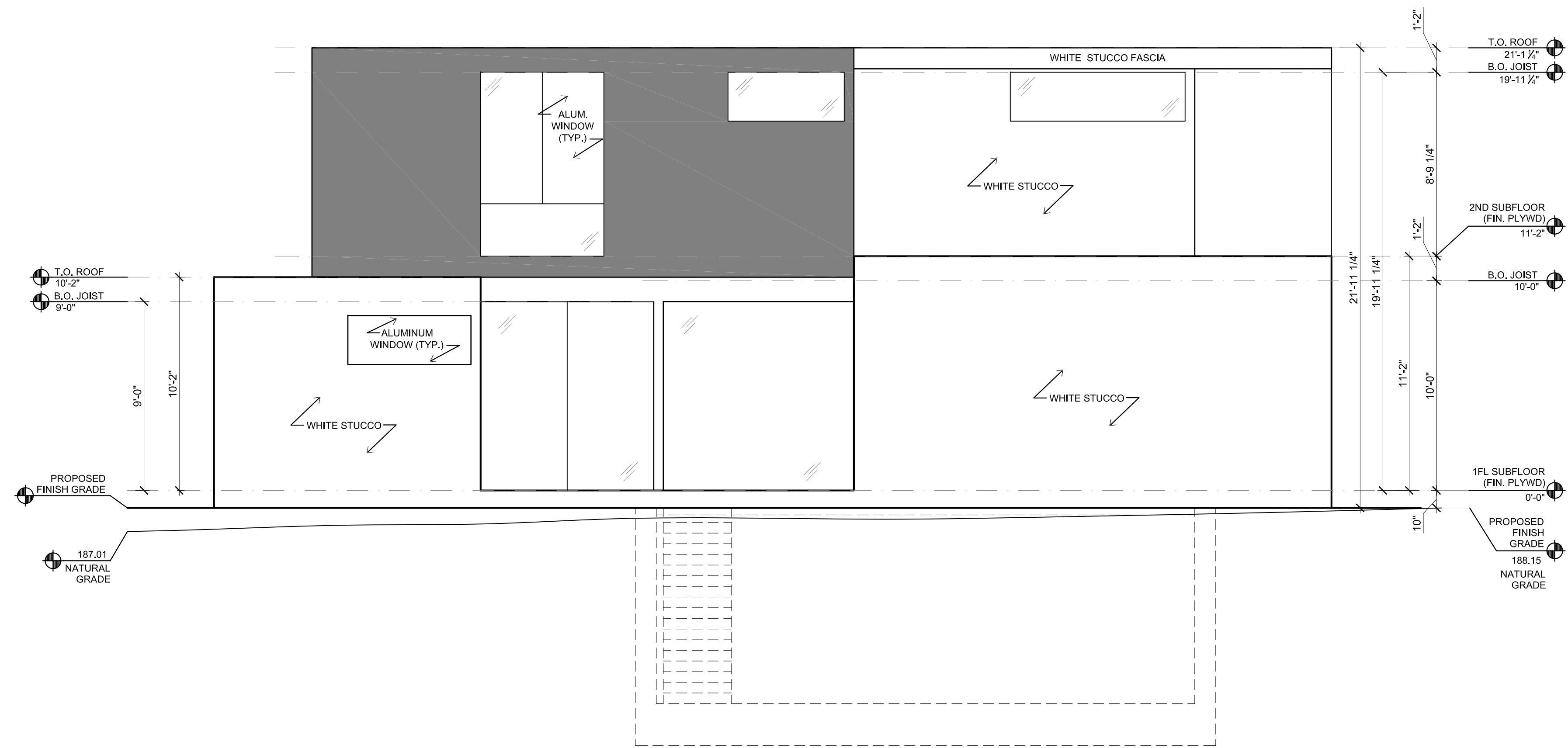


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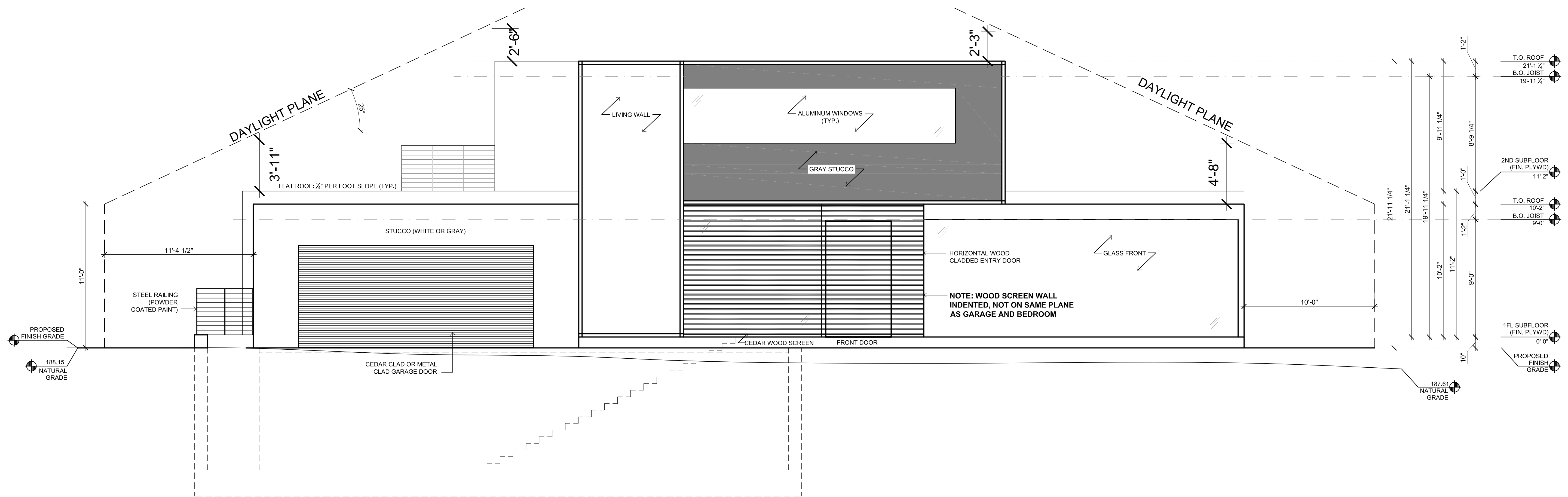
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A2.4



2 PROPOSED SIDE (SOUTH) EXTERIOR ELEVATION
A3.1 1/4"=1'-0"



1 PROPOSED FRONT (WEST) EXTERIOR ELEVATION
A3.1 1/4"=1'-0"

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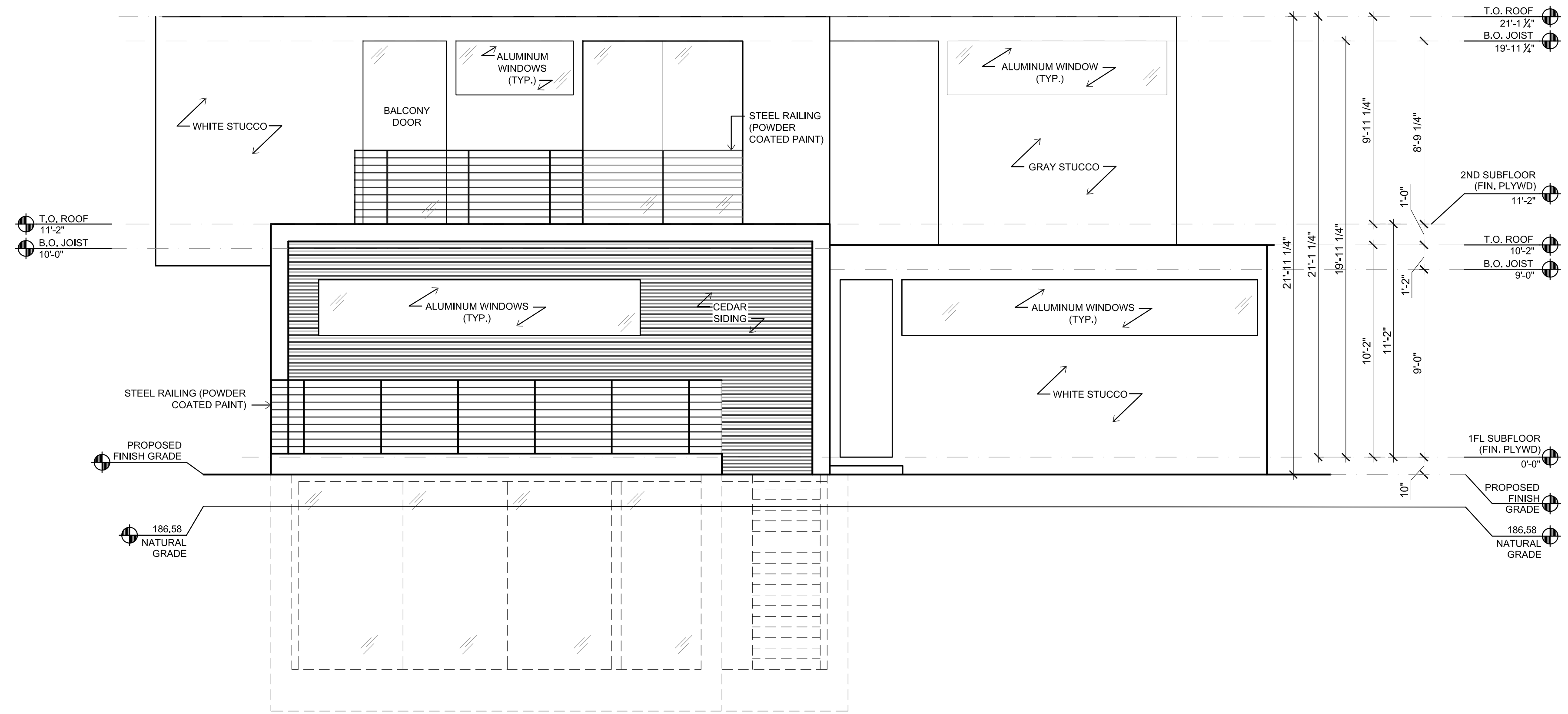


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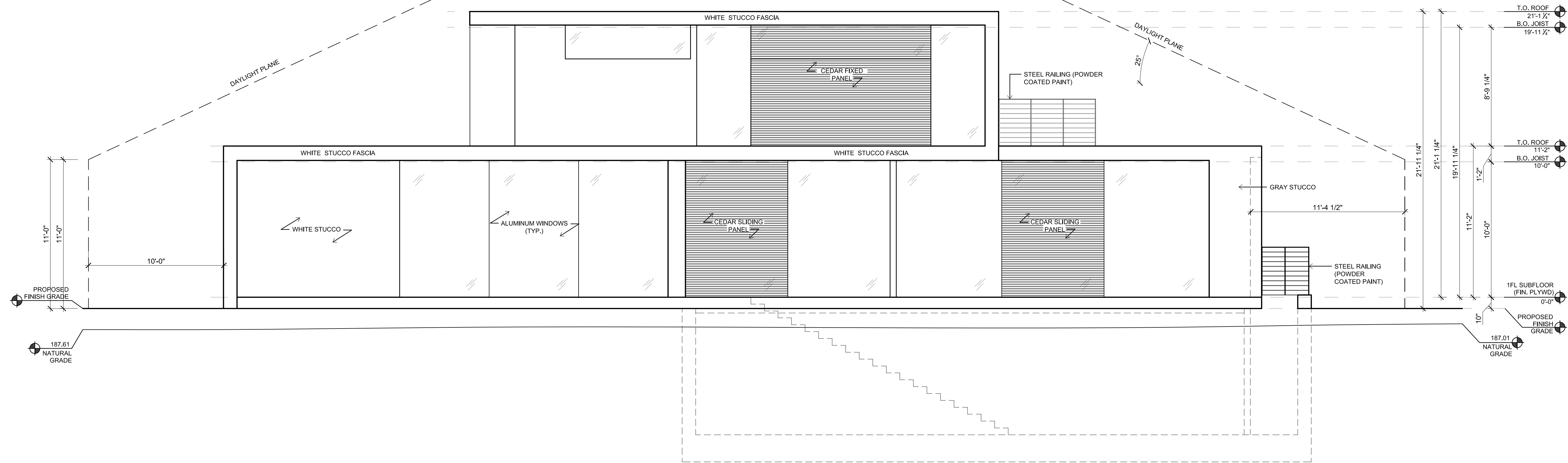
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A3.1



2 PROPOSED SIDE (NORTH) EXTERIOR ELEVATION
A3.2 1/4"=1'-0"



1 PROPOSED REAR (EAST) EXTERIOR ELEVATION
A3.2 1/4"=1'-0"

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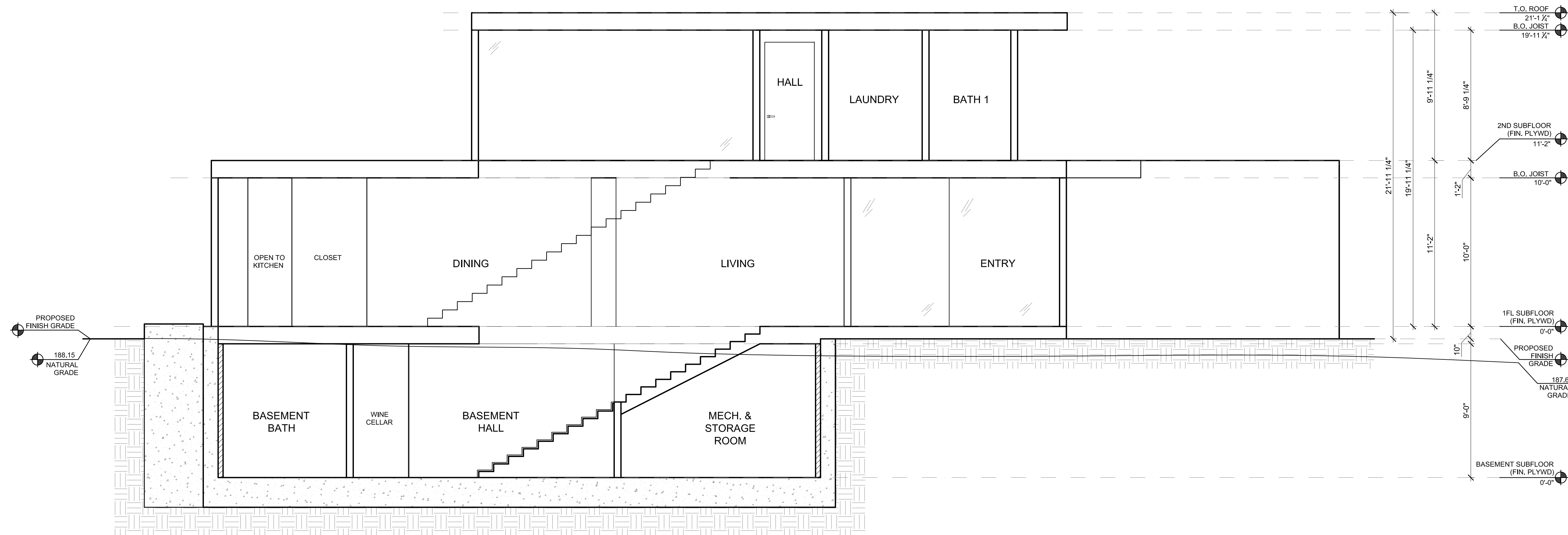
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A3.2



2 PROPOSED BUILDING SECTION
1/4"=1'-0"



1 PROPOSED BUILDING SECTION
1/4"=1'-0"

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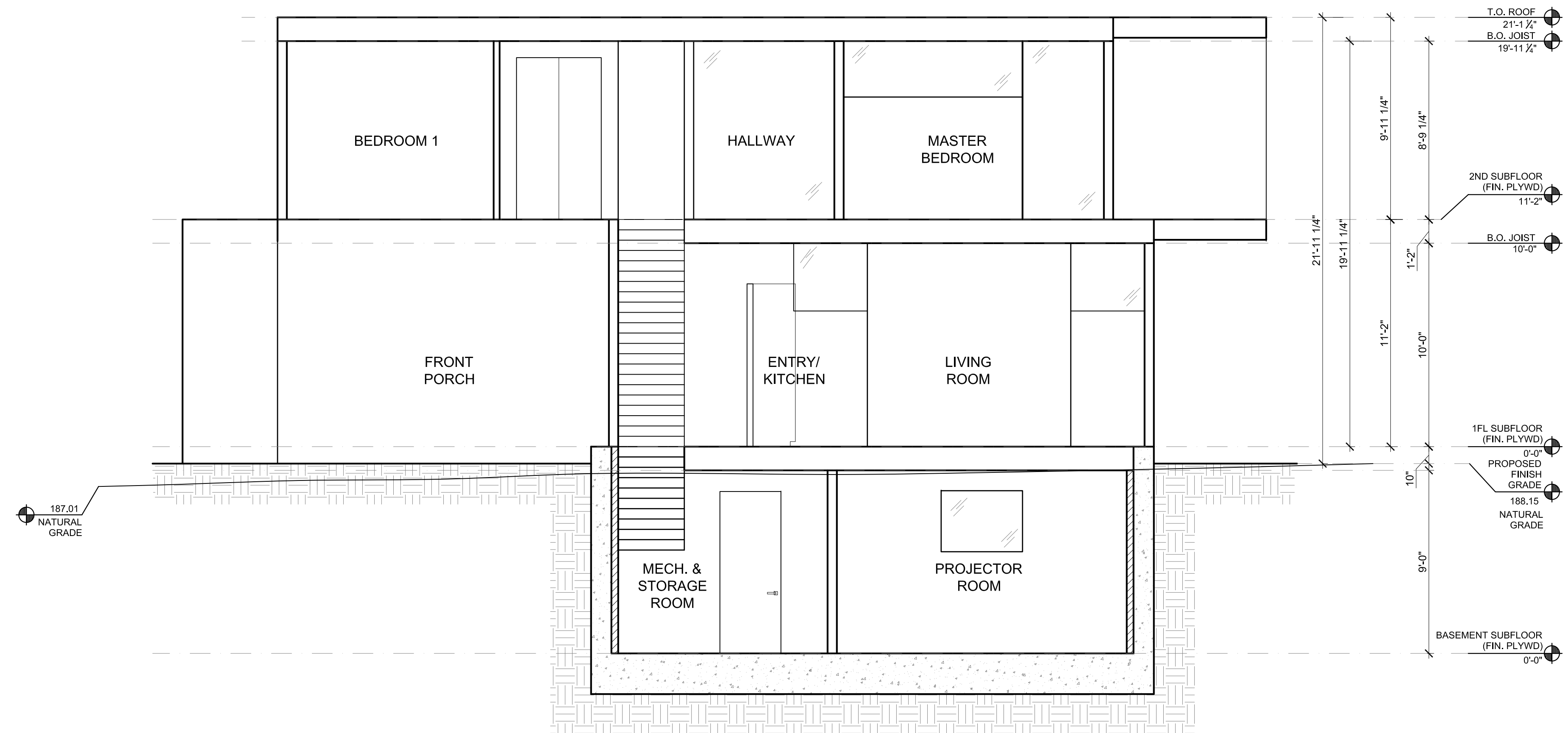


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A4.2



1 PROPOSED BUILDING SECTION
 A4.2 1/4"=1'-0"



FRONT LEFT VIEW



FRONT LEFT VIEW W/ LANDSCAPING



FRONT RIGHT VIEW

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A5.0



BACK RIGHT VIEW WITH HEDGES REMOVED



BACK LEFT VIEW WITH HEDGES REMOVED



BACK LEFT VIEW WITH HEDGES

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