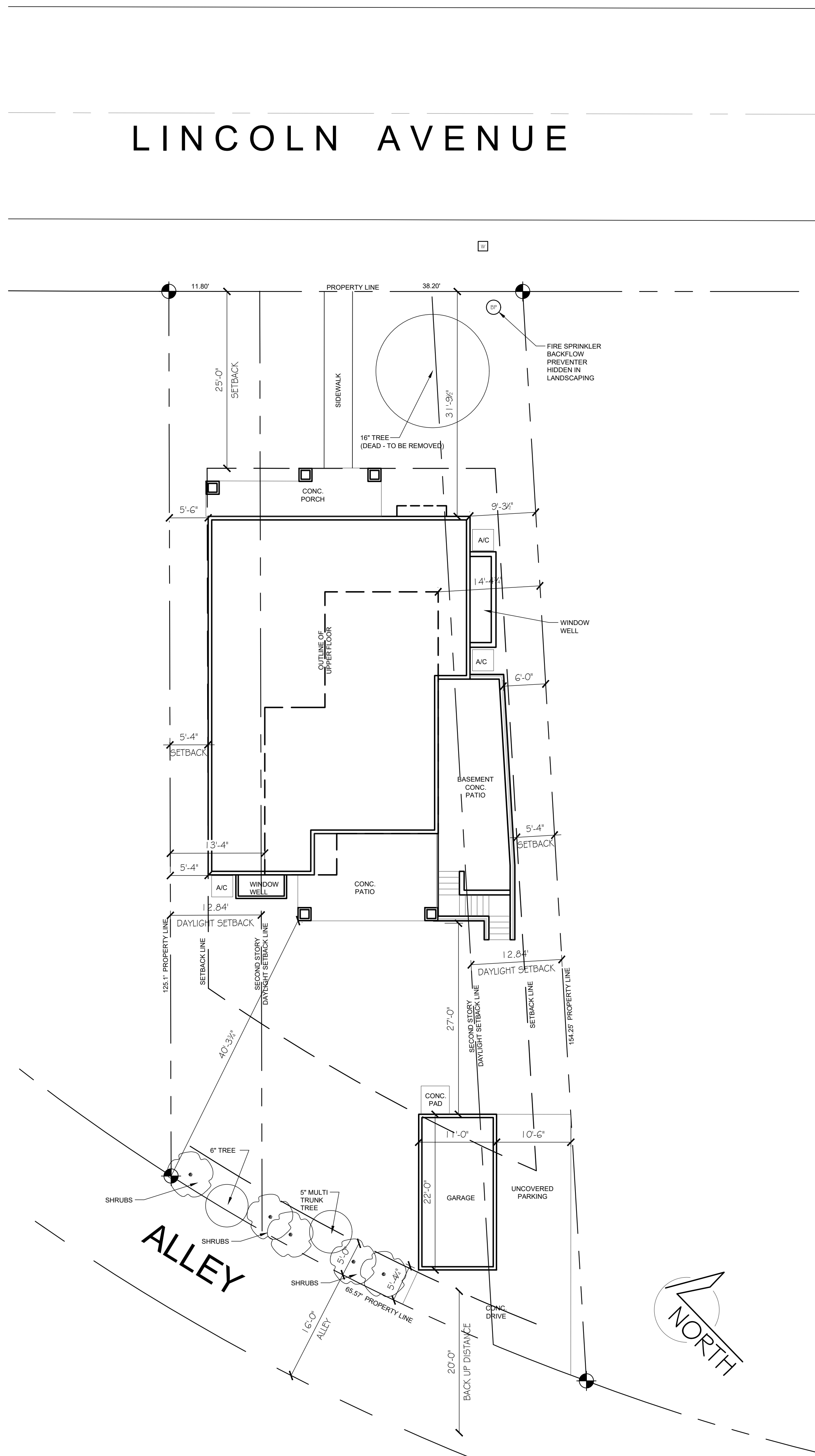


**VICINITY MAP**  
SCALE: N.T.S.



**SITE PLAN**  
SCALE: 1" = 10'-0"

**SHEET INDEX**

- ARCHITECTURAL GENERAL SHEETS  
 G1.0 COVER & SITE PLAN  
 G1.1 NEIGHBORHOOD CONTEXT MAP  
 G1.2 FLOOR AREA COVERAGE DIAGRAM
- CIVIL  
 C1 GRADING AND DRAINAGE PLAN  
 C2 GRADING AND DRAINAGE DETAILS  
 C3 EROSION CONTROL PLAN
- TOPOGRAPHICAL  
 1 BOUNDARY AND TOPOGRAPHICAL MAP  
 2 BOUNDARY AND TOPOGRAPHICAL MAP
- LANDSCAPE  
 L-1 LANDSCAPING PLAN  
 L-2 TREE PROTECTION PLAN
- ARCHITECTURAL PLANS  
 A2.0 MAIN & UPPER FLOOR PLANS  
 A2.1 FOUNDATION/BASEMENT & ROOF PLANS  
 A3.0A ELEVATIONS - OPTION 1  
 A3.0B ELEVATIONS - OPTION 1  
 A3.1A ELEVATIONS - OPTION 2  
 A3.1B ELEVATIONS - OPTION 2  
 A4.0 GARAGE PLANS & ELEVATIONS  
 A6.0 BUILDING SECTIONS & DETAILS

**DESIGN TEAM**

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 OSUNAENGINEERING@GMAIL.COM

**PROJECT DESCRIPTION**

CONSTRUCTION OF A NEW TWO-STORY RESIDENCE WITH BASEMENT AND DETACHED GARAGE ON A SINGLE FAMILY ZONED LOT WITHIN LOS ALTOS CITY LIMITS. EXISTING STRUCTURE ON THE PROPERTY TO BE DEMOLISHED UNDER A SEPARATE PERMIT. WORK TO INCLUDE PROTECTION OF EXISTING LANDSCAPING, NEW FIRE-SPRINKLERED RESIDENCE, AND NEW LANDSCAPING.

**LEGAL DESCRIPTION**

LOT SIZE: 7,592 SQ FT / 0.18 ACRES

ADDRESS: 566 LINCOLN AVE, LOS ALTOS, CA

PARCEL NO. 175-16-083, LOS ALTOS, SANTA CLARA COUNTY, CALIFORNIA

**ZONING COMPLIANCE**

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	1632 square feet (21.5%)	2275 square feet (29.9%)	2277 square feet (30%)
FLOOR AREA	1st Flr: 1522 sq. ft. 2nd Flr: 0 sq. ft. Total: 1522 sq. ft. (20.0%)	1st Flr: 1900 sq. ft. 2nd Flr: 756 sq. ft. Total: 2656 sq. ft. (34.98%)	1st Flr: - sq. ft. 2nd Flr: - sq. ft. Total: 2657 sq. ft. (35%)
SETBACKS:	Front: 28 feet Rear: 49 feet Right Side (1st/2nd): 11 feet/ 6 feet Left Side (1st/2nd): 5 feet/ 0 feet	25.0 feet 40.0 feet 5.34 feet/ 13.34 feet 9.29 feet/ 14.42 feet	25 feet 25 feet 5.34 feet/ 12.84 feet 5.34 feet/ 12.84 feet
HEIGHT:	16.75 feet	24.46 feet	27 feet

**SQUARE FOOTAGE BREAKDOWN**

	Existing	Change In	Total Proposed
HABITABLE LIVING AREA:	1082 square feet	3005 square feet	4087 square feet
NON-HABITABLE LIVING AREA:	440 square feet	-209 square feet	231 square feet

**LOT CALCULATIONS**

NET LOT AREA:	7592 square feet
FRONT YARD HARDSCAPE AREA:	100 square feet
LANDSCAPING BREAKDOWN:	Total hardscape area (existing and proposed): 1121 square feet Existing softscape (undisturbed) area: 1075 square feet New softscape (new or replaced landscaping) area: 3119 square feet

**GENERAL SITE NOTES**

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND SITE REQUIREMENTS. RESOLVE ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
- FIELD VERIFY ALL BUILDING SETBACKS AND EASEMENTS ARE MET PRIOR TO FOUNDATION POUR.
- ALL PUBLIC UTILITIES EXISTING OR AVAILABLE PER SUBDIVISION PLAT WITHIN UTILITY EASEMENT.
- SEE GENERAL NOTES FOR CONSTRUCTION.
- ALL EXISTING TREES AND LANDSCAPING SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

**LEGEND**

- PROPERTY BOUNDARY
- - - BUILDING SETBACK
- LOT CORNER
- ▭ NEW BUILDING
- PLANTS & TREES - SEE LANDSCAPE SCHEDULES

BENINTENDI ARCHITECTURAL DESIGNS © 2018

**JULIE BENINTENDI**  
DESIGNER  
1508 S BIGGS STREET \* BOISE, IDAHO 83709  
208.869.4971 \* juliebentendidi@yahoo.com

CALQUAL - SPEC HOME  
566 LINCOLN AVE  
LOS ALTOS, CA 94022

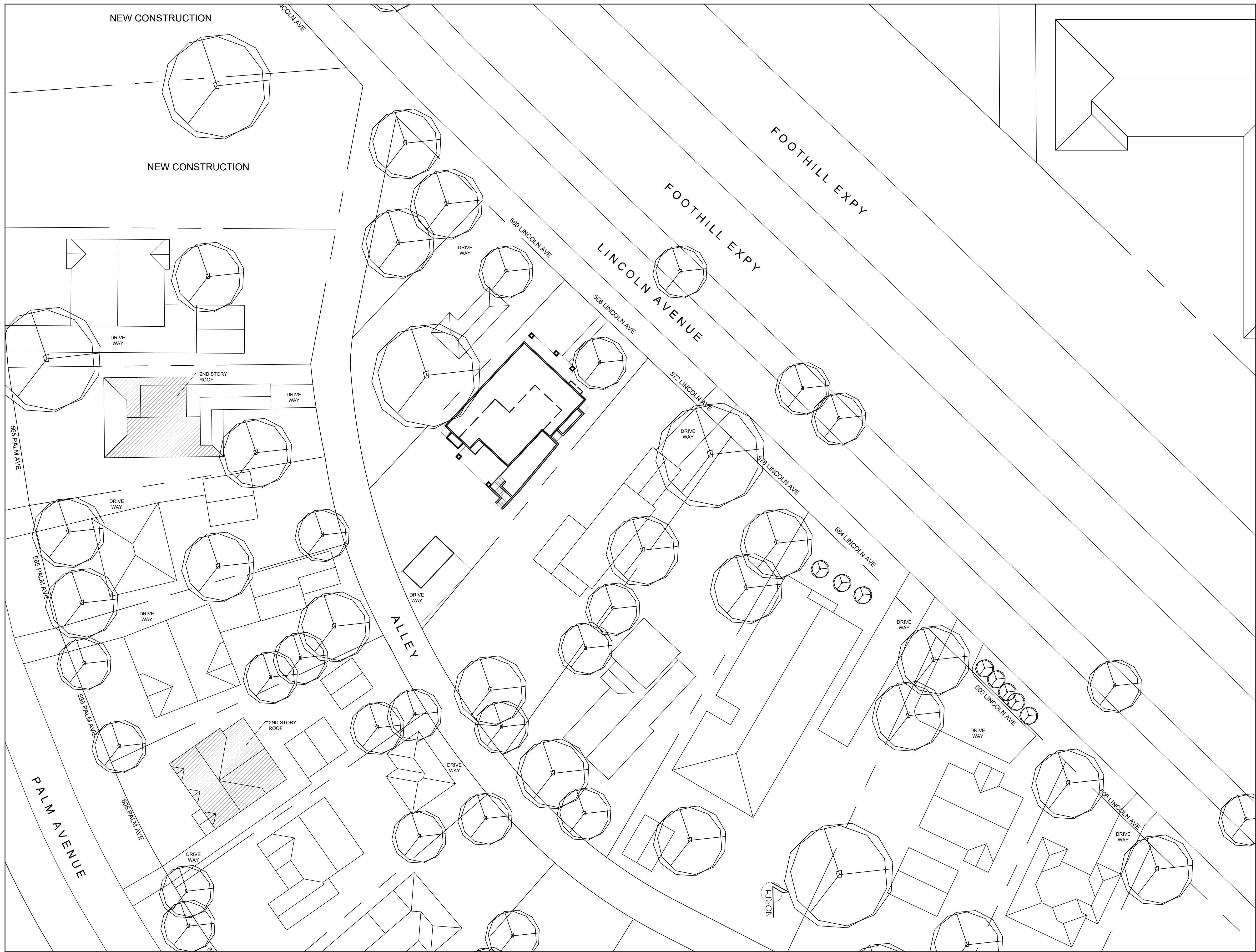
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Date: 7/1/18  
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Checked By: JB  
Job: 17009

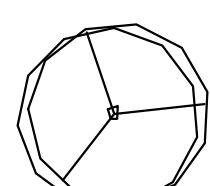


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**G1.0**

DESIGN REVIEW SET





**CONTEXT MAP  
SCHEDULE - LEGEND**

-  LOCATION OF EXISTING TREES GREATER THAN FOUR INCHES IN DIAMETER
-  PROPERTY LINE
-  LOT CORNER
-  LOCATION OF SECOND STORY ROOF OUTLINES

BENINTENDI ARCHITECTURAL DESIGNS © 2018

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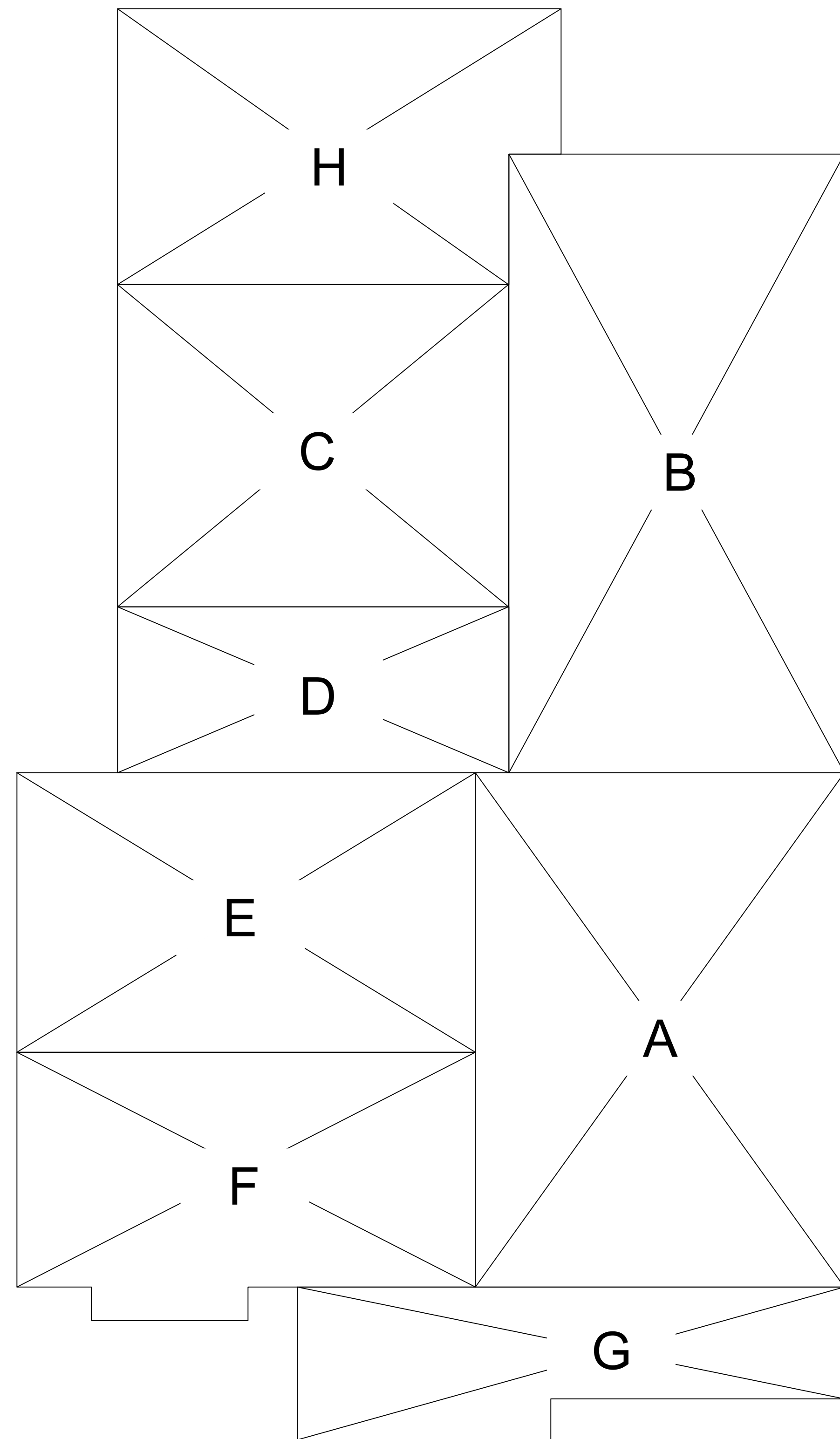
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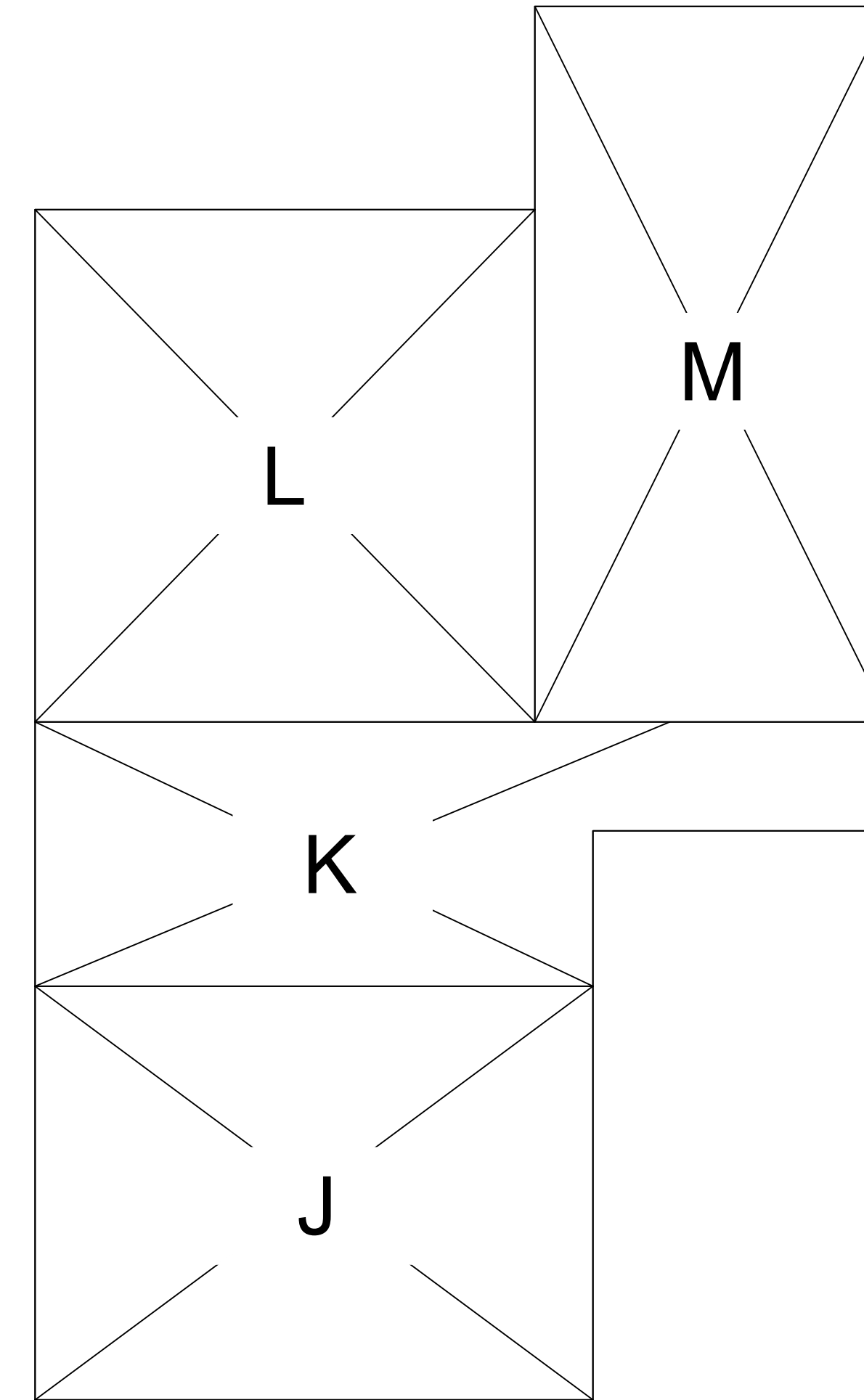
**NEIGHBORHOOD CONTEXT PLAN**  
SCALE: 1" = 20'-0"

DESIGN REVIEW SET

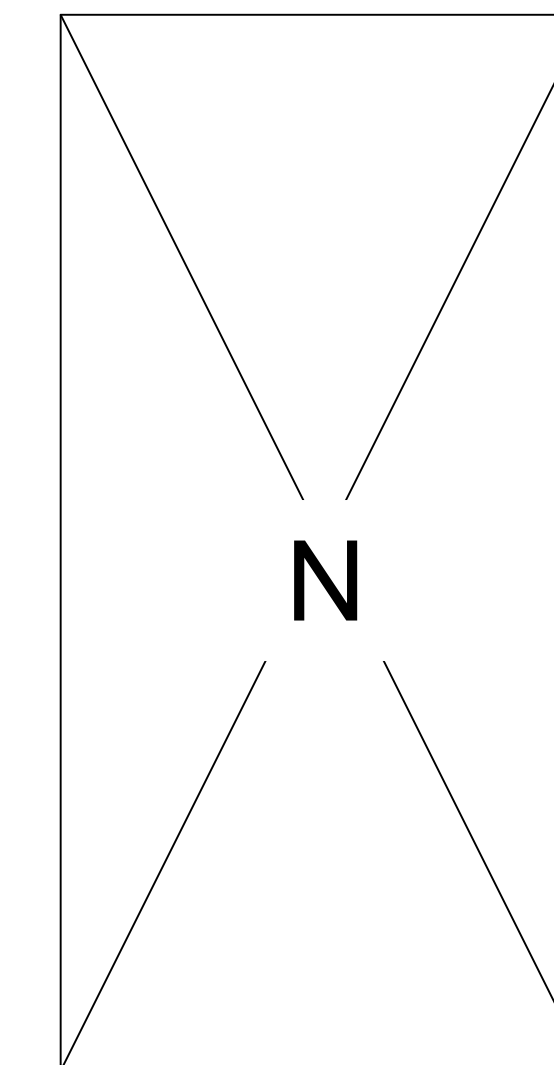
FLOOR AREA AND COVERAGE CALCULATIONS



FIRST STORY



SECOND STORY



GARAGE

SECTION	DIMENSIONS	AREA
A	16'-6" x 23'-2"	379 SQ FT
B	15'-0" x 27'-10"	415 SQ FT
C	17'-5" x 14'-5"	252 SQ FT
D	17'-5" x 7'-5"	130 SQ FT
E	20'-6" x 12'-6"	256 SQ FT
F	20'-6" x 10'-8"	226 SQ FT
N	11'-0" x 21'-0" (GARAGE)	242 SQ FT
FIRST STORY SUBTOTAL=		1900 SQ FT
J	16'-0" x 12'-0"	190 SQ FT
K	16'-0" x 7'-7"	147 SQ FT
L	14'-4" x 14'-8"	210 SQ FT
M	10'-2" x 20'-8"	209 SQ FT
SECOND STORY SUBTOTAL=		756 SQ FT

TOTAL FLOOR AREA = 2656 SQ FT

FIRST STORY SUBTOTAL 1900 SQ FT  
 G 24'-5" x 6'-10" 143 SQ FT  
 H 19'-10" x 12'-6" 231 SQ FT

TOTAL LOT COVERAGE= 2274 SQ FT

FLOOR AREA AND COVERAGE CALCULATION DIAGRAM

SCALE: 1/4" = 1"

BENINTENDI ARCHITECTURAL DESIGNS © 2018

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 Scale: AS NOTED  
 Drawn By: JB  
 Checked By: JB  
 Job: 17009

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DESIGN REVIEW SET

FLOOR AREA COVERAGE DIAGRAM

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

### GRADING & DRAINAGE NOTES:

NOTE: THIS DRAWING IS APPROVED SUBJECT TO:

1. ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY PERMITTEE OR PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS BEFORE START OF ANY GRADING.
2. APPROVAL OF THIS PLAN APPLIES ONLY TO (A) THE EXCAVATION, PLACEMENT, AND COMPACTATION OF NATURAL EARTH MATERIALS, (B) THE INSTALLATION OF ON-SITE (I.E. PRIVATE PROPERTY) STORM WATER CONDUITS AND TREATMENT STRUCTURES, (C) THE INSTALLATION OF RETAINING STRUCTURES, (D) THE CONSTRUCTION OF ANY OTHER STRUCTURE, OR THE PRIVATE PROPERTY OF OTHERS. APPROVAL OF THIS PLAN ALSO DOES NOT CONSTITUTE APPROVAL OF ANY IMPROVEMENTS WITH THE EXCEPTION OF THOSE LISTED ABOVE. ARE SUBJECT TO REVIEW AND APPROVAL BY THE RESPONSIBLE AUTHORITIES AND ALL OTHER REQUIRED PERMITS SHALL BE OBTAINED.
3. UNLESS OTHERWISE NOTED ON THE PLAN, ANY DEVIATION OF A RETAINING STRUCTURE OR OTHER STRUCTURE FROM THE RECOMMENDED DESIGN SHALL BE SUBJECT TO REVIEW BY THE DEPARTMENT OF PUBLIC WORKS IS COMPLETED AND APPROVED.
4. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR AGENT TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES.
5. THE PERMITTEE OR AGENT SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPLITS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
6. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH APPLICABLE ORDINANCES AND REGULATIONS. ALL GRADING SHALL BE PERFORMED IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND. ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT BUFFER OF ANY REMAINS OR MATERIALS. THE CONTRACTOR SHALL NOTIFY THE HEALTH AND SAFETY OFFICE OF THE STATE OF CALIFORNIA, NOTIFY THE MARIN COUNTY CORONER IMMEDIATELY.
7. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHOULD BE OBTAINED FROM THE CITY'S PLANNING DEPARTMENT AND THE CITY ARBORIST.
8. FOR NON-RESIDENTIAL PROJECTS, ANY NON-HAZARDOUS EXPLORE RESULTING FROM PROJECT RELATED EXCAVATION OR LAND CLEARING SHALL BE TOOK IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 5.408.
9. ALL GRADING WORK SHALL CONFORM TO THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL REPORT AND/OR THE PROJECT SOIL ENGINEER. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOIL ENGINEER.
10. THE SOIL ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING, UNLESS OTHERWISE NOTED.
11. PRESUMER BUILDING GRADIOS SHALL SLOPE AWAY FROM BUILDINGS AT LEAST 5% MINIMUM.
12. ALL DOWNSPOUTS SHALL HAVE SPLASH BOXES AS SHOWN ON THE GRADING AND DRAINAGE PLAN. DIRECTION OF THE FLOW SHALL BE AWAY FROM THE BUILDING.
13. **BENCH MARK**  
DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTHERLY CORNER OF LOT AS SHOWN: ELEV.: 100.00'

### EARTH WORK QUANTITIES

CUT: 780 CY  
FILL: 30 CY  
EXPORT: 750 CY  
IMPORT: 0 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.

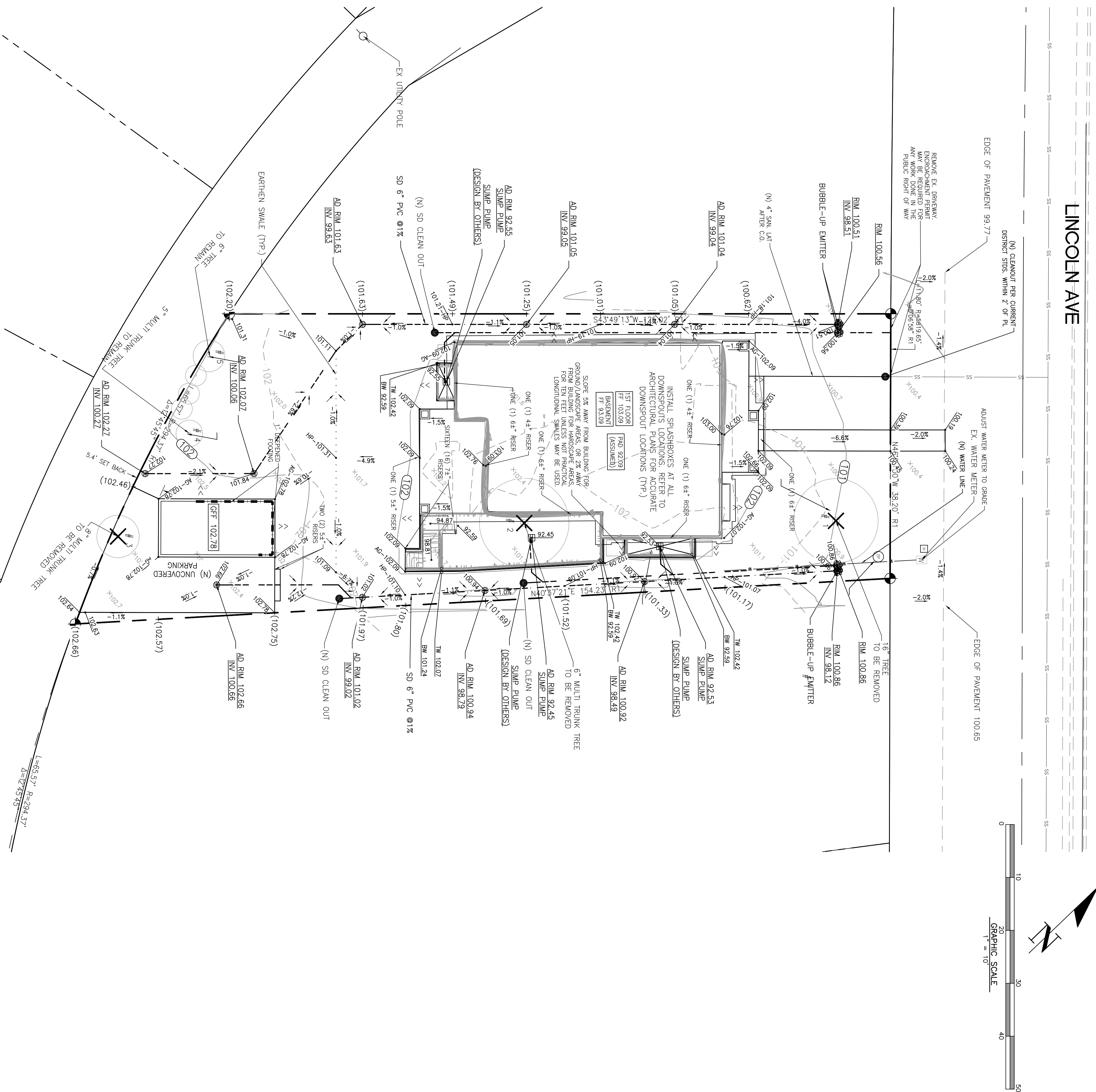
### ABBREVIATIONS

AC = ASPHALT CONCRETE  
AD = AREA DRAIN  
AG = BEGON CURVE  
BS = BOTTOM OF STAIR  
BVC = BEGON VERTICAL CURVE  
BRW = BOTTOM OF REMAINING WALL  
CG = CATCH BASIN  
CL = CENTERLINE  
CS = CENTERLINE  
DS = DOWNSPOUT WITH SPLASH BOX  
EC = END CURVE  
ELEV = ELEVATION  
E = END METRIC CURVE  
EP = END POINT  
FF = FINISHED FLOOR ELEVATION  
FH = FIRE HYDRANT  
FL = FLOW LINE BREAK  
GF = GARAGE FINISH FLOOR  
HP = HIGH POINT  
HC = HANDICAP UNIT  
LP = LOW POINT  
PAD = PAD ELEVATION  
PCC = PORTLAND CEMENT CONCRETE  
PL = PROPERTY LINE  
PVC = POINT OF VERTICAL CURVE  
PVI = POINT OF VERTICAL INTERSECTION  
RCP = REINFORCED CONCRETE PIPE  
RIP = RIGHT OF WAY  
SD = STORM DRAIN  
SDWH = STORM DRAIN MANHOLE  
SG = SUBGRADE ELEVATION  
SS = SANDY SILT  
SSW = SANDY SILT WITH SAND  
S = STATION  
STA = STATION  
TC = TOP OF CURB  
TW = TOP OF FINISH WALL  
TW = TOP OF WALL  
VCP = VITRIFIED CLAY PIPE  
W = WATER  
WV = WATER VALVE

### LEGEND

DESCRIPTION	SYMBOL
BOUNDARY LINE	---
LOT LINE	---
EXCAVATION LINE	---
PROPOSED	---
EXISTING	---
EXISTING CURVE	---
EXISTING WALL	---
EXISTING MANHOLE	---
EXISTING DRAIN	---
EXISTING MET	---
EXISTING FIRE HYDRANT	---
EXISTING WATER METER	---
EXISTING UTILITY	---
EXISTING TREE	---
EXISTING TRUNK	---
EXISTING BRANCH	---
EXISTING SERVICE	---
EXISTING CONDUIT	---
EXISTING OVERHEAD SERVICE	---
EXISTING SURFACE DRAINAGE	---
EXISTING MANHOLE	---
EXISTING UTILITY	---
EXISTING TREE	---
EXISTING TRUNK	---
EXISTING BRANCH	---
EXISTING SERVICE	---
EXISTING CONDUIT	---
EXISTING OVERHEAD SERVICE	---
EXISTING SURFACE DRAINAGE	---

### LINCOLN AVE

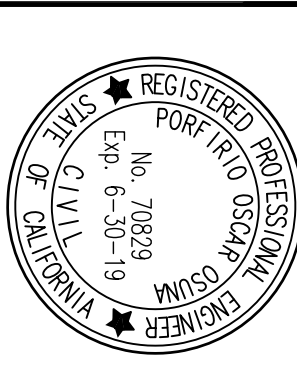


### GRADING & DRAINAGE PLAN

#### 566 LINCOLN AVE



CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336 TEL. (408) 772-4381  
SAN JOSE, CA 95119 Info@osunaengineering.com



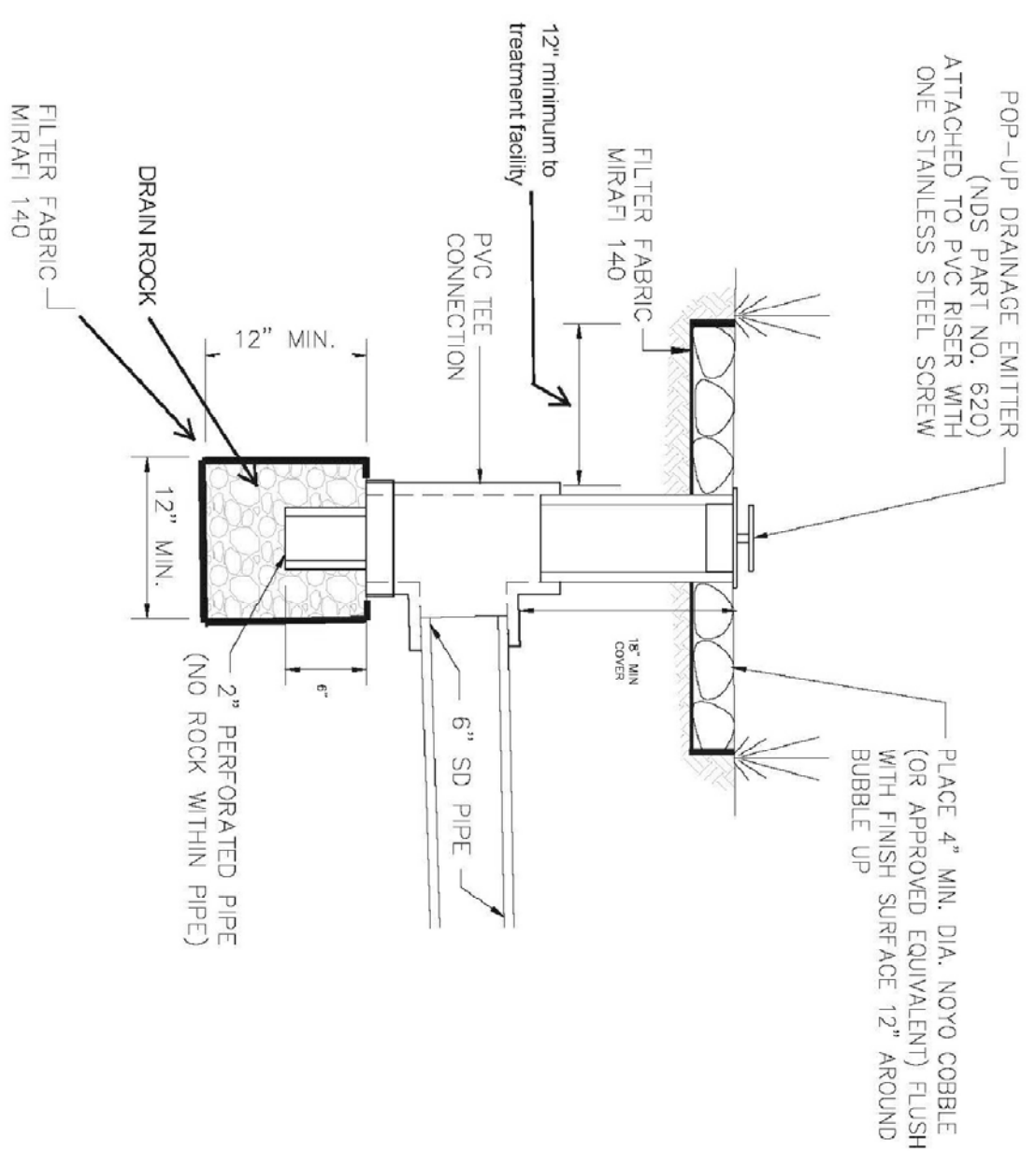
REVISIONS	DATE	CITY	BY

LOS ALTOS, CALIFORNIA  
Project No.: 1541 Designed: J.O. Checked: D.O. Date: 06/27/18

SHEET  
C1  
OF 3 SHEETS

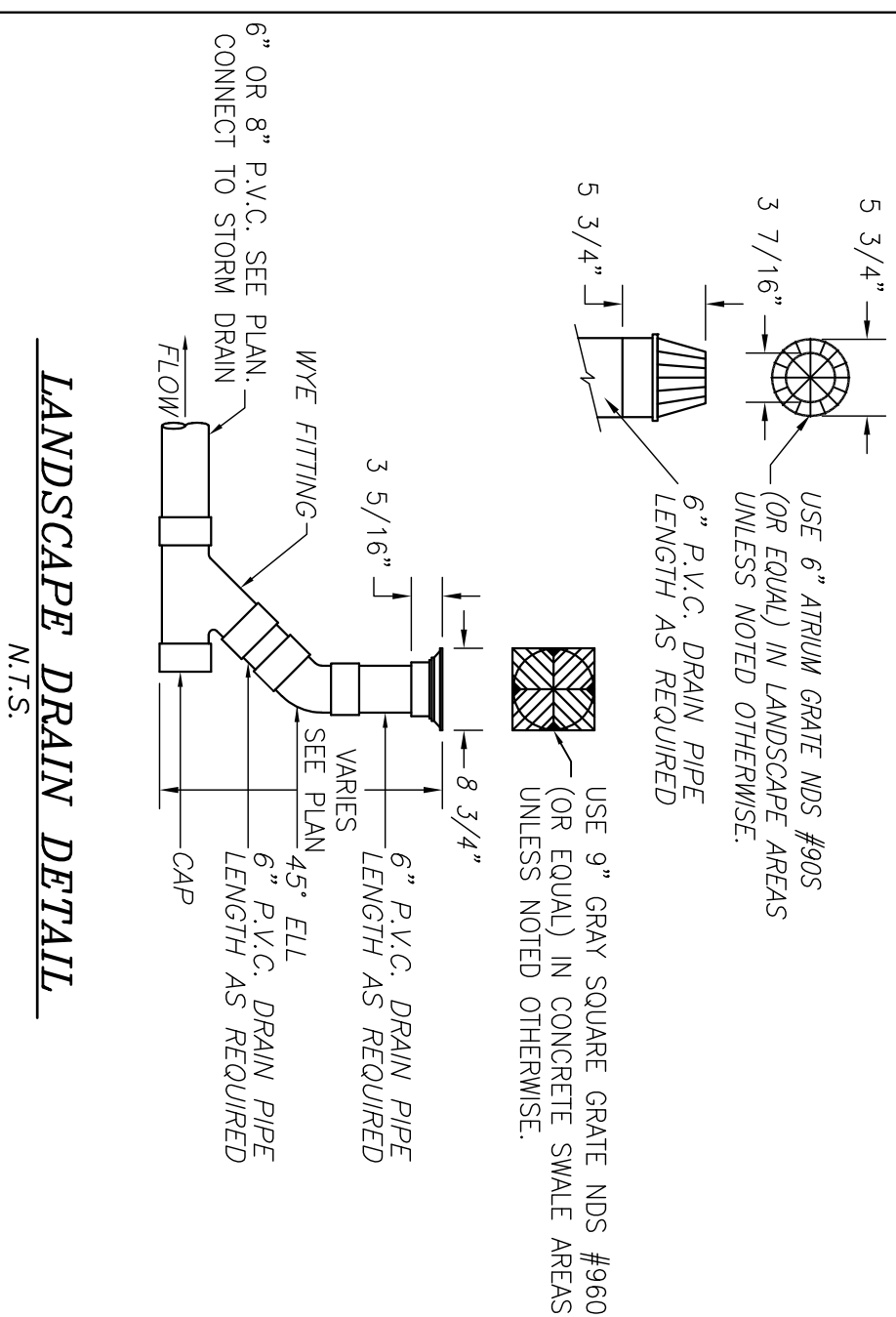


CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



A BUBBLE-UP EMITTER DETAIL

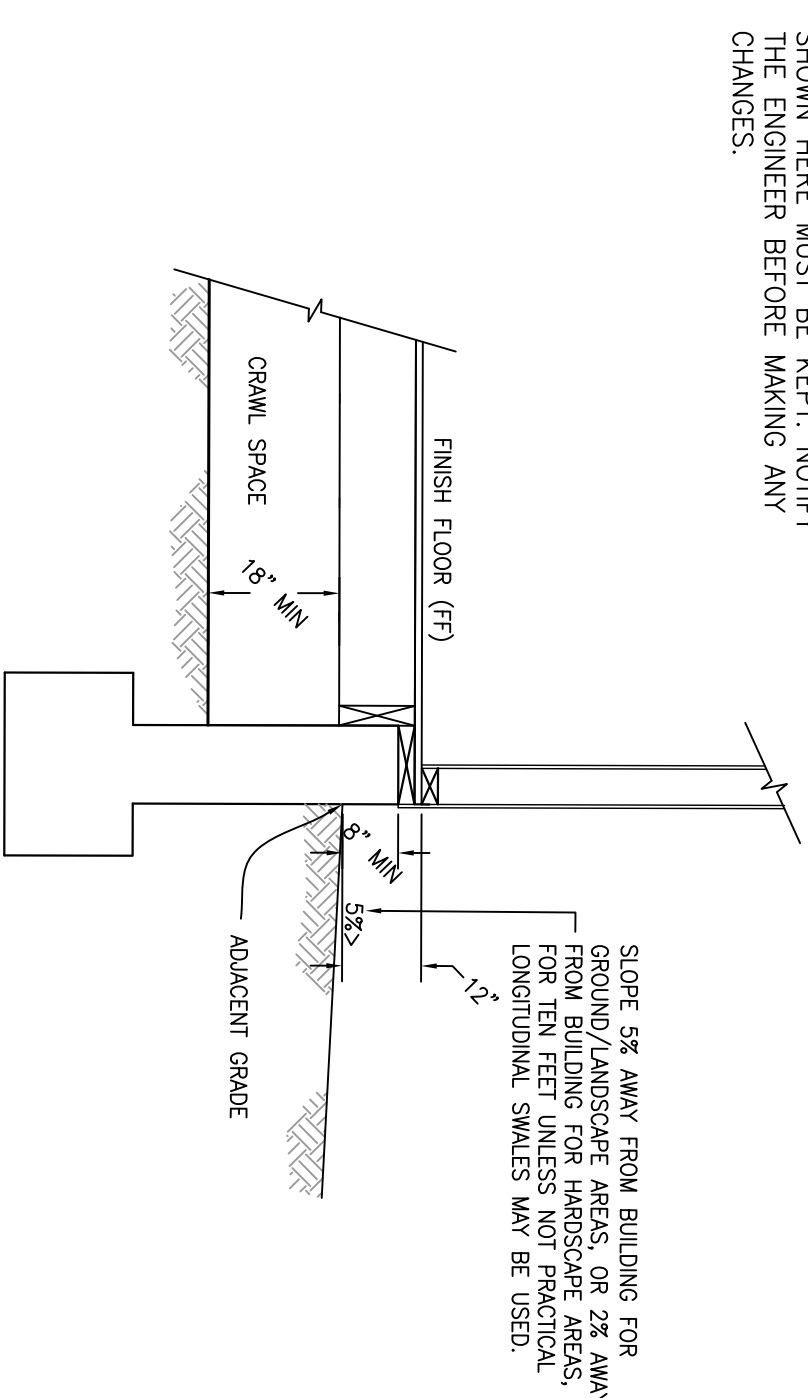
M.T.S.



B AREA DRAIN DETAIL

LANDSCAPE DRAIN DETAIL

M.T.S.

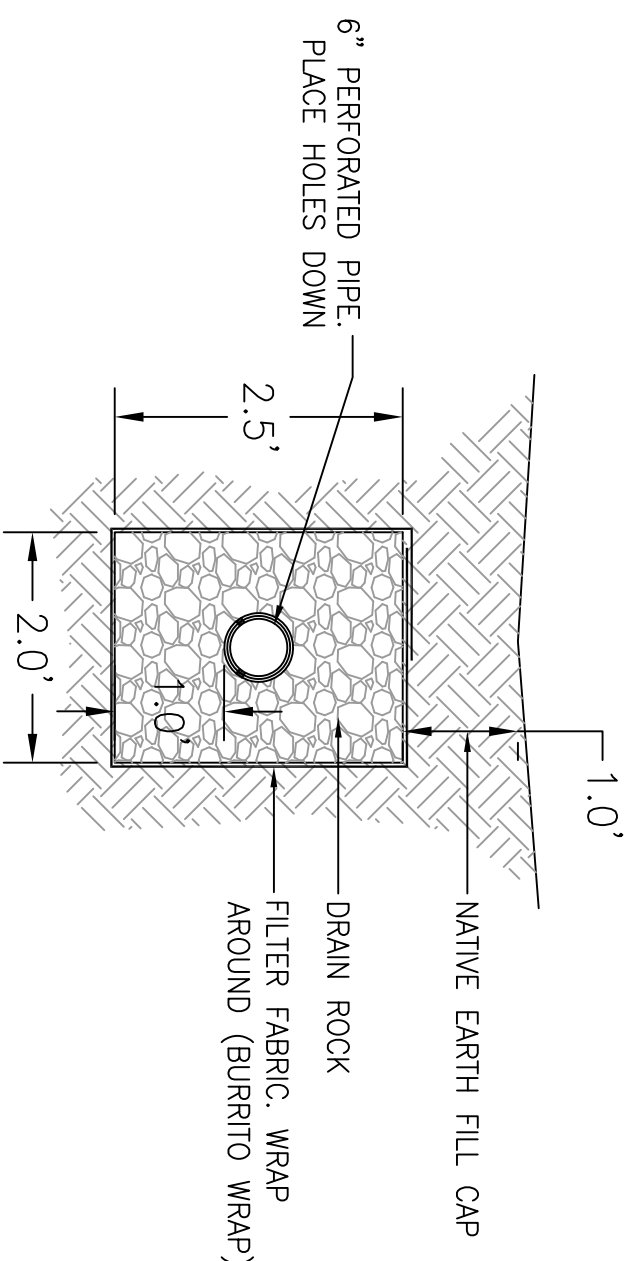


C TYPICAL FOUNDATION/FF/GROUND SECTION

M.T.S.

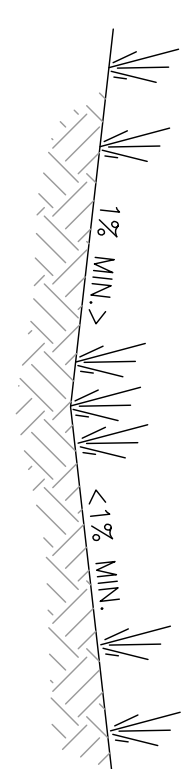
D NOT USED

M.T.S.



F INFILTRATION TRENCH DRAIN DETAIL

M.T.S.



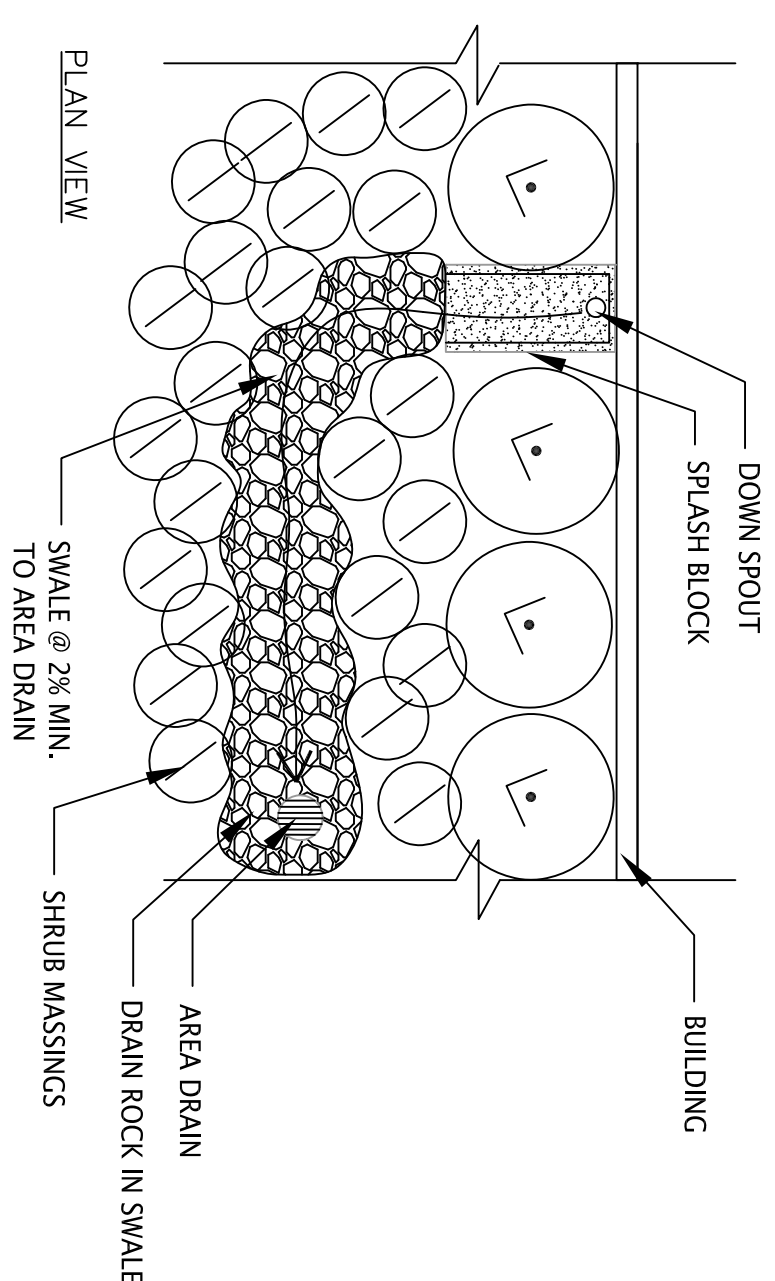
F INFILTRATION TRENCH DRAIN DETAIL

G EARTHEN SWALE DETAIL

M.T.S.



SPLASH BLOCK IMAGE



- NOTES:
1. SPLASH BLOCKS SHALL BE LOCATED UNDER ALL BLDG. DOWNSPOUTS.
  2. SWALE SHALL RUN FROM SPLASH BLOCK AWAY FROM BUILDING TO AREA DRAIN. MIN. SWALE SLOPE 2%. AREA DRAINS PER CIVIL.

PLAN VIEW

M.T.S.

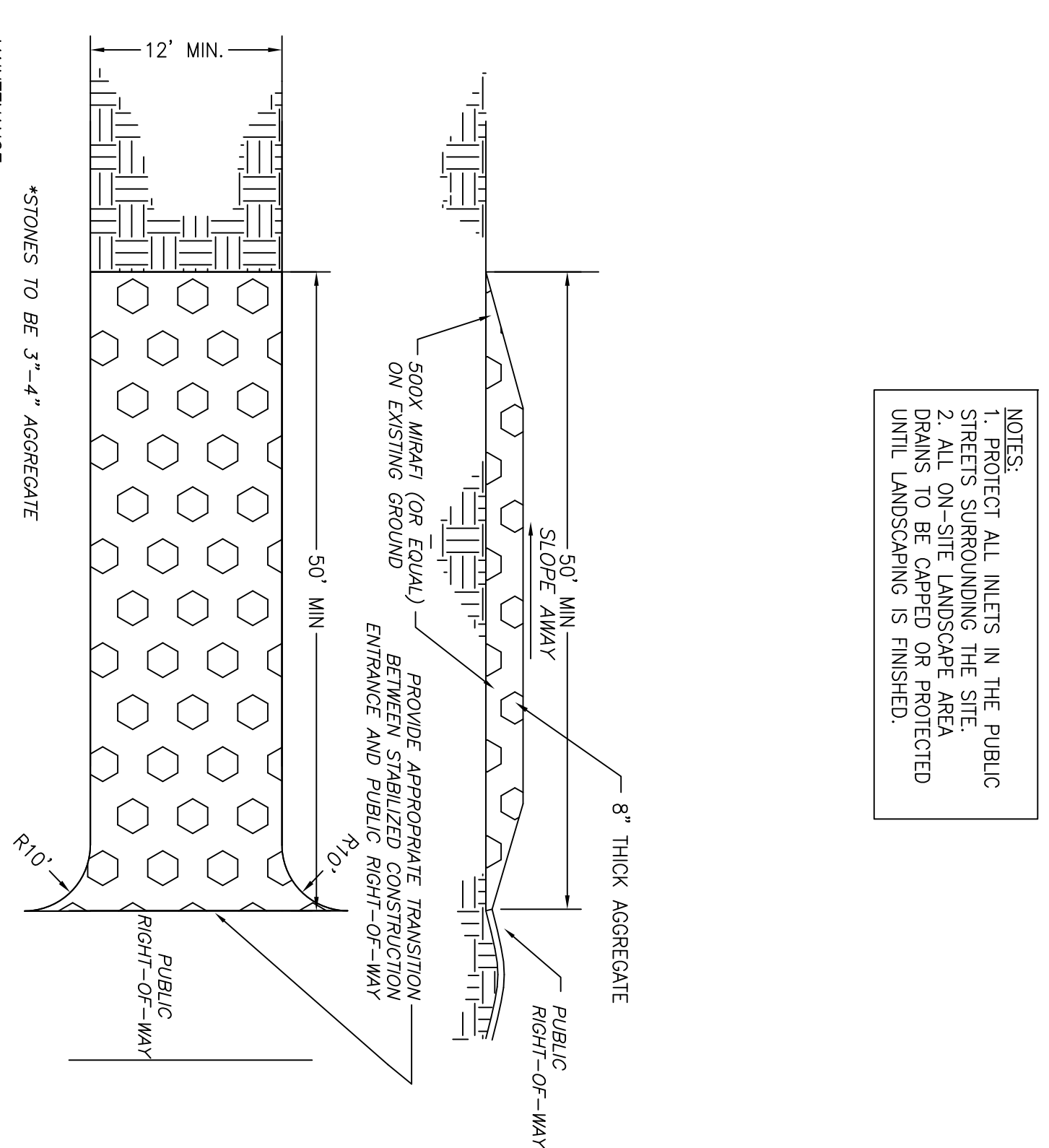
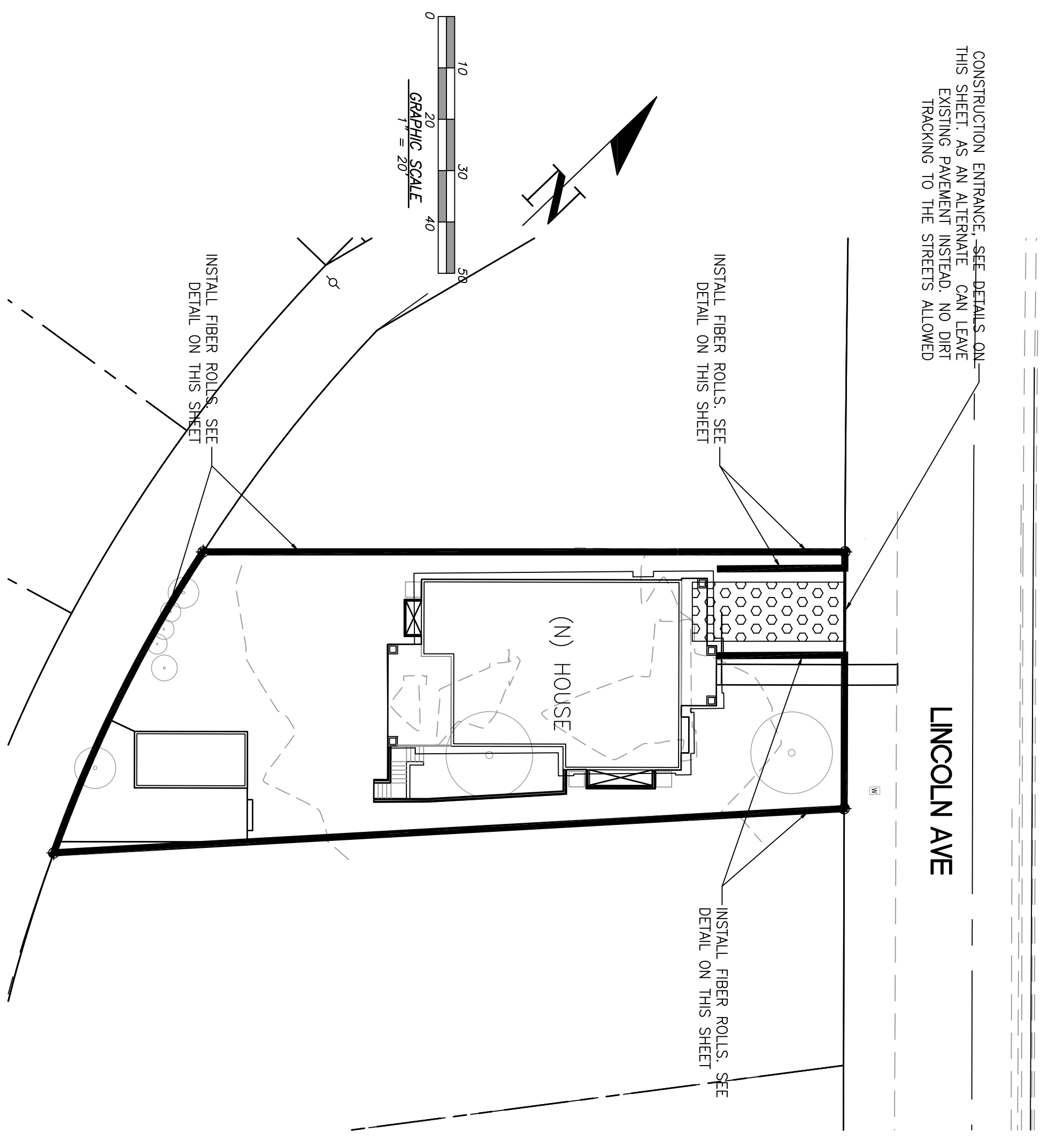
M.T.S.

E STORM RETENTION/TRENCH INFILTRATION DETAIL

H SPLASH BLOCK DETAIL



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- NOTES:
1. PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.
  2. ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.

**STABILIZED CONSTRUCTION ENTRANCE**  
N.T.S.

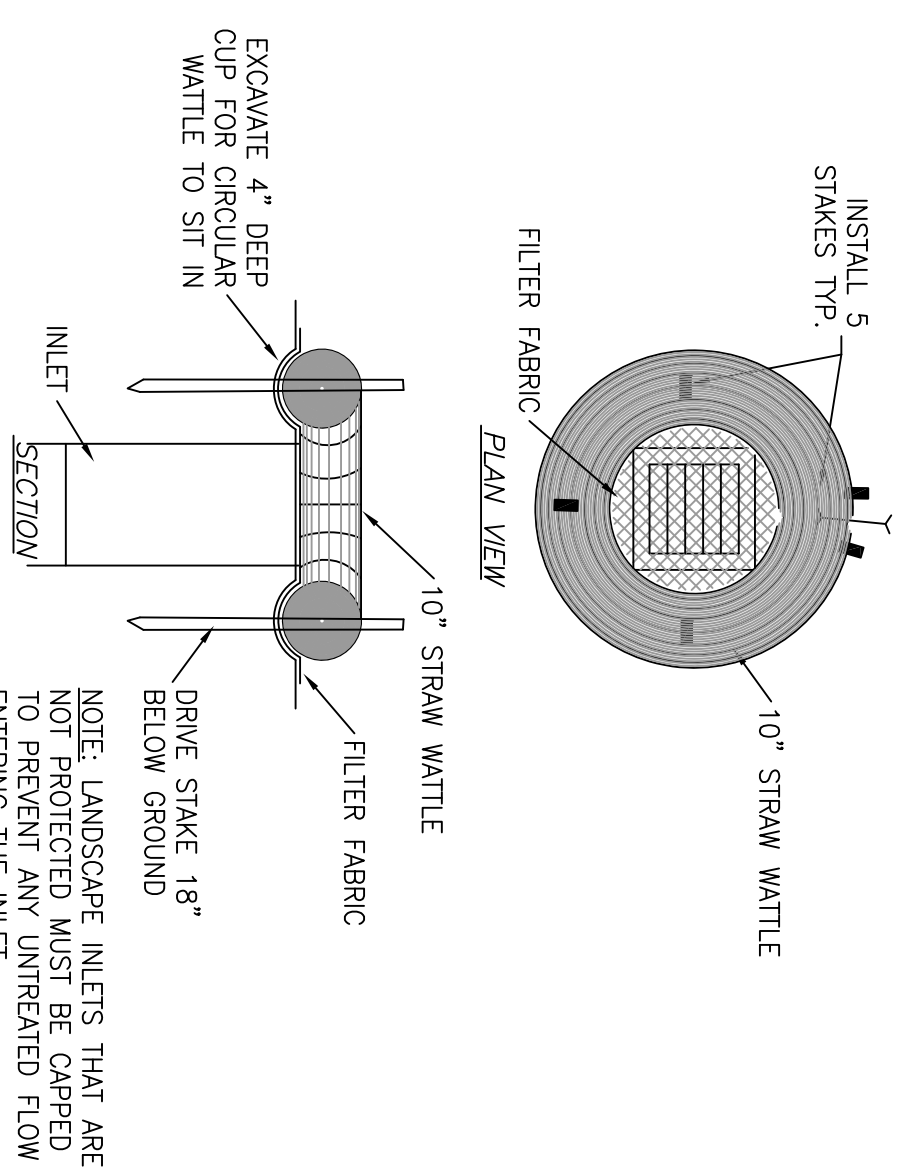
MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT AND SOIL ONTO ADJACENT STREETS AND PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED WHEN NECESSARY. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

**LEGEND**

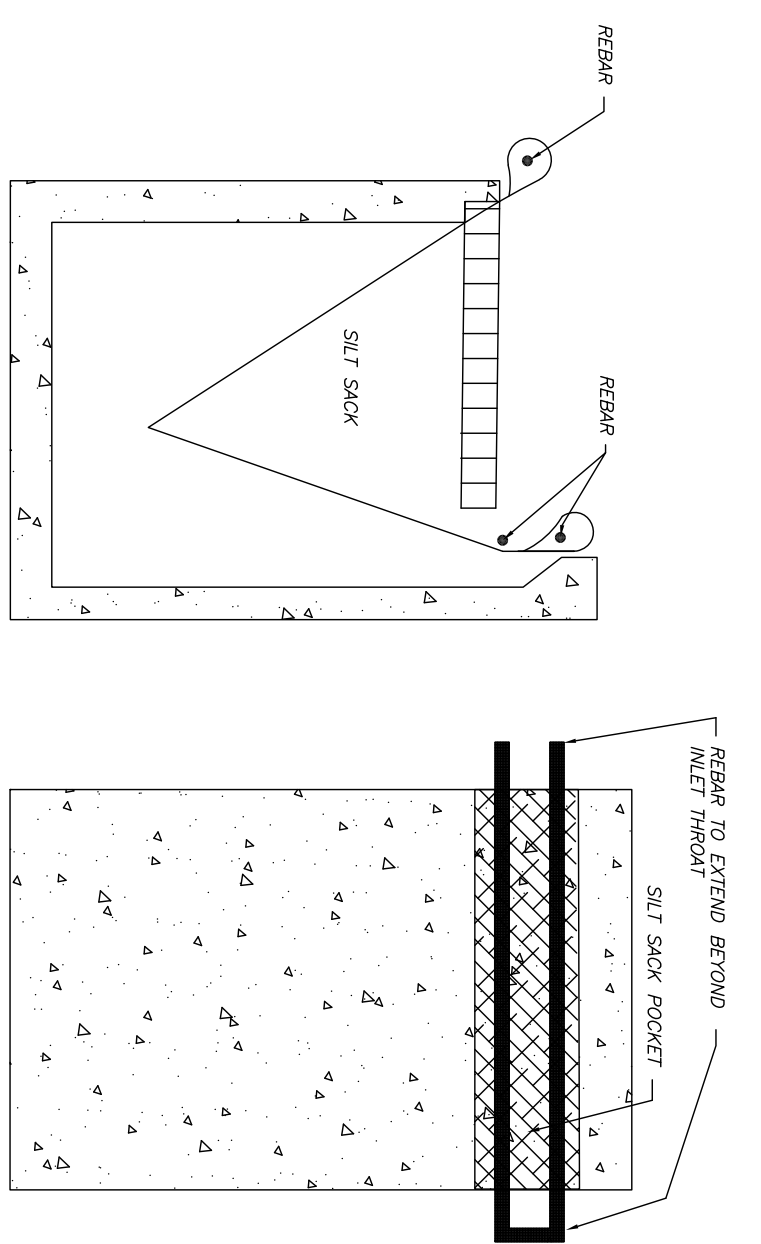
PROPOSED	DESCRIPTION
	SITE BOUNDARY
	STABILIZED CONSTRUCTION ENTRANCE 2'-3" ROCK (MIN)
	FIBER ROLL

**MAINTENANCE NOTES**

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
1. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
  2. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  3. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  4. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  5. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  6. RILLS AND GULLIES MUST BE REPAIRED.



**ALTERNATE FIBER ROLL INLET PROTECTION MAY BE USED IN LANDSCAPE AREA DRAINS**  
N.T.S.



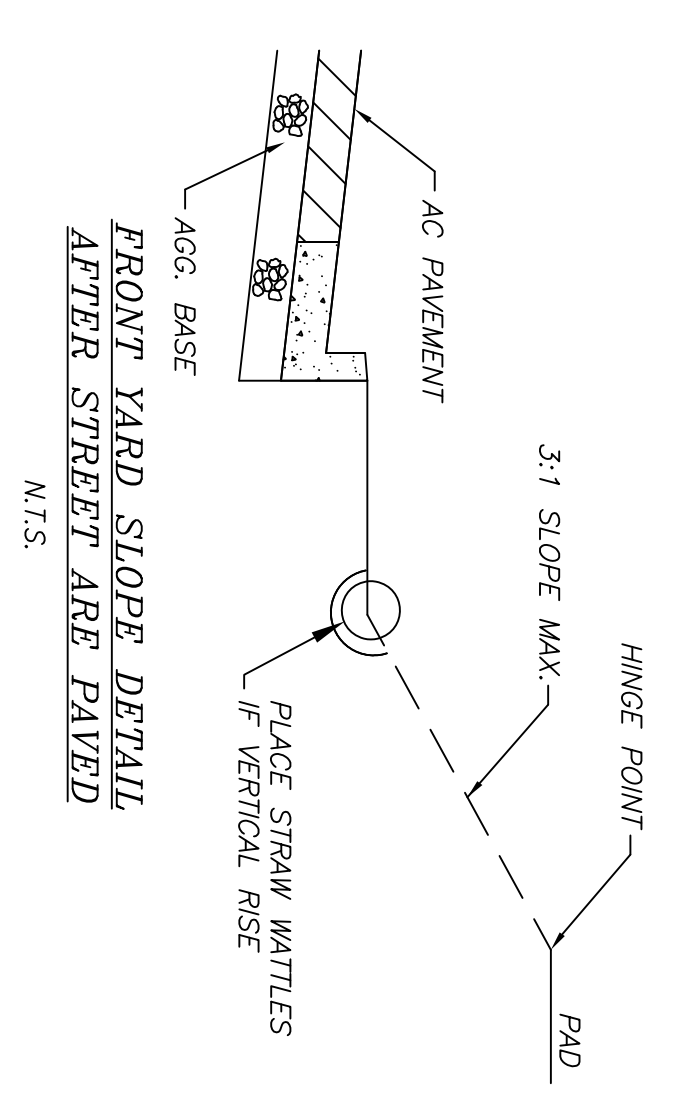
**CALIFORNIA MODIFIED SILT SACK**  
REDD & GRAHAM, INC. (OR EQUAL)  
BEFORE & AFTER STREETS ARE PAVED  
N.T.S.

**EROSION & SEDIMENT CONTROL NOTES**

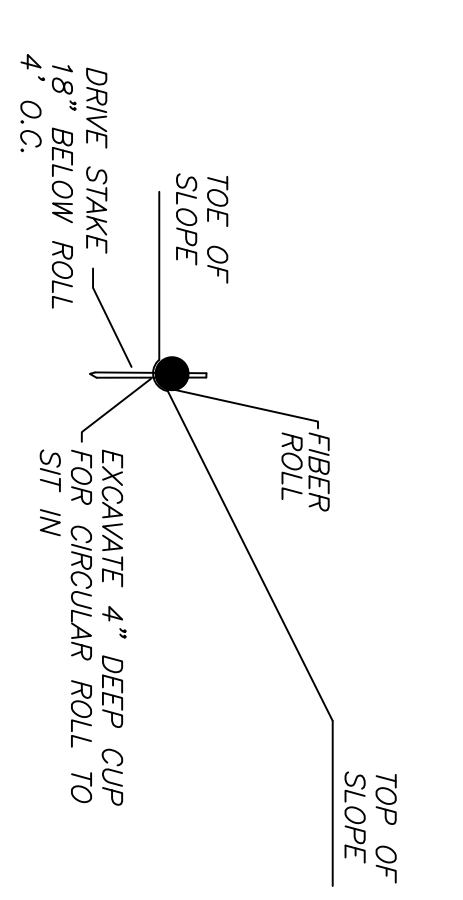
1. NOT USED
2. THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
3. ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A MANNER THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
5. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
6. ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
7. IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
8. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADED RUNOFF TO ANY STORM DRAIN SYSTEM.
9. CONSTRUCTION ENTRANCES SHALL CONSIST OF A MINIMUM 8" THICK LAYER OF 3"-4" FRACTURED STONE AGGREGATE UNLINED WITH GEOTEXTILE LINER FOR A MINIMUM DISTANCE OF 50 FEET, AND IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. THE DEPTH AND LENGTH OF AGGREGATE MAY NEED TO BE ADJUSTED IN THE FIELD TO ENSURE NO TRACKING OF SEDIMENT ONTO EXISTING PAVED STREETS. CONSTRUCTION ENTRANCES SHALL SLOPE AWAY FROM EXISTING PAVED STREETS.
10. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
11. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
12. NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
13. ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND HACKBER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

**SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES**

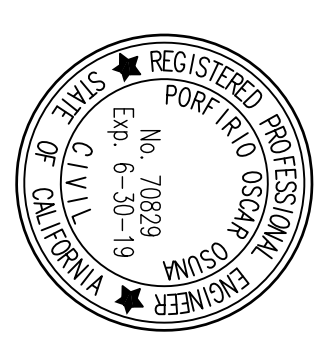
1. SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
2. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
6. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.



**FRONT YARD SLOPE DETAIL AFTER STREETS ARE PAVED**  
N.T.S.



**FIBER ROLL INSTALLATION DETAIL**  
N.T.S.



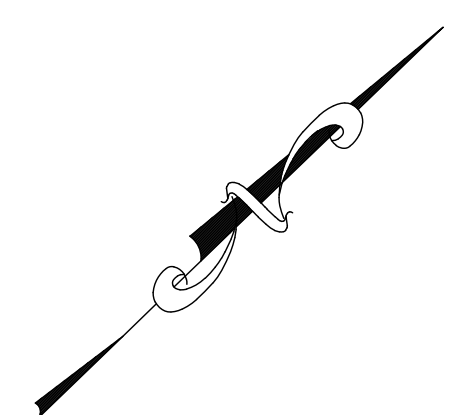
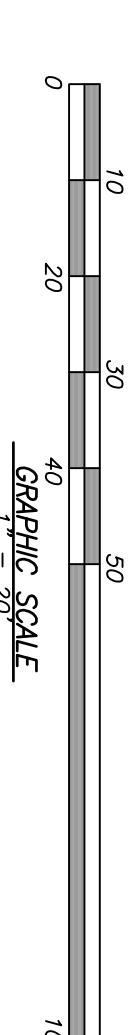
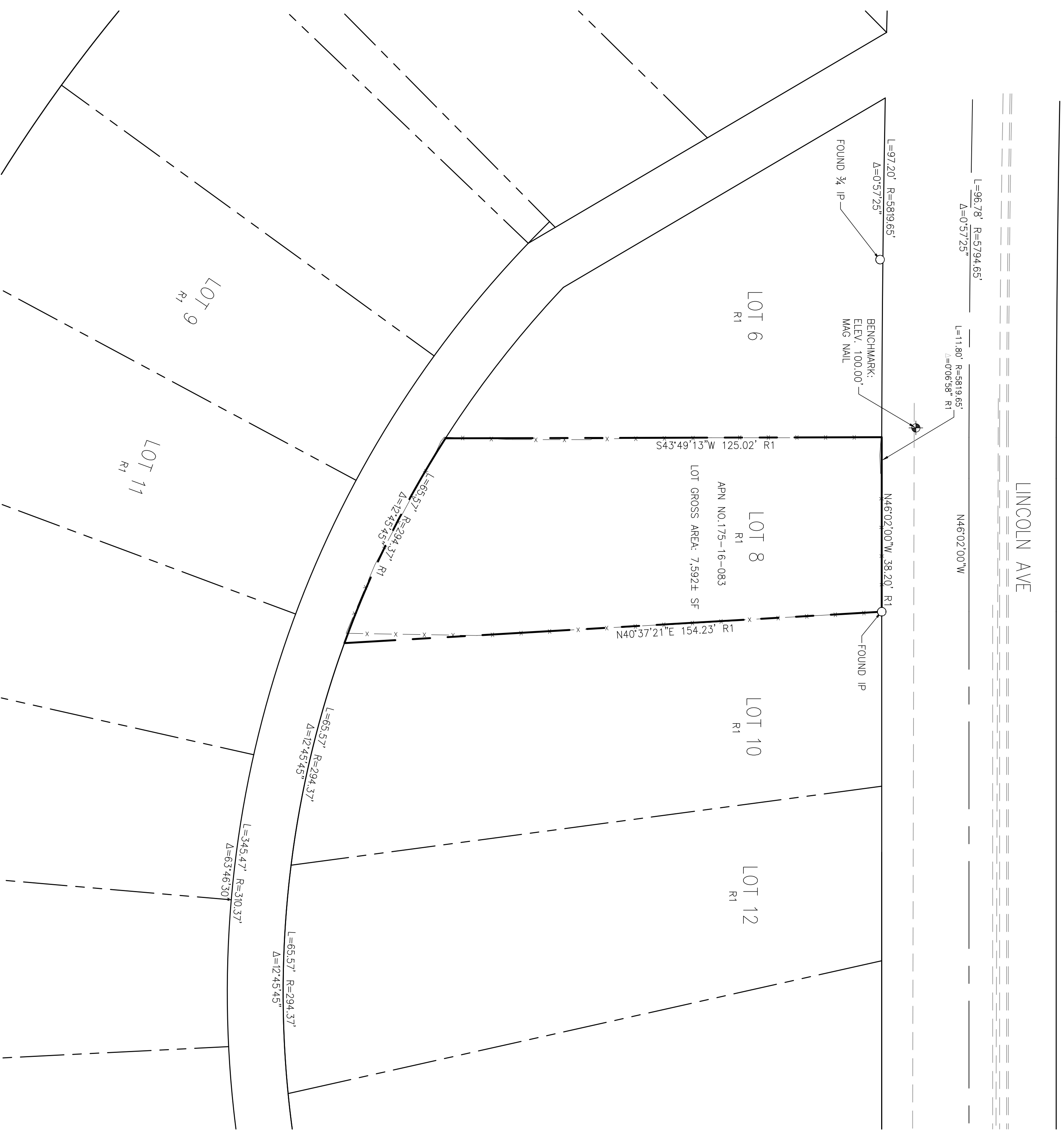
REGISTERED PROFESSIONAL ENGINEER  
OSCAR OSUNA  
No. 70829  
Exp. 6-30-19  
STATE OF CALIFORNIA  
CIVIL ENGINEERING

**OSUNA ENGINEERING INC.**  
Planning | Surveying | Civil Engineering  
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336 TEL. (408) 772-4381  
SAN JOSE, CA 95119 Info@osunaengineering.com

**GRADING & DRAINAGE PLAN**  
566 LINCOLN AVE  
EROSION CONTROL  
LOS ALTOS, CALIFORNIA  
Project No.: 1541 Designed: J.O. Checked: D.O. Date: 06/27/18

REVISIONS	DATE	CITY	BY

- LEGEND**
- EXISTING CONTOUR LINE
  - NATURAL GRADE CONTOUR LINE
  - FOUND CITY MONUMENT BOX, OR AS NOTED
  - ( ) RECORD INFORMATION
  - △ CENTERLINE
  - ▽ CURB INLET
  - DRIVEWAY APRON
  - ELECTROFLUR
  - FENCE
  - △ FIRE HYDRANT
  - FLAT GRATE INLET
  - OVERHEAD POWER LINE
  - OVERHEAD TELEPHONE LINE
  - SANITARY SEWER LINE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - SIGN
  - STORM DRAIN LINE
  - STORM DRAIN MANHOLE
  - UTILITY BOX
  - UTILITY POLE
  - WATER LINE
  - WATER METER
  - WATER VALVE
  - ELECTRIC METER
  - WATER HEATER
  - GAS



**BASIS OF BEARINGS**  
 THE BEARING SOUTH 64°15'00" EAST OF THE CENTER LINE OF PALM AVE AS SHOWN ON THAT MAP OF RECORD OF SURVEY FILED FOR RECORD IN BOOK 719 OF MAPS PAGES 271 SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**REFERENCES:**  
 R1 MAP NO. 2 M-M-23  
 R2 RECORD OF SURVEY 719-M-27

**BENCH MARK**  
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTHERLY CORNER OF LOT AS SHOWN. ELEV.: 100.00'

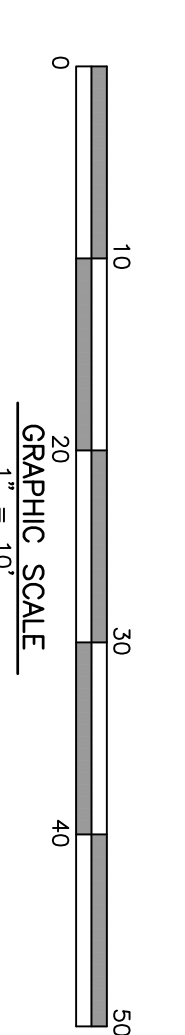
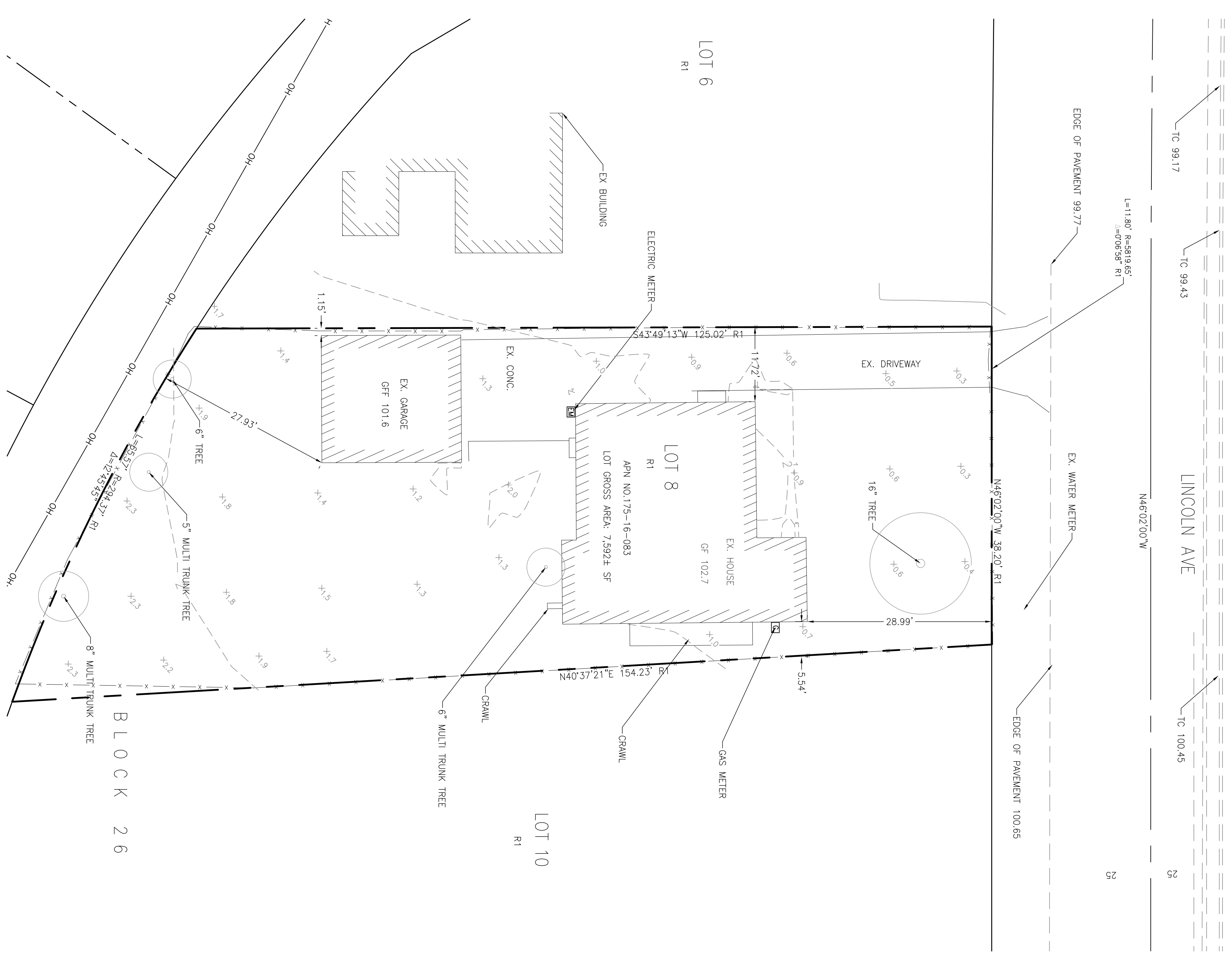
- ABBREVIATIONS**
- APN ASSESSOR'S PARCEL NUMBER
  - B.M. BENCH MARK
  - CATV CABLE TELEVISION OVERHEAD
  - D CURVE DELTA
  - DRWAY DRIVEWAY
  - DS DOWNSPOUT
  - FL FLOW LINE ELEVATION
  - IP IRON PIPE
  - IP LENGTH
  - REF REFERENCE DOCUMENT
  - M-M MONUMENT TO MONUMENT
  - O.H. PWR OVERHEAD POWER LINE
  - O.H. TEL OVERHEAD TELEPHONE LINE
  - P.M. PARCEL MAP
  - P.N. PORTION
  - R RADIUS
  - SD STORM DRAIN
  - SD STORM DRAIN MANHOLE
  - TC TOP OF CURB ELEVATION
  - TEMP. TEMPORARY
  - PUE PUBLIC UTILITY EASEMENT
  - WLE WATER LINE EASEMENT

- NOTES:**
1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
  2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
  3. TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
  4. THIS MAPS REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
  5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
  6. BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
  7. FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
  8. A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY THE SURVEYOR. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.





- LEGEND**
- EXISTING CONTOUR LINE
  - NATURAL GRADE CONTOUR LINE
  - FOUND CITY MONUMENT BOX, OR AS NOTED
  - BOUNDARY OF PROPERTY SURVEYED
  - ( ) RECORD INFORMATION
  - CENTERLINE
  - △ CURB INLET
  - CURB LINE
  - DRIVEWAY APRON
  - ELECTROFLOR
  - FENCE
  - △ FIRE HOBOPANT
  - FLAT GRATE INLET
  - OVERHEAD POWER LINE
  - OVERHEAD TELEPHONE LINE
  - SANITARY SEWER LINE
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEANOUT
  - SIGN
  - STORM DRAIN LINE
  - STORM DRAIN MANHOLE
  - UTILITY BOX
  - UTILITY POLE
  - WATER LINE
  - WATER METER
  - WATER VALVE
  - ELECTRIC METER
  - WATER HEATER
  - GAS



**BASIS OF BEARINGS**  
 THE BEARING SOUTH 64°15'00" EAST OF THE CENTER LINE OF PALM AVE AS SHOWN ON THAT MAP OF RECORD OF SURVEY FILED FOR RECORD IN BOOK 719 OF MAPS PAGES 27, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**REFERENCES:**  
 R1 MAP NO. 2 M-M-23  
 R2 RECORD OF SURVEY 719-M-27

**BENCH MARK**  
 DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE NORTHERLY CORNER OF LOT AS SHOWN. ELEV.: 100.00'

**ABBREVIATIONS**

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWAY	DRIVEWAY
DS	DOWNSPROUT
FL	FLOW LINE ELEVATION
IP	IRON PIPE
IP	IRON PIPE LENGTH
R/L	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PN	PORTION
R	RADIUS
SD	STORM DRAIN
SD	STORM DRAIN
SD	STORM DRAIN
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
  - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
  - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
  - THIS MAP REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
  - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
  - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
  - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
  - A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OUR OFFICE. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



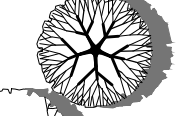



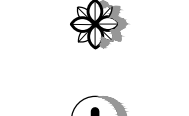
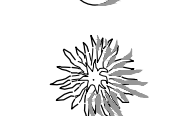
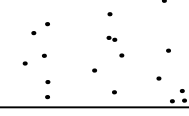

BOUNDARY AND TOPOGRAPHIC MAP  
 LANDS OF CALQUAL INVESTMENTS LLC  
 566 LINCOLN AVE  
 LOS ALTOS, CALIFORNIA

SUPERVISED BY  
*P. Osuna*  
 PROFESSIONAL LAND SURVEYOR NO. 8921  
 EXPIRES 9/30/18

DATE	SCALE	DRAWN BY	CHECKED BY	REVISIONS	DATE
12-16-17	AS SHOWN	O.OSUNA	O.O.		



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	SIZE	MATURE SIZE	EXPOSURE
	LD2	5	Delta Flame Crape Myrtle / Lagerstroemia indica 'Delec'	2' cal.	8'-12" tall x 4'-6" wide	Partial to Full Sun
	LW	4	Red Rocket Crape Myrtle / Lagerstroemia indica 'White IV'	2' cal.	15'-20" tall and wide	Full Sun
EVERGREEN TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	SIZE	MATURE SIZE	EXPOSURE
	CSG	7	Italian Cypress / Cupressus sempervirens 'Glauca'	6'	60'-80" tall x 4'-6" wide	Full Sun
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	SIZE	MATURE SIZE	EXPOSURE
	AN	3	Blue Clone / Agave attenuata 'Nova'	5 gal.	3'-4" tall and wide	Full Sun to Full Shade
	BO	4	Orange Rocket Barberry / Berberis thunbergii 'Orange Rocket'	5 gal.	3'-4" tall x 2'-3" wide	Full Sun to Partial Shade
	LS4	5	Sunshine Ligustrum / Ligustrum sinense 'Sunshine'	5 gal.	3'-6" tall x 3'-4" wide	Full Sun
	LS5	1	Red Diamond Loropetalum / Loropetalum chinense 'Shang-Red'	5 gal.	6' tall and wide	Full Sun to Partial Shade
	OP	2	Twist of Pink Oleander / Oleander nerium 'Planst'	5 gal.	6'-8" tall and wide	Partial to Full Sun
	RG2	2	Golden Currant / Ribes aureum	5 gal.	3'-7" tall x 2'-6" wide	Full Sun to Partial Shade
PERENNIALS	CODE	QTY	COMMON NAME / BOTANICAL NAME	SIZE	MATURE SIZE	EXPOSURE
	CN3	2	Reed Grass / Calamagrostis nutkaensis	1 gal.	3'-5" tall and wide	Full Sun to Partial Shade
	FG	13	Blue Fescue / Festuca glauca	1 gal.	6'-12" tall and wide	Full Sun
	HXB	10	Berry Smoothie Coral Bells / Heuchera x 'Berry Smoothie'	1 gal.	18'-25" tall x 12'-18" wide	Partial Shade to Partial Sun
	LH	5	Hidcote Lavender / Lavandula angustifolia 'Hidcote'	1 gal.	12'-18" tall and wide	Full Sun
	PB4	6	New Zealand Flax / Phormium x 'Black Adder'	1 gal.	2'-3" tall x 3'-4" wide	Full Sun to Partial Shade
	SN2	6	New Zealand Wind Grass / Stipa arundinacea	1 gal.	3' tall and wide	Partial to Full Sun

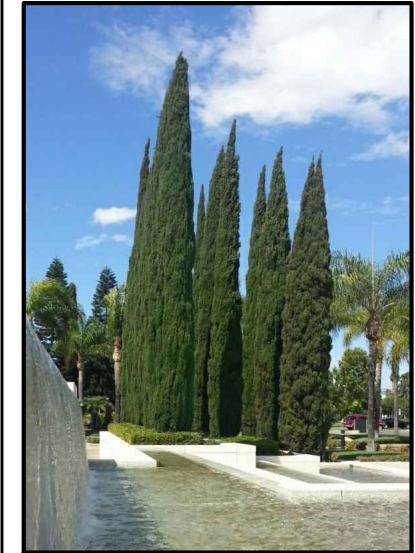
**LAWN**  
1,800 S.F.

**PLANTER BEDS -**  
2" +/- DEPTH DECORATIVE GRAVEL  
1,970 S.F. - 12 YDS

**METAL EDGING**  
300 L.F.

LANDSCAPE & PLANTING NOTES:

- LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
- UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
- ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
- ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
- REFER TO ADDITIONAL MATERIALS AND SPECS INCLUDING IRRIGATION PLAN AND PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL LANDSCAPING TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.



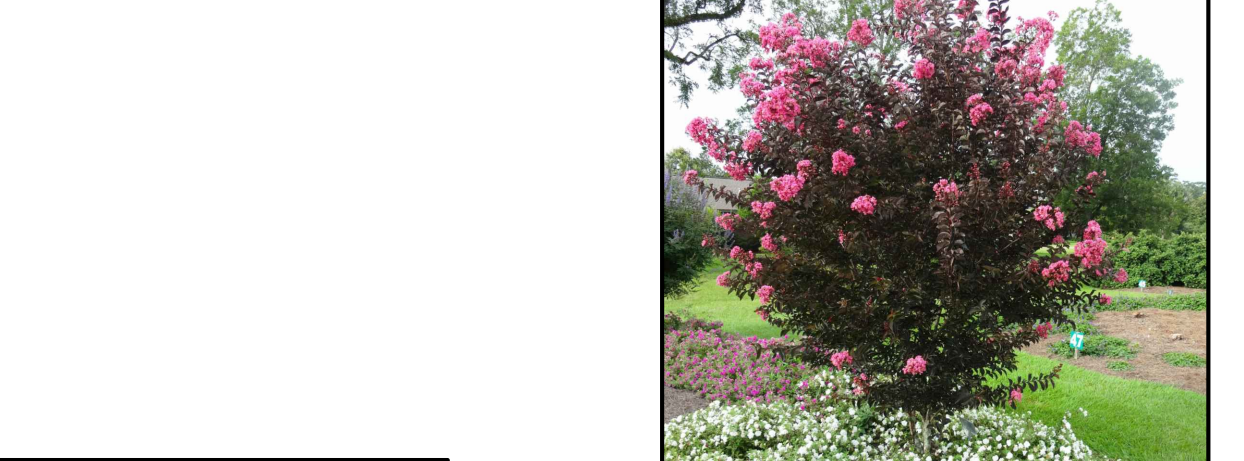
Italian Cypress



Golden Currant



Red Rocket Crape Myrtle



Delta Flame Crape Myrtle



New Zealand Wind Grass



Sunshine Ligustrum



Blue Fescue



Berry Smoothie Coral Bells



Hidcote Lavender



New Zealand Flax



Twist of Pink Oleander



Blue Cone Agave



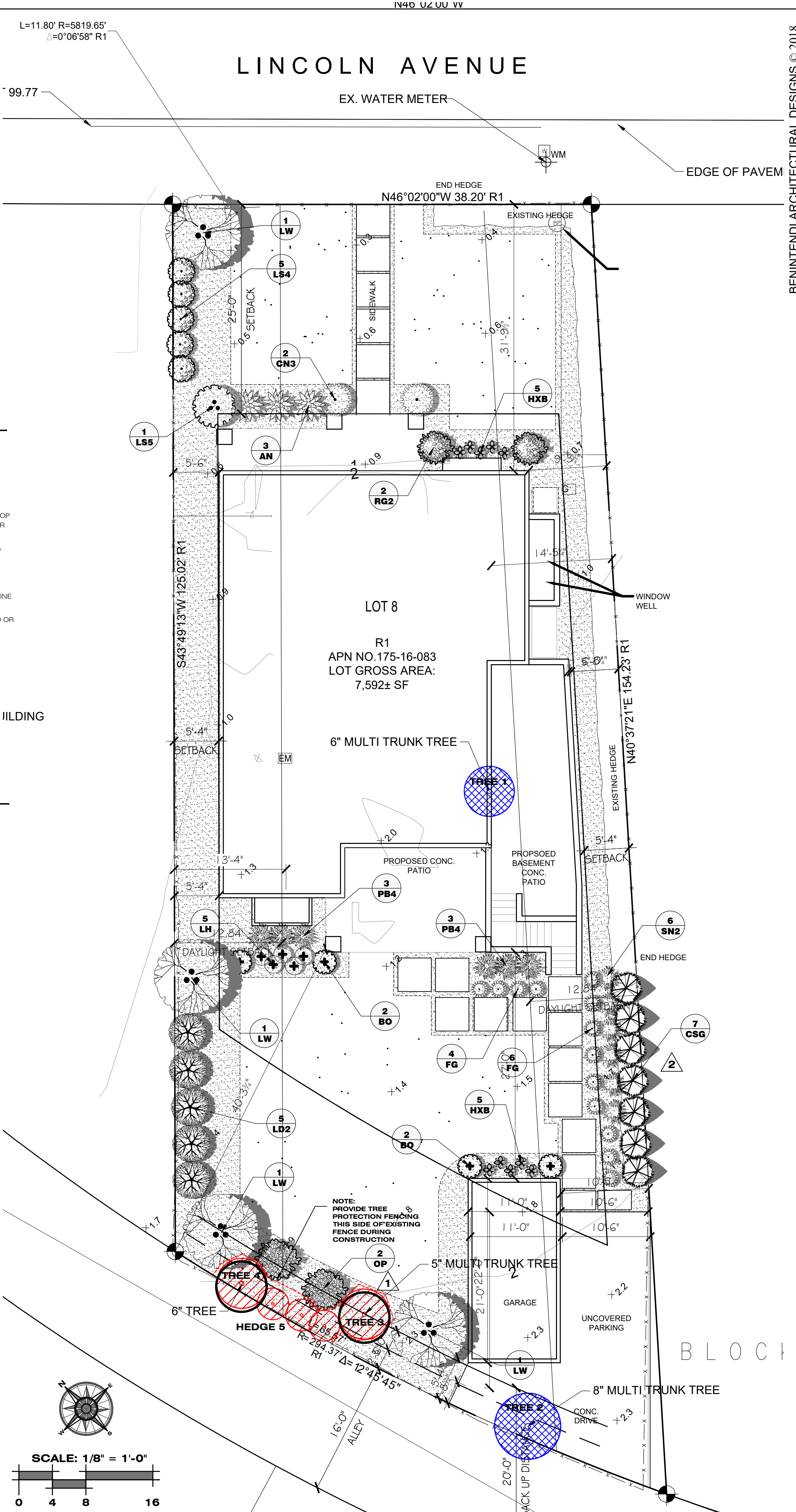
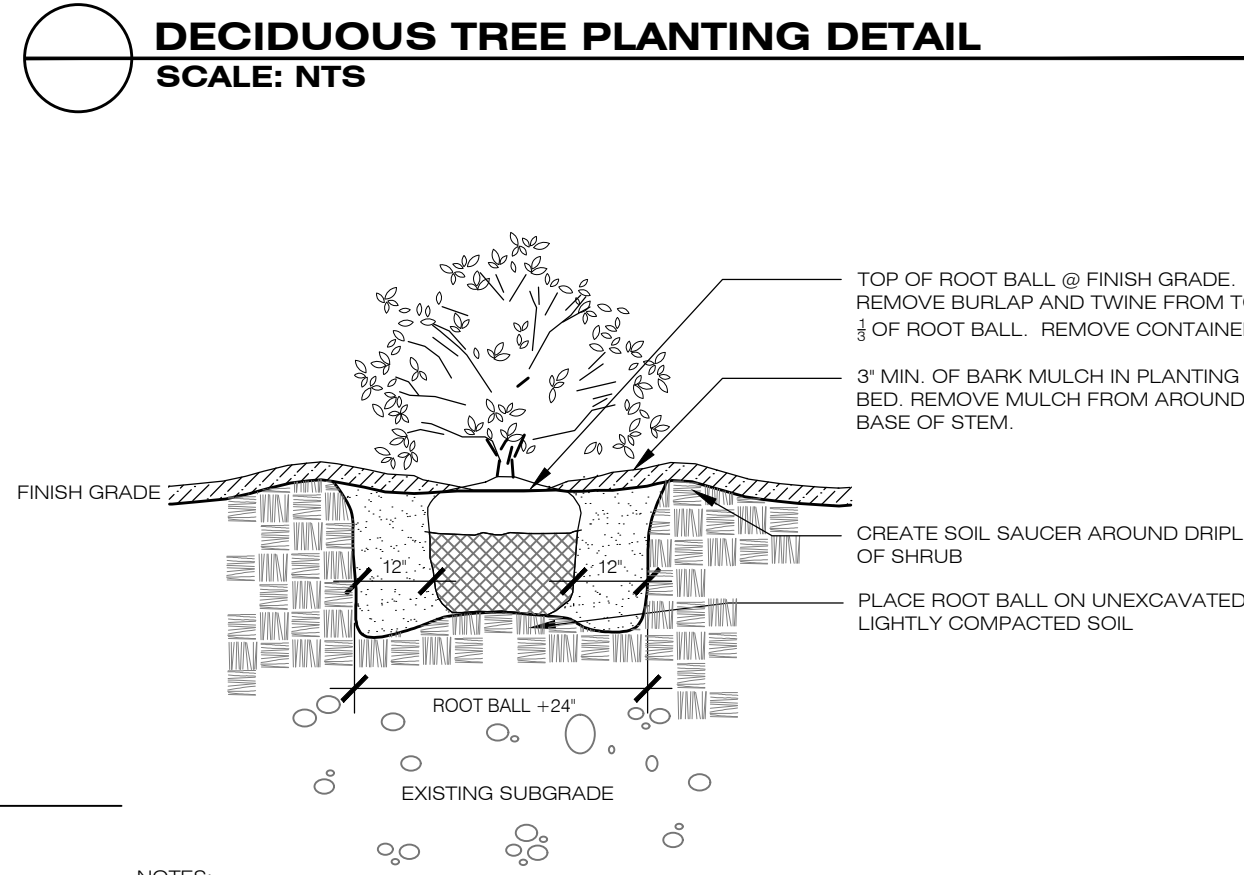
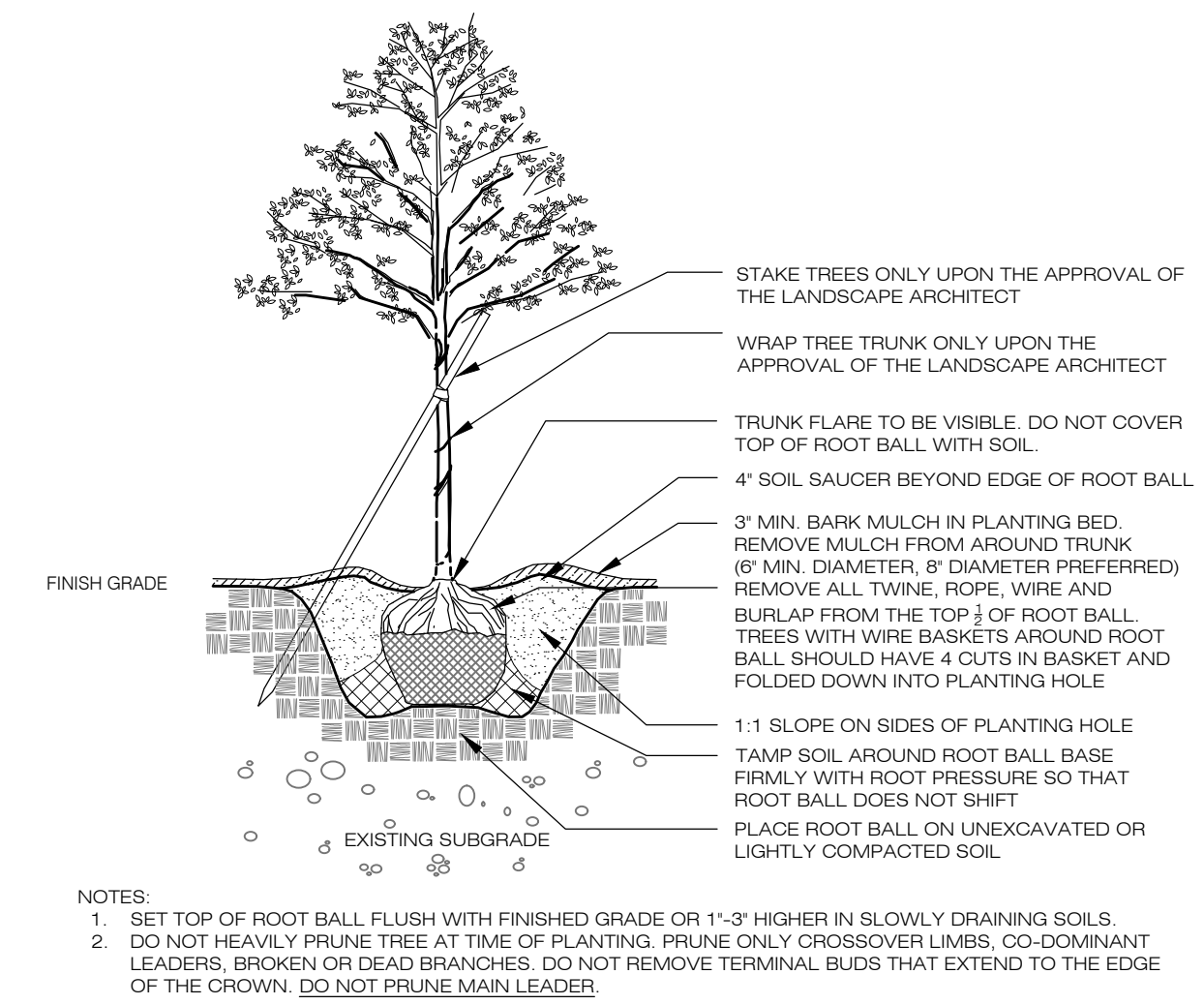
Orange Rocket Barberry



Red Diamond Loropetalum



Reed Grass



**JULIE BENINTENDI**  
DESIGNER

1508 S BIGGS STREET \* BOISE, IDAHO 83709  
208.869.4971 \* juliebenintendi@yahoo.com

**LANDSCAPE PLAN**

**CALQUAL - SPEC HOME**  
566 LINCOLN AVE  
LOS ALTOS, CA 94022

REVISIONS:

1 revised: 6.18.18 (Remove 1 Oleander)

2 revised: 6.28.18 (add evergreen screen)

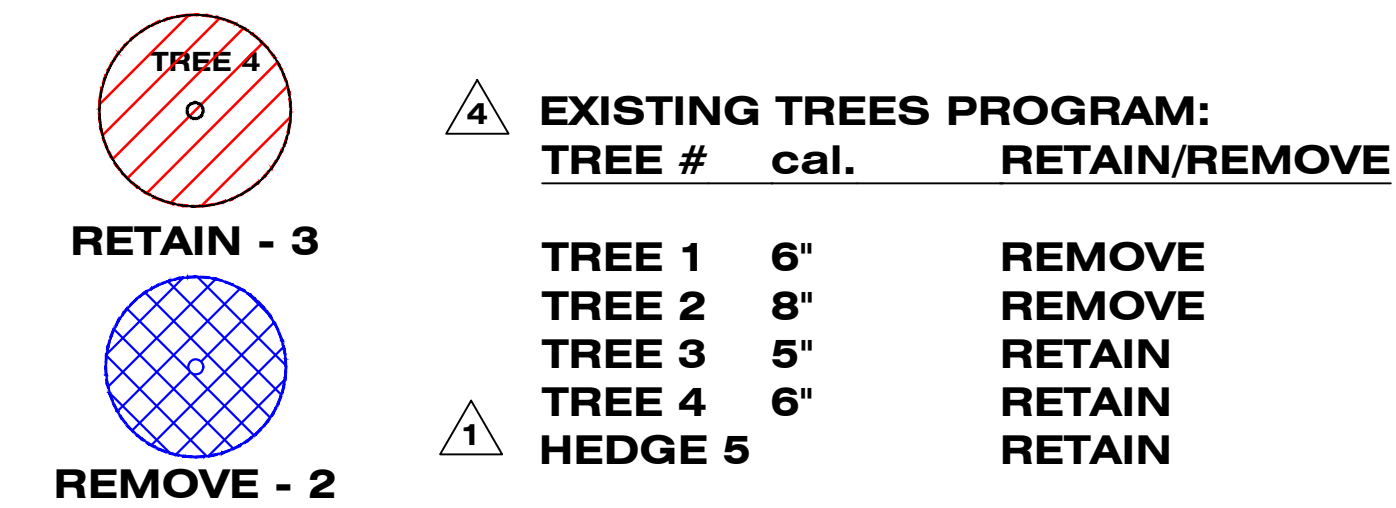
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Checked By: GB  
Job: 17009  
Sheet: L-1

DESIGN REVIEW SET



**PLANT SCHEDULE**

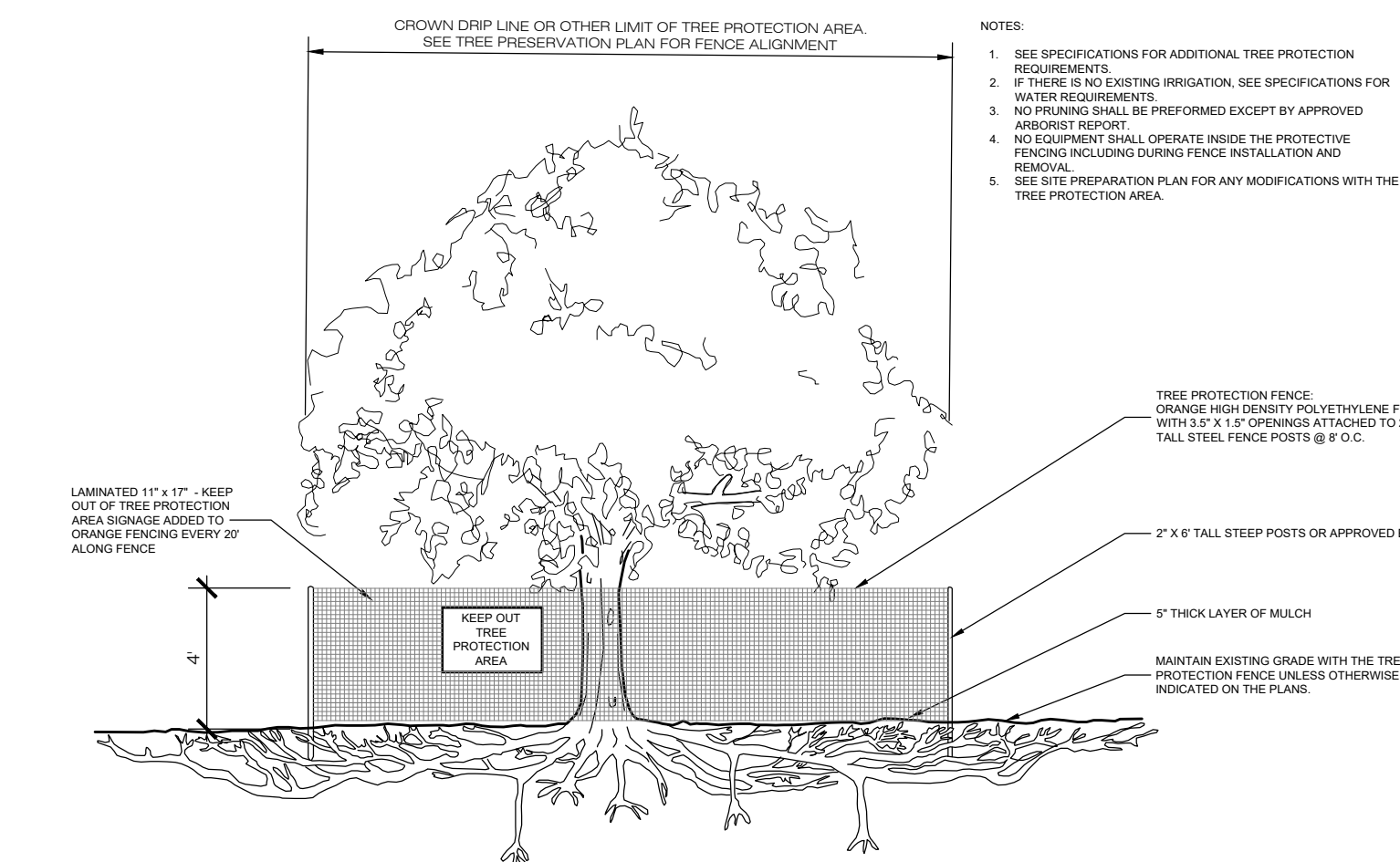
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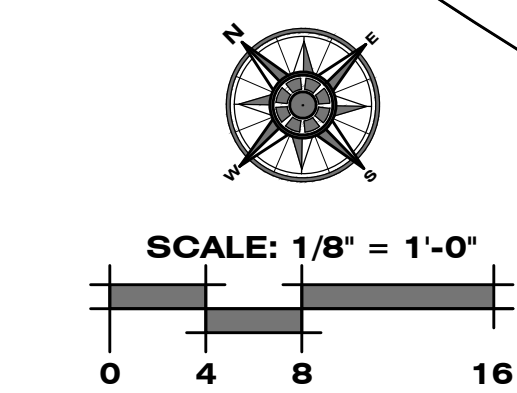
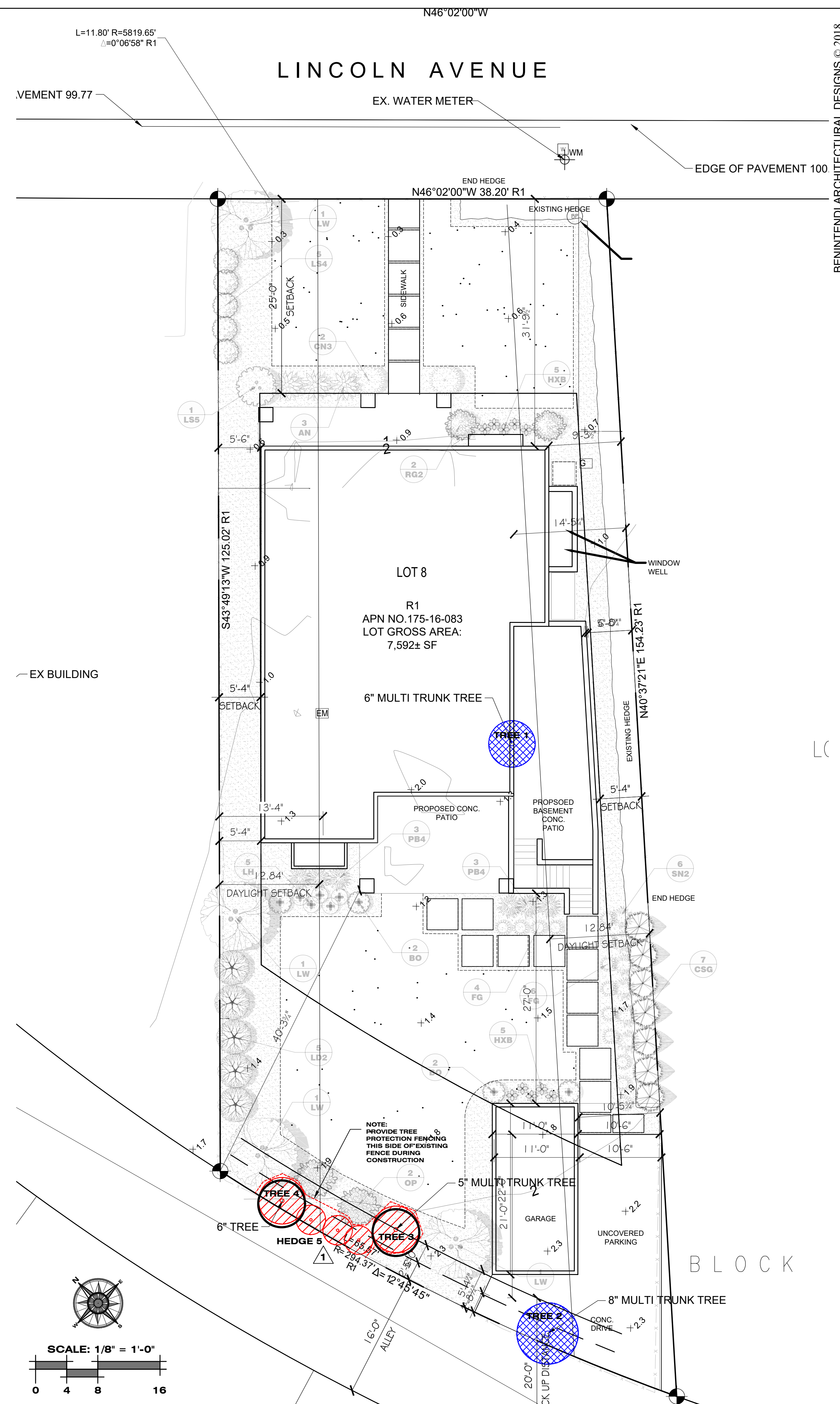
**TREE PROTECTION NOTES:**

- CRITICAL ROOT ZONE (DASHED LINE)**
- AREAS WITHIN THE CRITICAL ROOT ZONE SHALL NOT BE DISTURBED.
  - SURROUND TREES TO REMAIN WITH HIGH VISIBILITY PLASTIC MESH FENCING AND SIGNAGE.
  - DO NOT PARK OR STORE MATERIALS WITHIN THE CRITICAL ROOT ZONE.
  - NO CONSTRUCTION ACTIVITIES TO TAKE PLACE WITHIN THE CRITICAL ROOT ZONE.
  - AVOID CHANGING GRADE WITHIN THE CRITICAL ROOT. IF DISTURBANCE IS UNAVOIDABLE, DO NOT DISTURB MORE THAN 20% OF THE CRITICAL ROOT AREA.
  - AVOID SOIL COMPACTION WITHIN THE CRITICAL ROOT ZONE. PLACE MULCH TO PROTECT SOIL AND ROOT AREAS.
  - WATER TREES TO REMAIN MIN. ONE-ACRE INCH PER WEEK DURING THE CONSTRUCTION PROCESS PRIOR TO IRRIGATION SYSTEM INSTALLATION.

- EXISTING TREE PROGRAM NARRATIVE:**
- TREE 1 16" RETAIN, PROTECT EXISTING TREE (SEE TREE PROTECTION DETAIL THIS SHEET)
  - TREE 2 6" REMOVE, TREE IS WITHIN PROPOSED BUILDING FOOTPRINT
  - TREE 3 8" REMOVE, TREE IS WITHIN PROPOSED GARAGE DRIVEWAY ACCESS)
  - TREE 4 5" RETAIN, PROTECT EXISTING TREE
  - TREE 5 6" RETAIN, PROTECT EXISTING TREE
  - HEDGE 6 6" RETAIN, PROTECT EXISTING TREE (SEE PLAN VIEW OF TREE PROTECTION ZONE FOR TREE 4, 5 AND EVERGREEN HEDGE 6)



**TREE PROTECTION DETAIL**  
SCALE: NTS



**JULIE BENINTENDI**  
DESIGNER  
1508 S BIGGS STREET \* BOISE, IDAHO 83709  
208.869.4971 \* juliebenintendi@yahoo.com

**TREE PROTECTION PLAN**

CALQUAL - SPEC HOME  
566 LINCOLN AVE  
LOS ALTOS, CA 94022

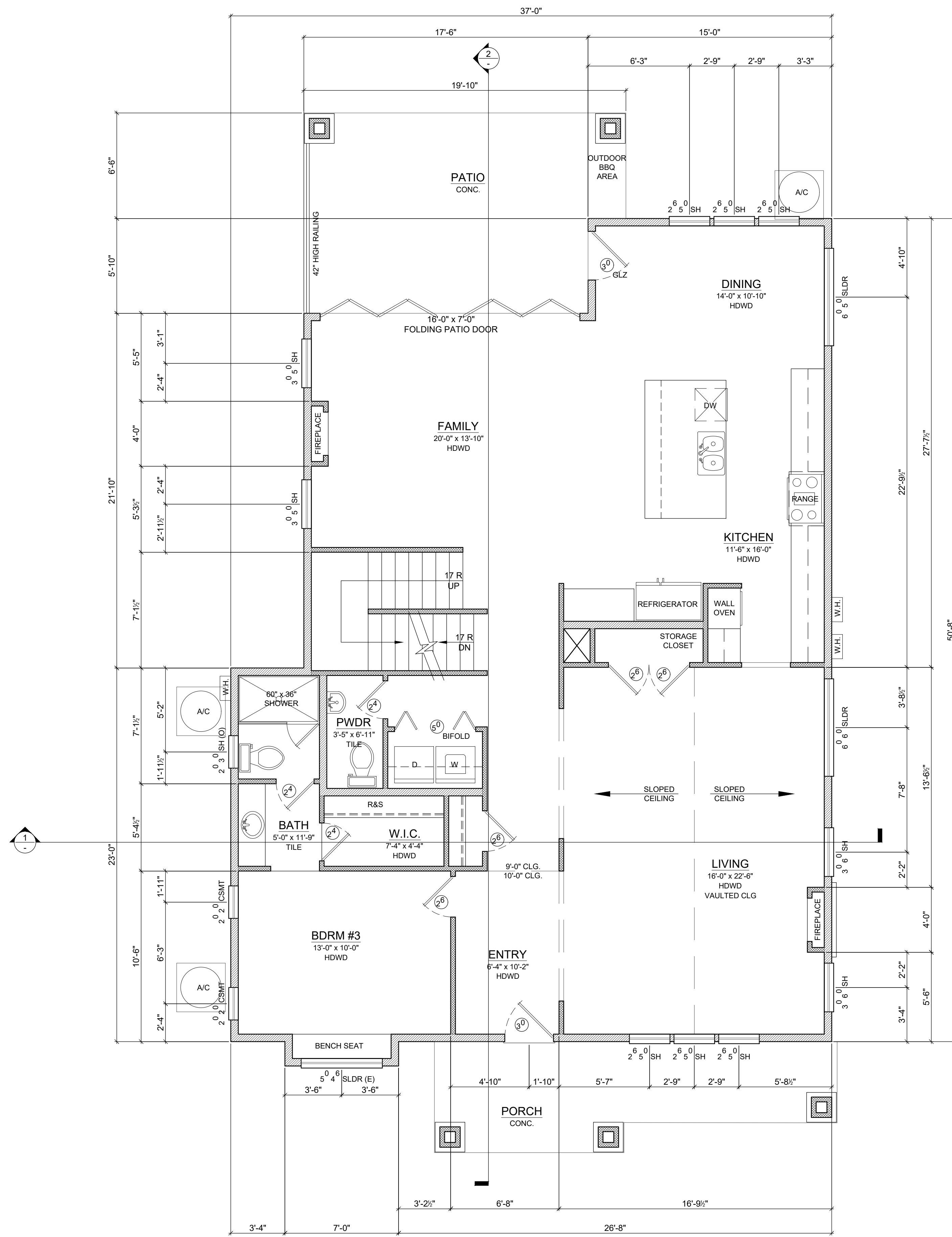
- REVISIONS:
- 1 revised: 6.18.18 (RETAIN EXISTING VEGETATION)
  - 2 revised: 6.18.18 (TREE PROTECTION NARRATIVE)
  - 3 revised: 6.18.18 (TREE PROTECTION DETAIL)
  - 4 revised: 6.28.18 (UPDATE EXISTING TREE PROGRAM LEGEND)

Date: 6/28/18  
Scale: AS NOTED  
Drawn By: MO/TK  
Checked By: GB  
Job: 17009

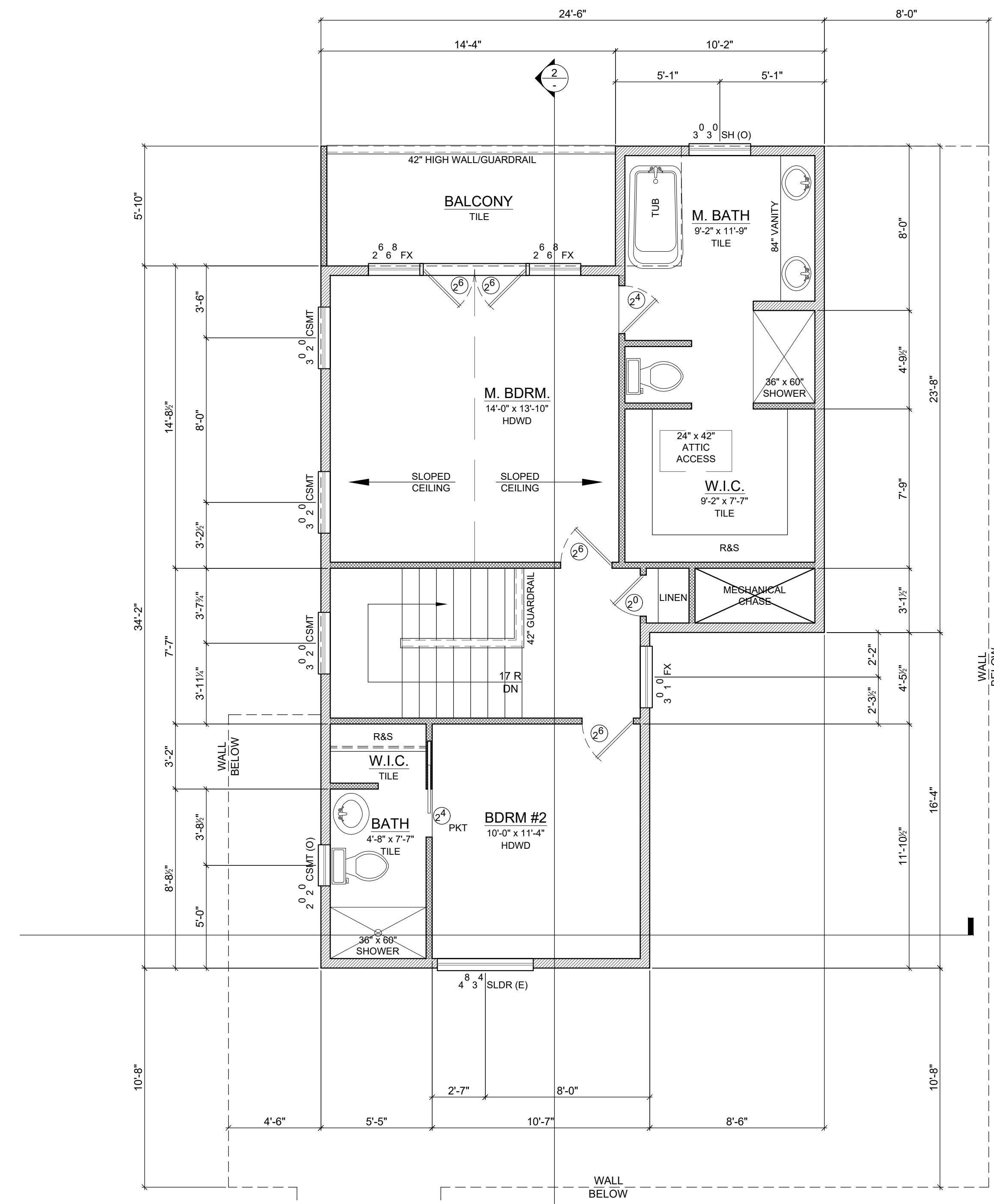
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**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

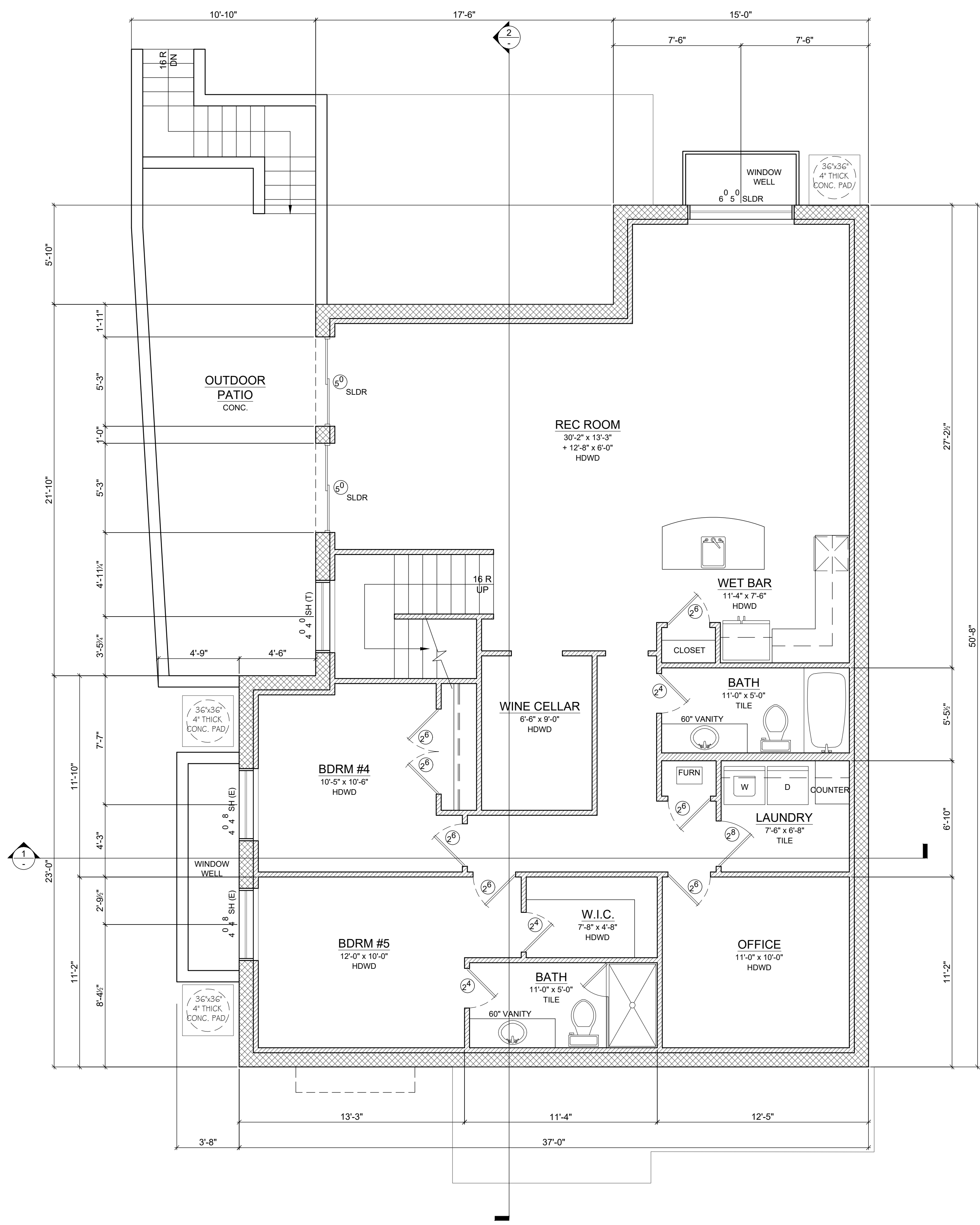


**UPPER FLOOR PLAN**  
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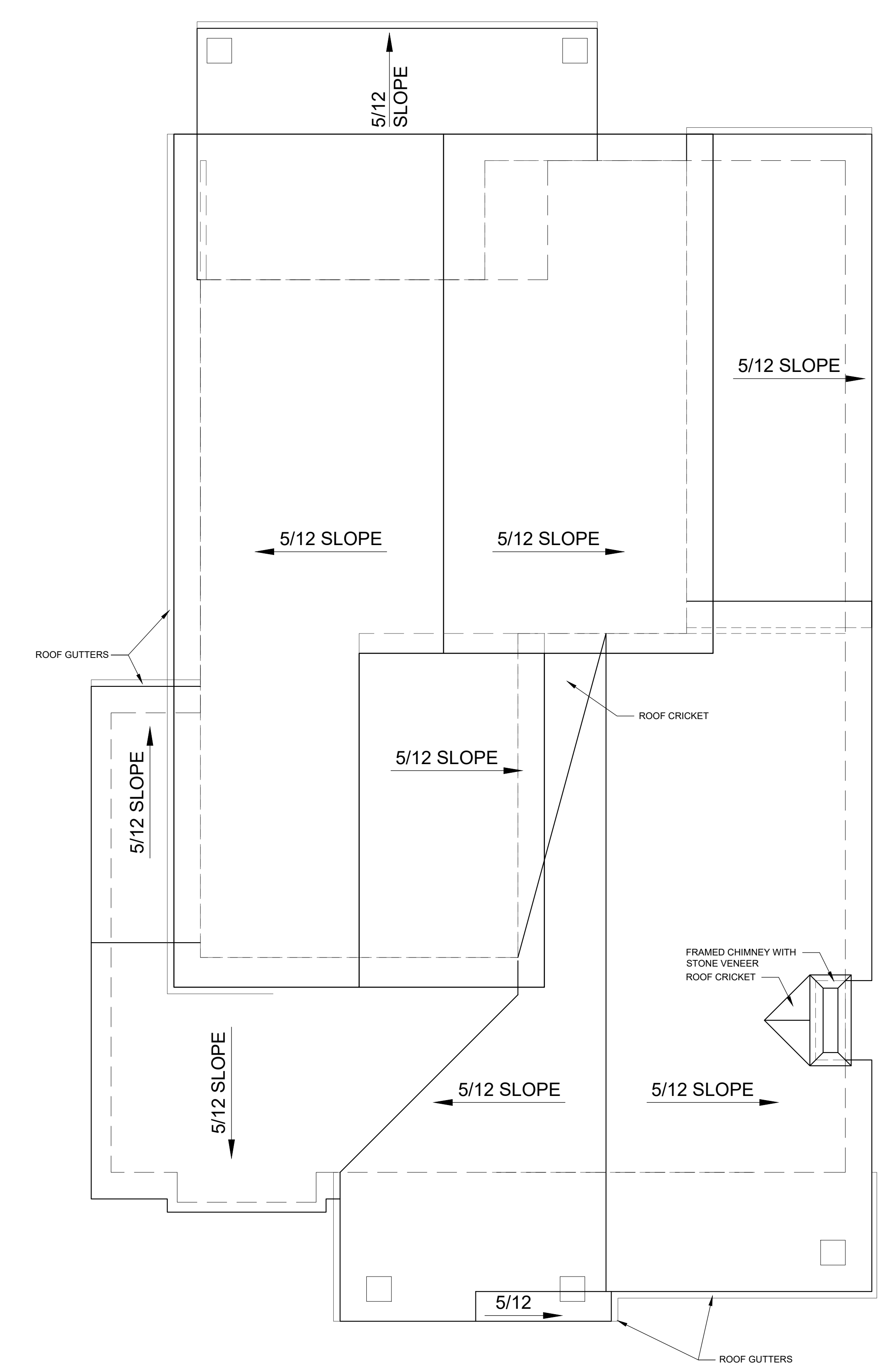
REVISIONS:


Date:	7/1/18
Scale:	AS NOTED
Drawn By:	JB
Checked By:	JB
Job:	17009





**FOUNDATION/BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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**JULIE BENINTENDI**  
DESIGNER

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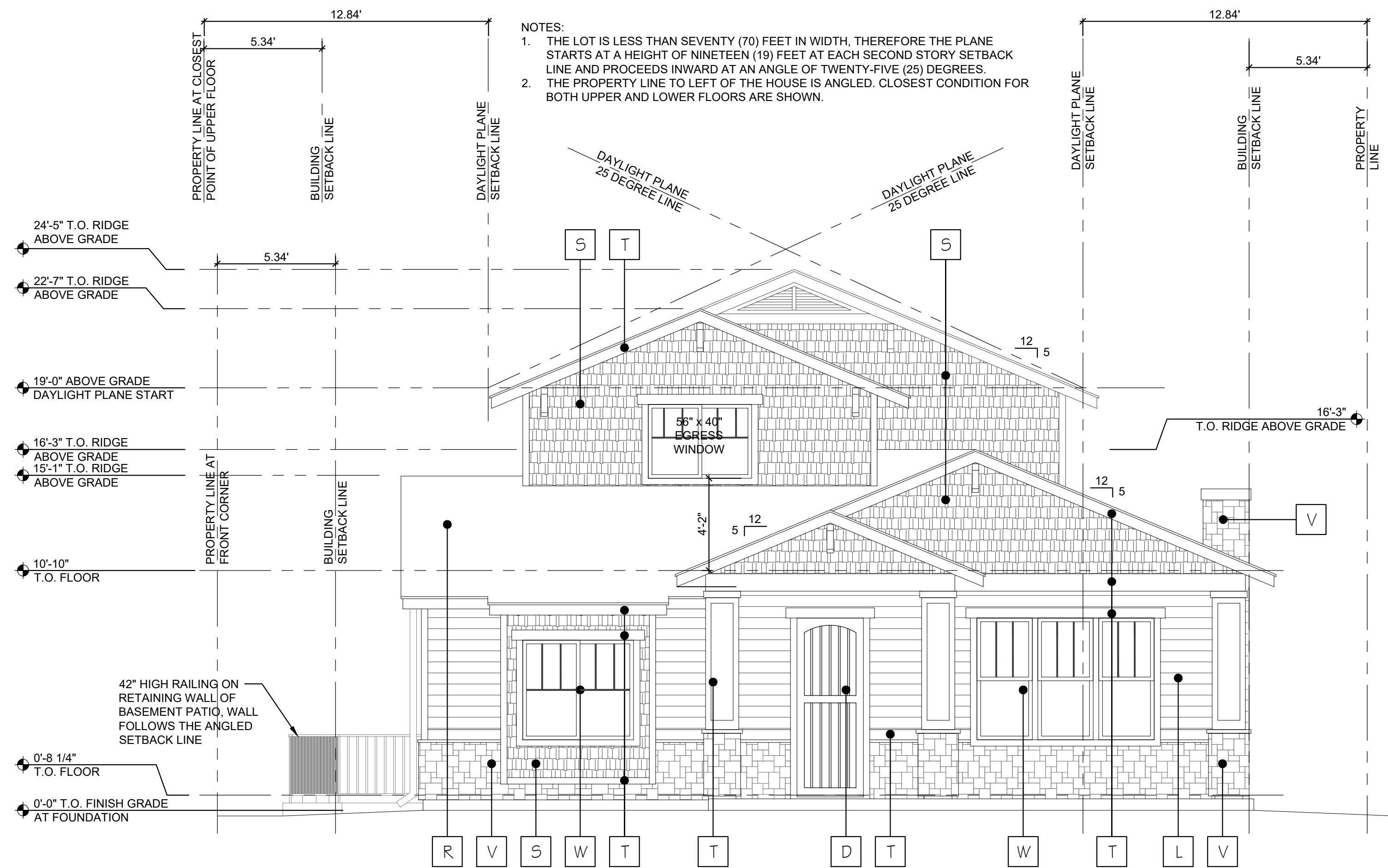
FOUNDATION/BASEMENT FLOOR PLAN & ROOF PLAN

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Date:	7/1/18
Scale:	AS NOTED
Drawn By:	JB
Checked By:	JB
Job:	17009

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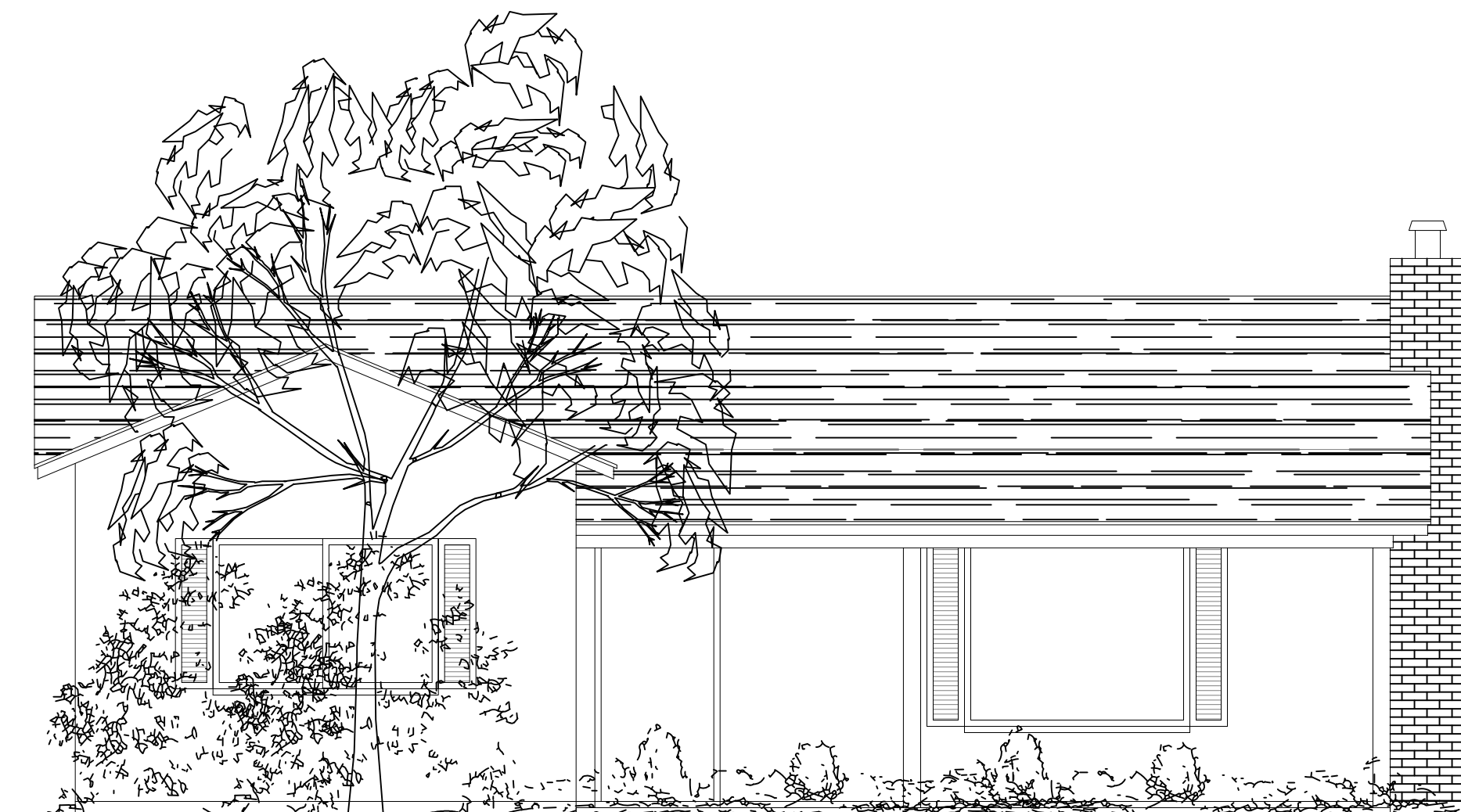
NOTES:  
 1. THE LOT IS LESS THAN SEVENTY (70) FEET IN WIDTH, THEREFORE THE PLANE STARTS AT A HEIGHT OF NINETEEN (19) FEET AT EACH SECOND STORY SETBACK LINE AND PROCEEDS INWARD AT AN ANGLE OF TWENTY-FIVE (25) DEGREES.  
 2. THE PROPERTY LINE TO LEFT OF THE HOUSE IS ANGLED. CLOSEST CONDITION FOR BOTH UPPER AND LOWER FLOORS ARE SHOWN.

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

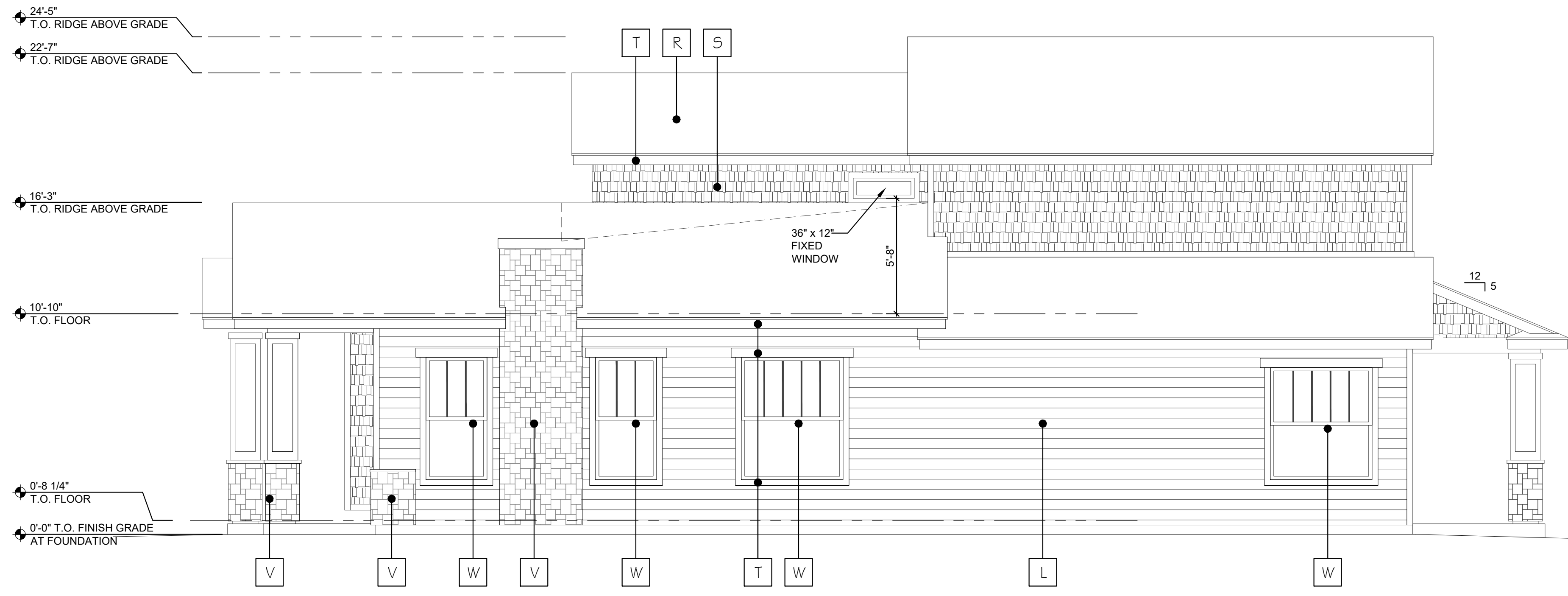
**FINISH SCHEDULE**

S	HardieShingle STRAIGHT EDGE PANEL, COLOR TO MATCH "GRAY SLATE"	D	WOOD DOOR, COLOR TO MATCH "MAHOGANY WOOD"
V	STONE VENEER TO MATCH CORONADO CANYON COBBLE "WIND RIVER"	R	LIGHT WEIGHT CONCRETE ROOF TILE SIMILAR TO EAGLE ROOFING CAPISTRANO STYLE, COLOR "CALABAR BLEND"
W	LOW-E VINYL WINDOWS, FRAME COLOR TO MATCH MILGARD "WHITE"	T	HardieTrim, HardieSoffit & GUTTERS, COLOR TO MATCH "ARTIC WHITE"
L	HardiePlank LAP SIDING SELECT CEDARMILL, COLOR TO MATCH "GRAY SLATE"		



**EXISTING STRUCTURE ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

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Date:	7/1/18
Scale:	AS NOTED
Drawn By:	JB
Checked By:	JB
Job:	17009

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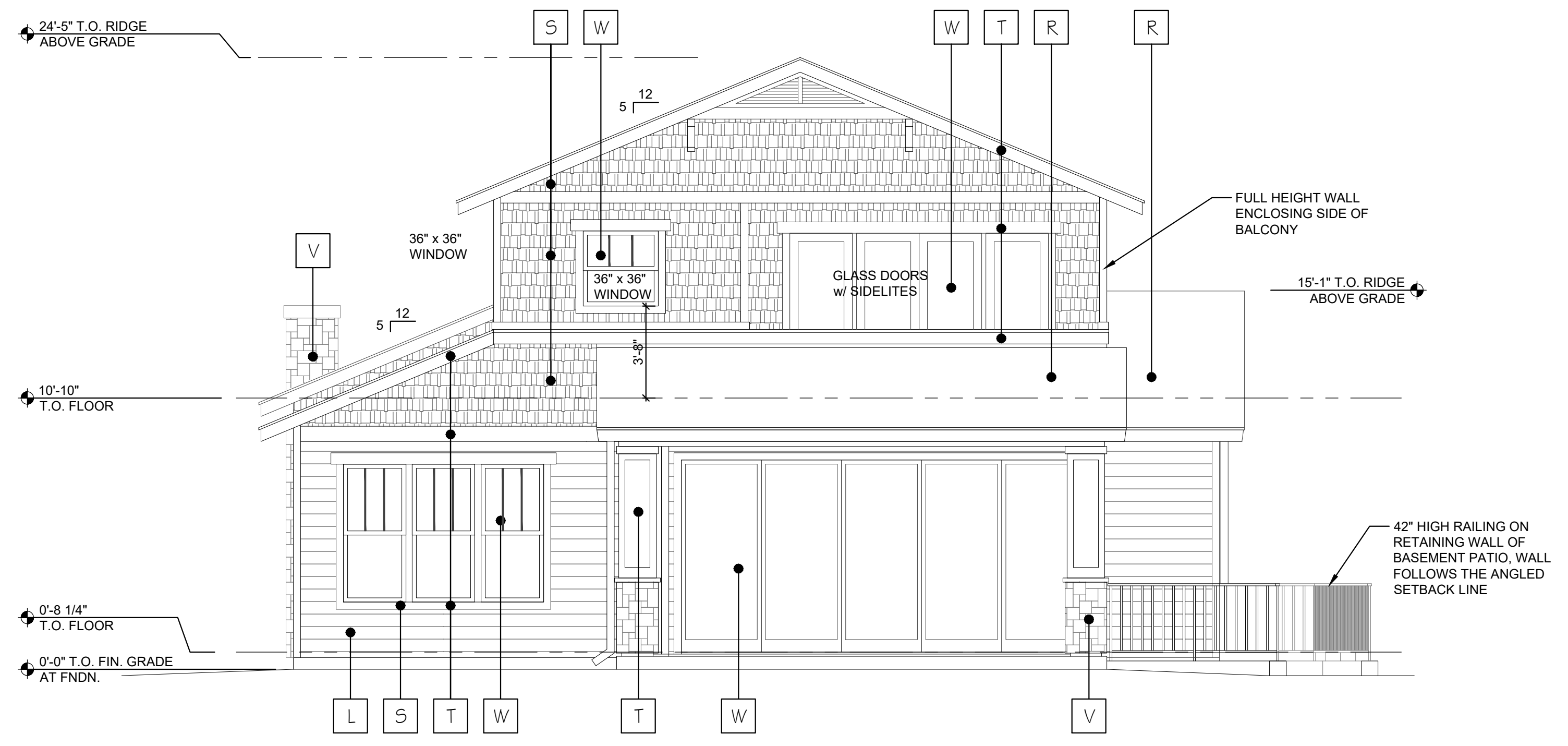


REVISIONS:

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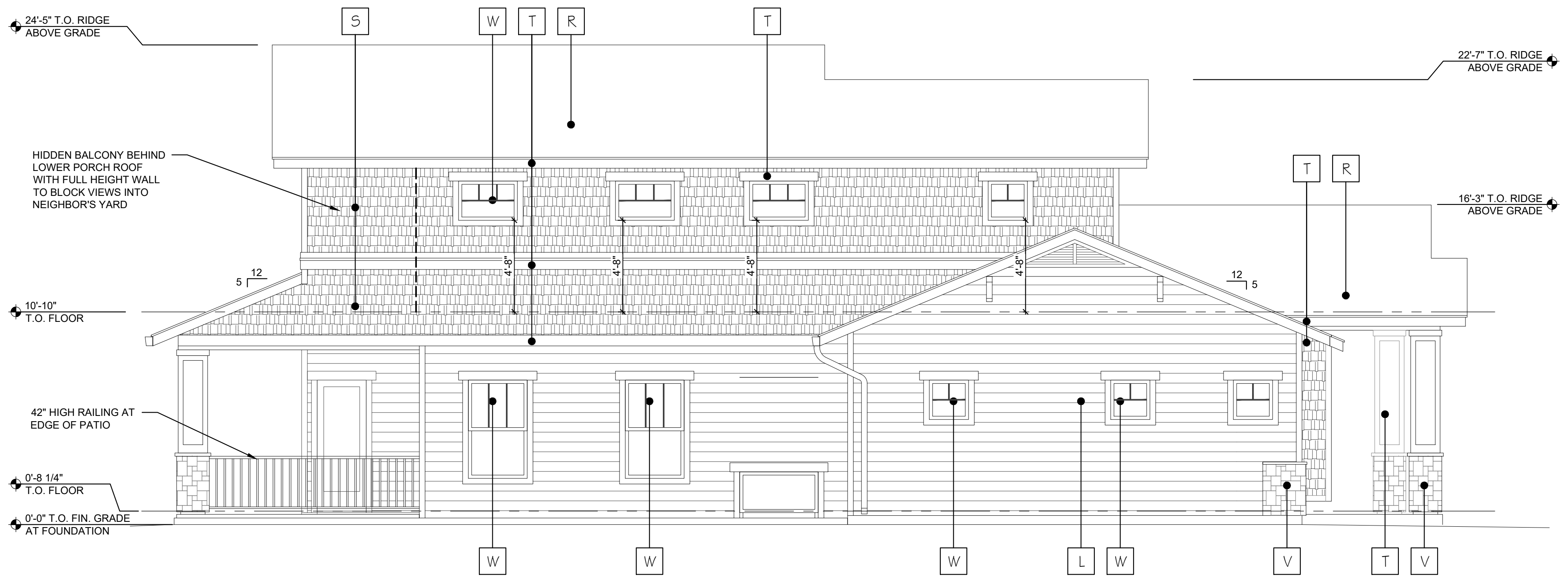
**FINISH SCHEDULE**

<p><b>S</b> HardieShingle STRAIGHT EDGE PANEL, COLOR TO MATCH "GRAY SLATE"</p> <p><b>V</b> STONE VENEER TO MATCH CORONADO CANYON COBBLE "WIND RIVER"</p> <p><b>W</b> LOW-E VINYL WINDOWS, FRAME COLOR TO MATCH MILGARD "WHITE"</p> <p><b>L</b> HardiePlank LAP SIDING SELECT CEDARMILL, COLOR TO MATCH "GRAY SLATE"</p>	<p><b>D</b> WOOD DOOR, COLOR TO MATCH "MAHOGANY WOOD"</p> <p><b>R</b> LIGHT WEIGHT CONCRETE ROOF TILE SIMILAR TO EAGLE ROOFING CAPISTRANO STYLE, COLOR "CALABAR BLEND"</p> <p><b>T</b> HardieTrim, HardieSoffit &amp; GUTTERS, COLOR TO MATCH "ARTIC WHITE"</p>
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**REAR ELEVATION**

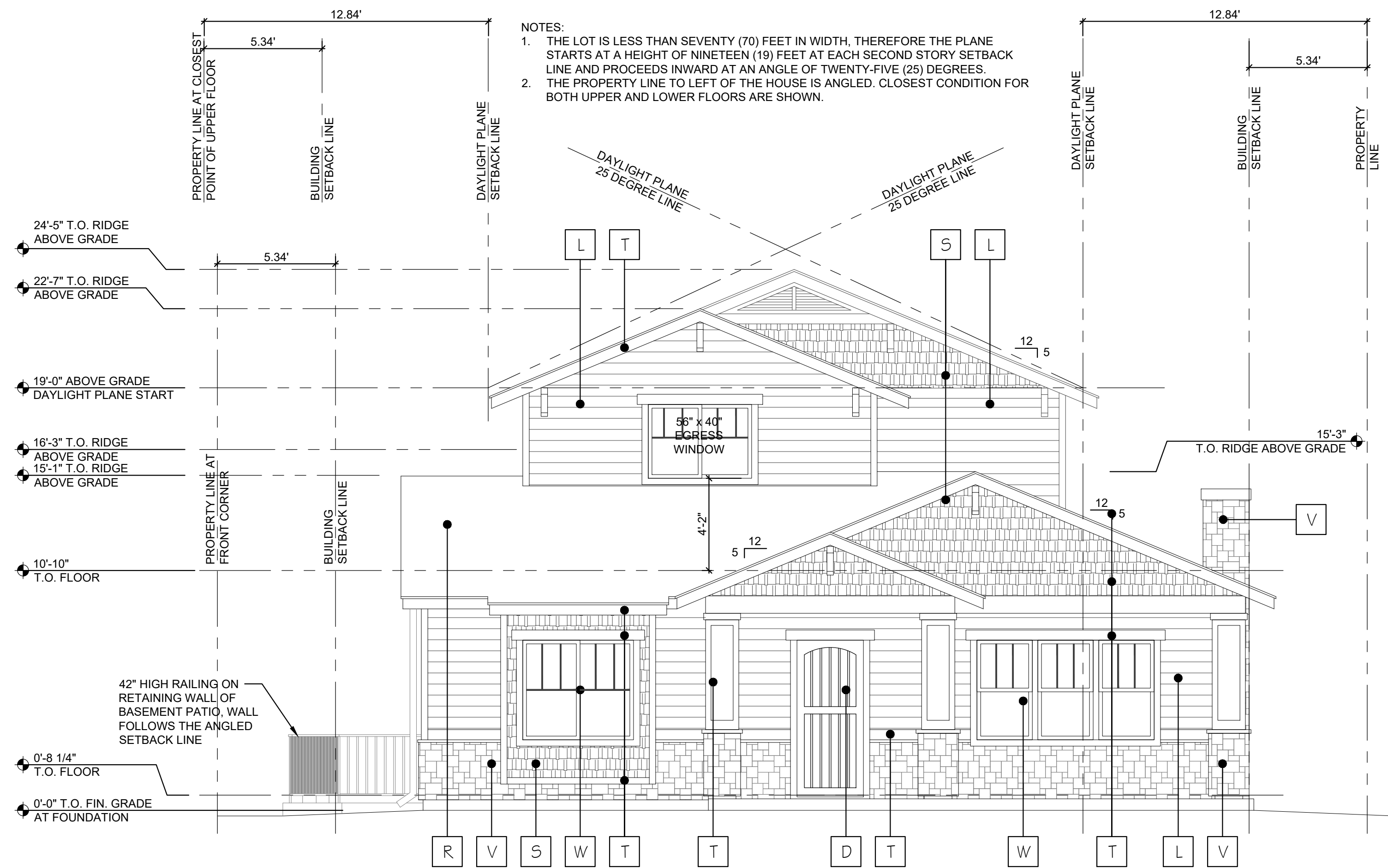
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"





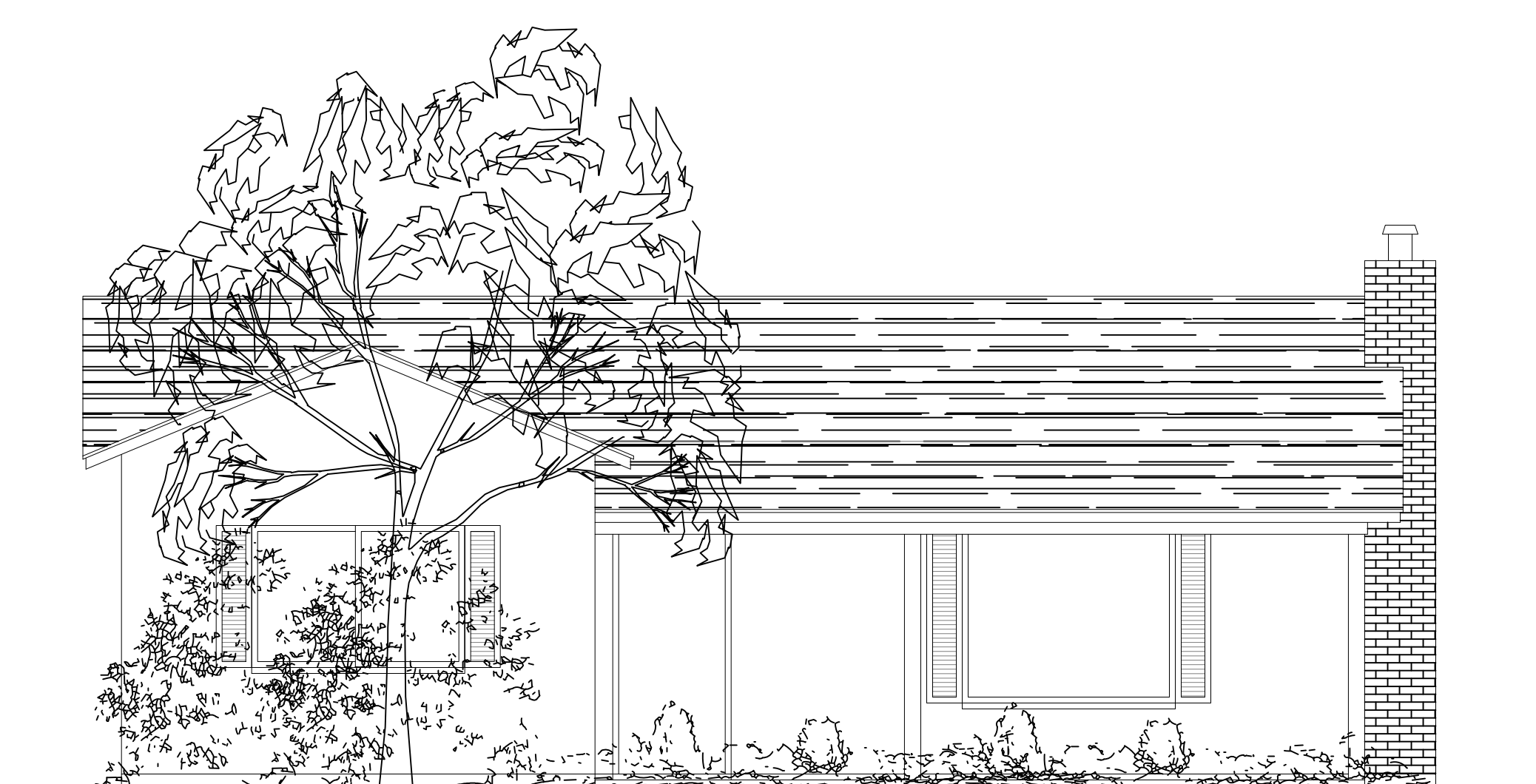
NOTES:  
 1. THE LOT IS LESS THAN SEVENTY (70) FEET IN WIDTH, THEREFORE THE PLANE STARTS AT A HEIGHT OF NINETEEN (19) FEET AT EACH SECOND STORY SETBACK LINE AND PROCEEDS INWARD AT AN ANGLE OF TWENTY-FIVE (25) DEGREES.  
 2. THE PROPERTY LINE TO LEFT OF THE HOUSE IS ANGLED. CLOSEST CONDITION FOR BOTH UPPER AND LOWER FLOORS ARE SHOWN.

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

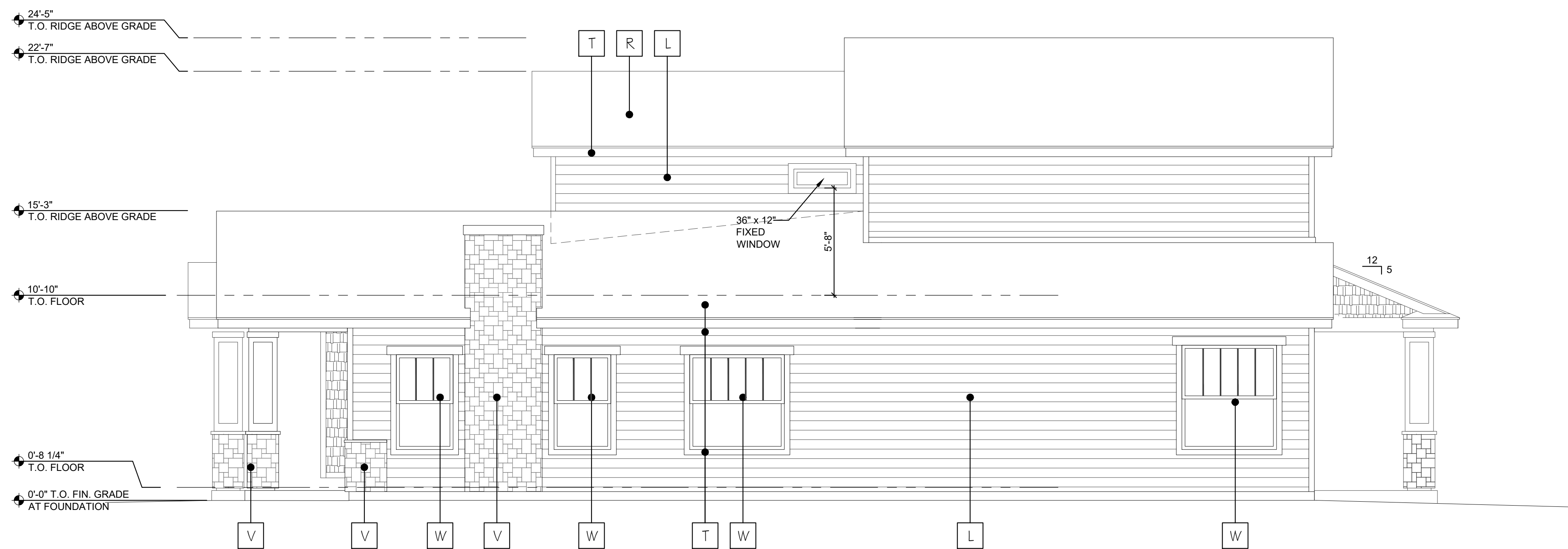
**FINISH SCHEDULE**

- S HardieShingle STRAIGHT EDGE PANEL, COLOR TO MATCH "GRAY SLATE"
- V STONE VENEER TO MATCH CORONADO CANYON COBBLE "WIND RIVER"
- W LOW-E VINYL WINDOWS, FRAME COLOR TO MATCH MILGARD "WHITE"
- L HardiePlank LAP SIDING SELECT CEDARMILL, COLOR TO MATCH "GRAY SLATE"
- D WOOD DOOR, COLOR TO MATCH "MAHOGANY WOOD"
- R LIGHT WEIGHT CONCRETE ROOF TILE SIMILAR TO EAGLE ROOFING CAPISTRANO STYLE, COLOR "CALABAR BLEND"
- T HardieTrim, HardieSoffit & GUTTERS, COLOR TO MATCH "ARTIC WHITE"



**EXISTING STRUCTURE ELEVATION**

SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"

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REVISIONS:	
Date:	7/1/18
Scale:	A5 NOTED
Drawn By:	JB
Checked By:	JB
Job:	17009

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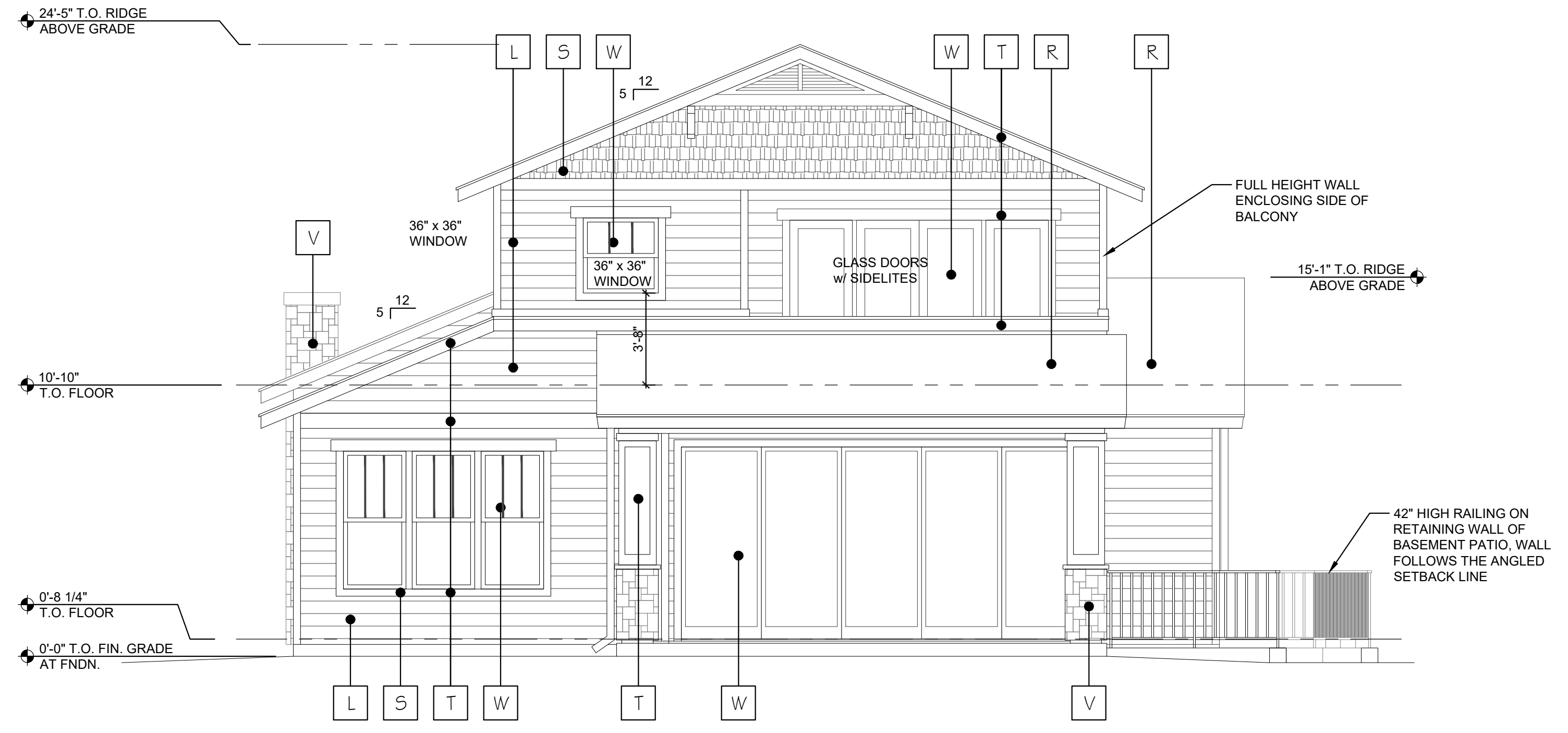
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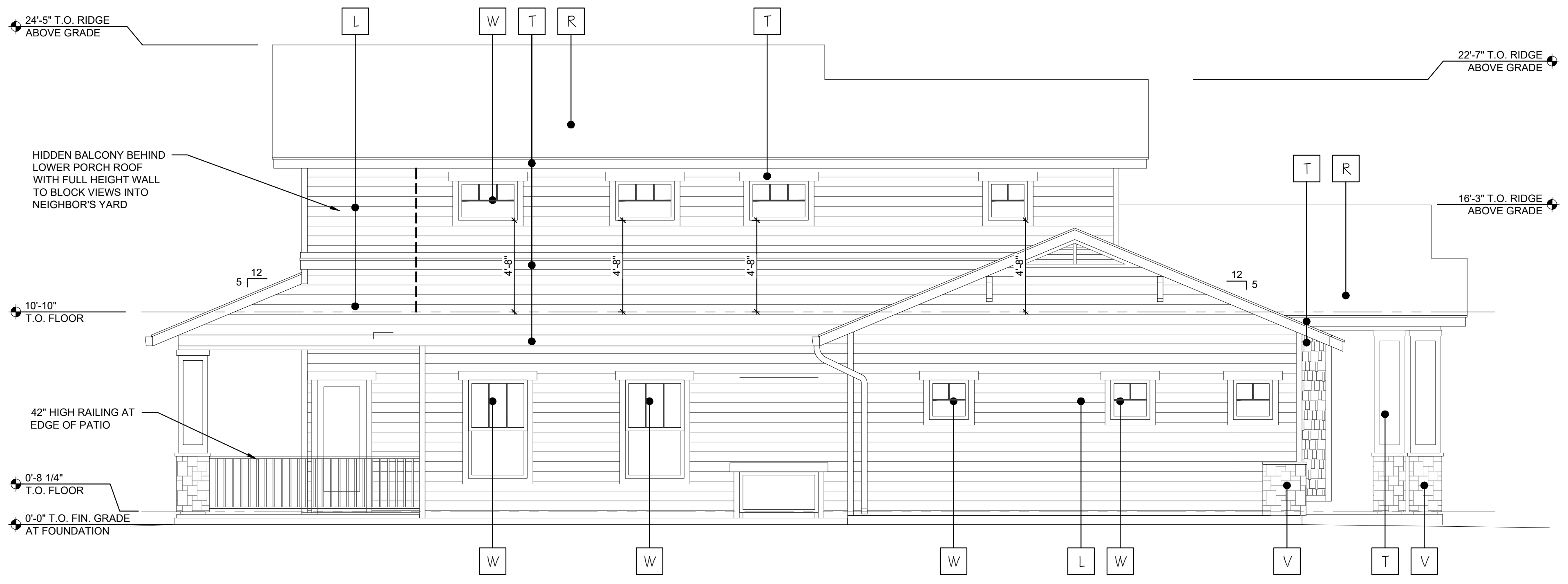
**FINISH SCHEDULE**

<p><b>S</b> HardieShingle STRAIGHT EDGE PANEL, COLOR TO MATCH "GRAY SLATE"</p> <p><b>V</b> STONE VENEER TO MATCH CORONADO CANYON COBBLE "WIND RIVER"</p> <p><b>W</b> LOW-E VINYL WINDOWS, FRAME COLOR TO MATCH MILGARD "WHITE"</p> <p><b>L</b> HardiePlank LAP SIDING SELECT CEDARMILL, COLOR TO MATCH "GRAY SLATE"</p>	<p><b>D</b> WOOD DOOR, COLOR TO MATCH "MAHOGANY WOOD"</p> <p><b>R</b> LIGHT WEIGHT CONCRETE ROOF TILE SIMILAR TO EAGLE ROOFING CAPISTRANO STYLE, COLOR "CALABAR BLEND"</p> <p><b>T</b> HardieTrim, HardieSoffit &amp; GUTTERS, COLOR TO MATCH "ARTIC WHITE"</p>
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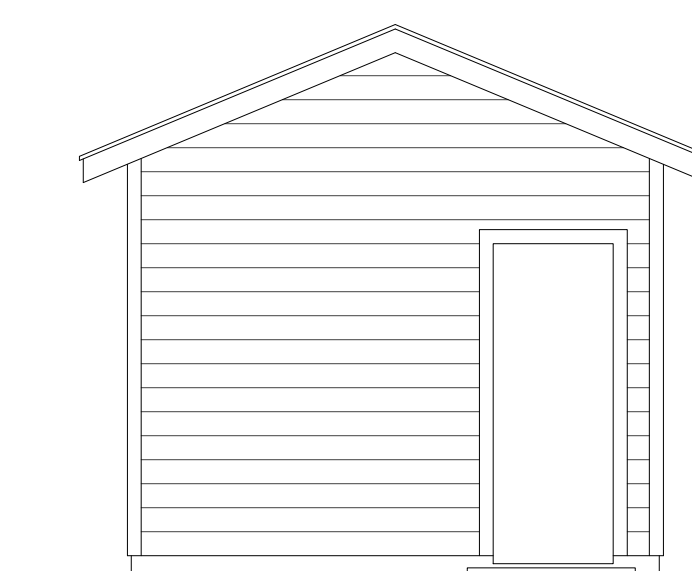
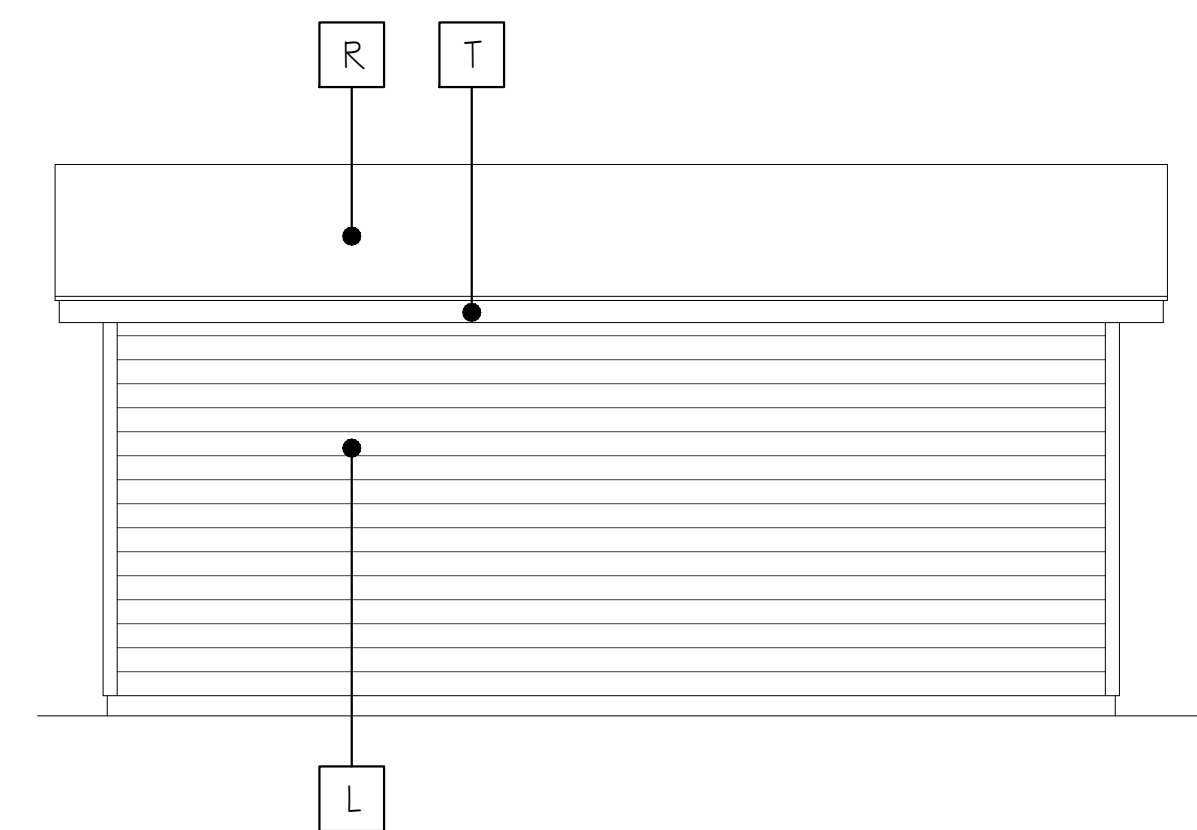
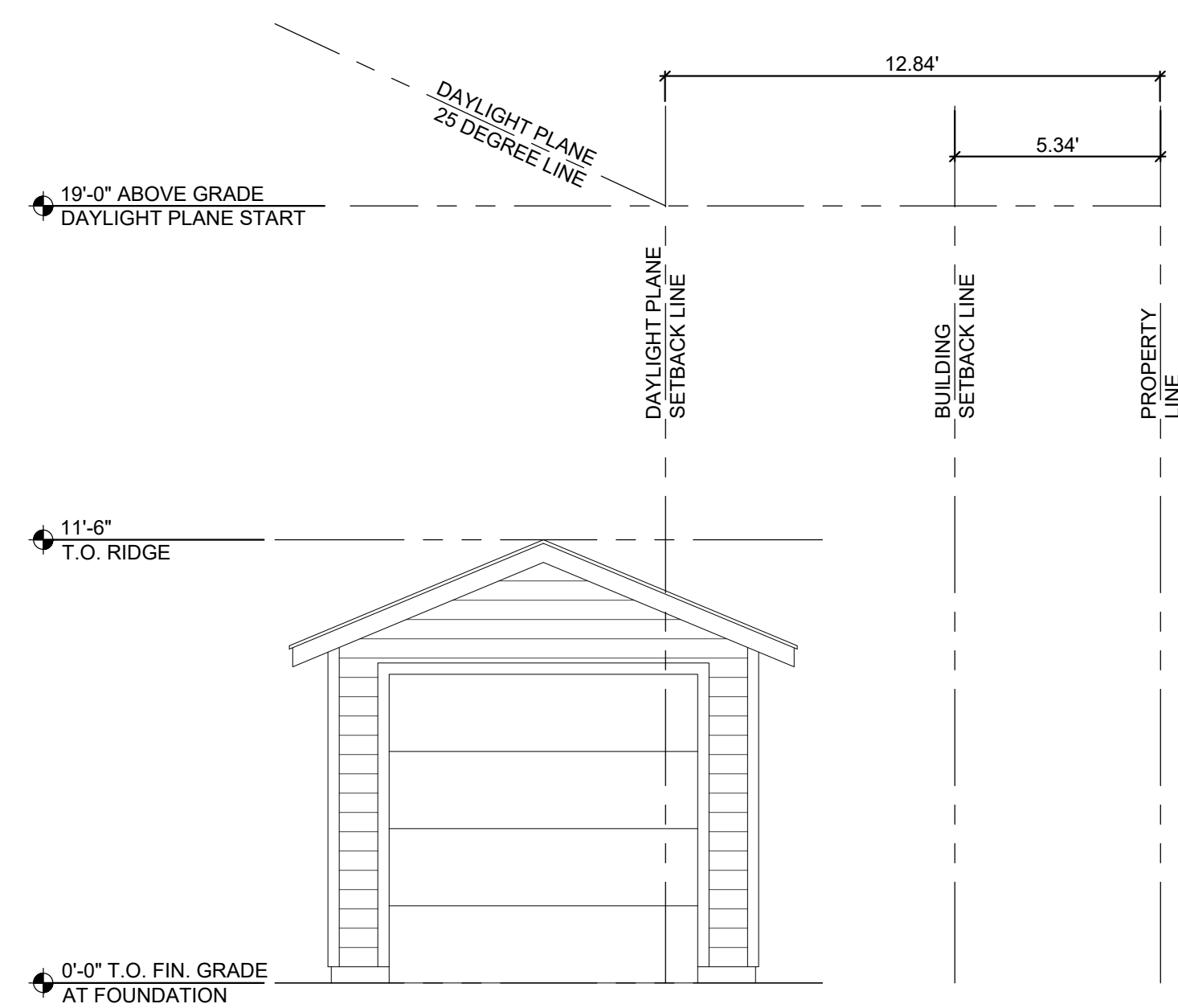
**REAR ELEVATION**

SCALE: 1/4" = 1'-0"

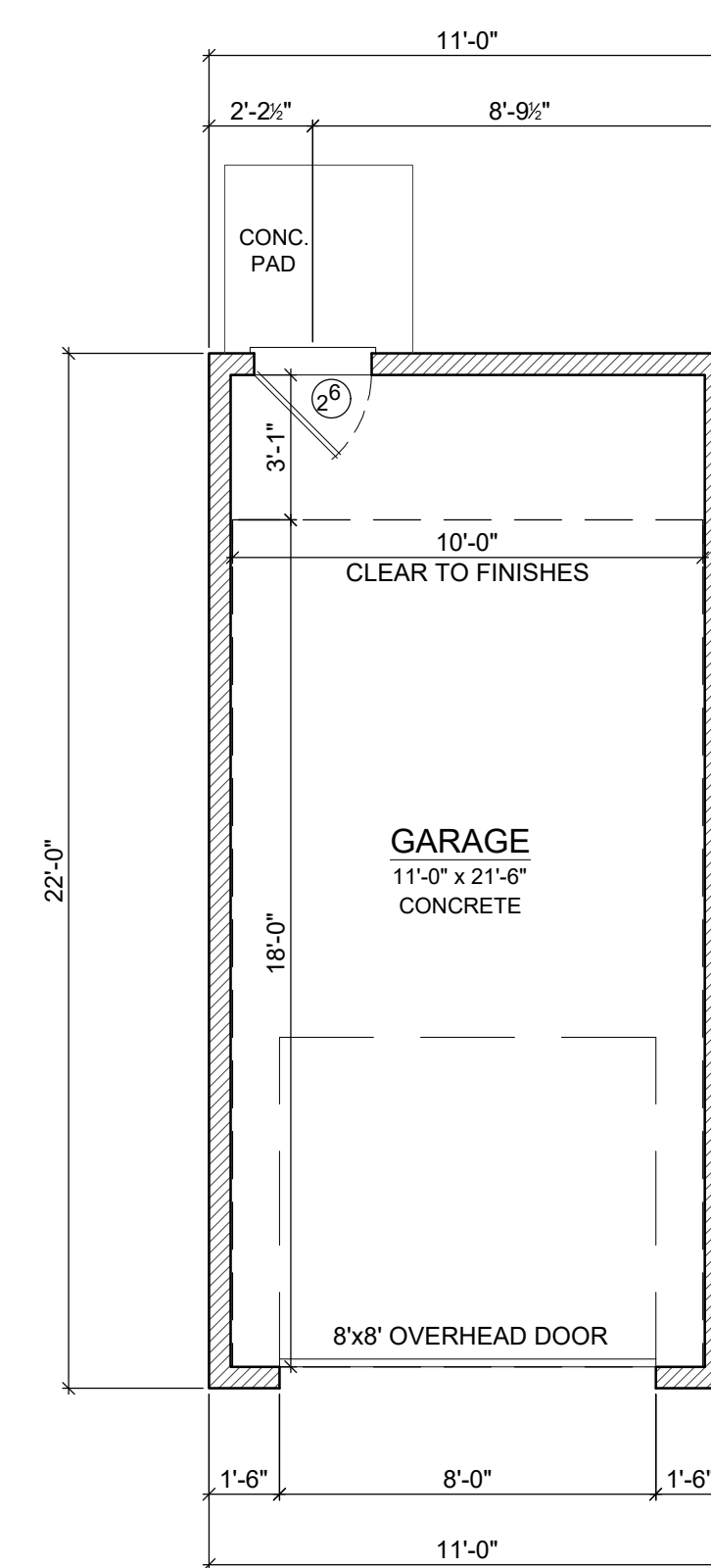


**LEFT ELEVATION**

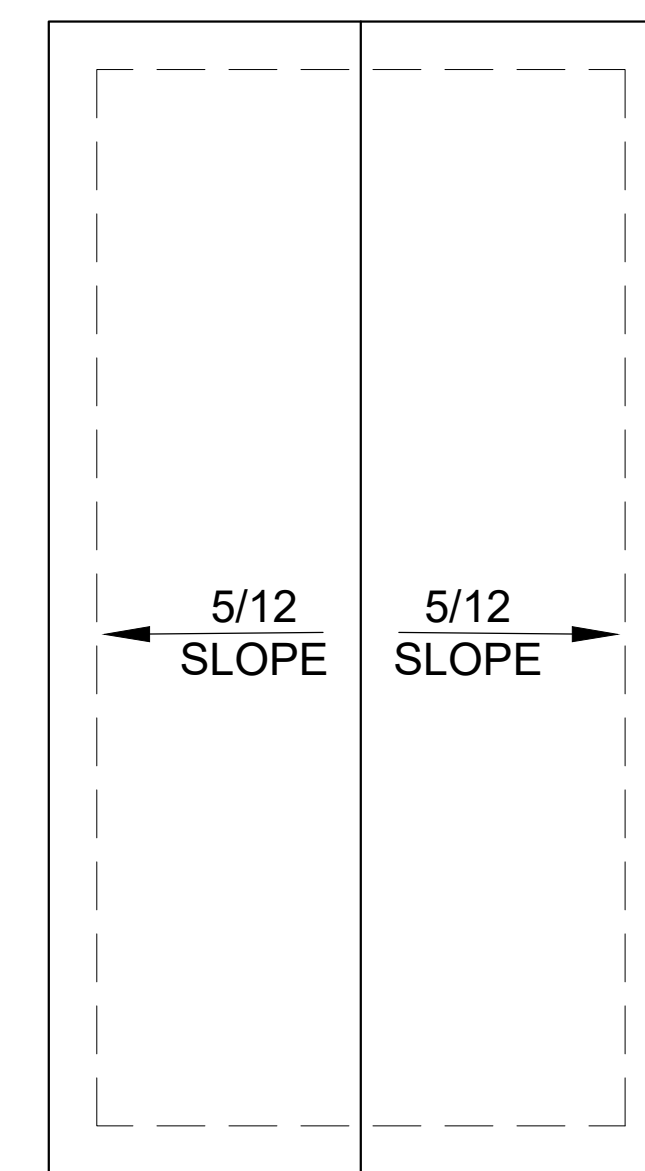
SCALE: 1/4" = 1'-0"



**GARAGE ELEVATIONS**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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GARAGE PLANS & ELEVATIONS

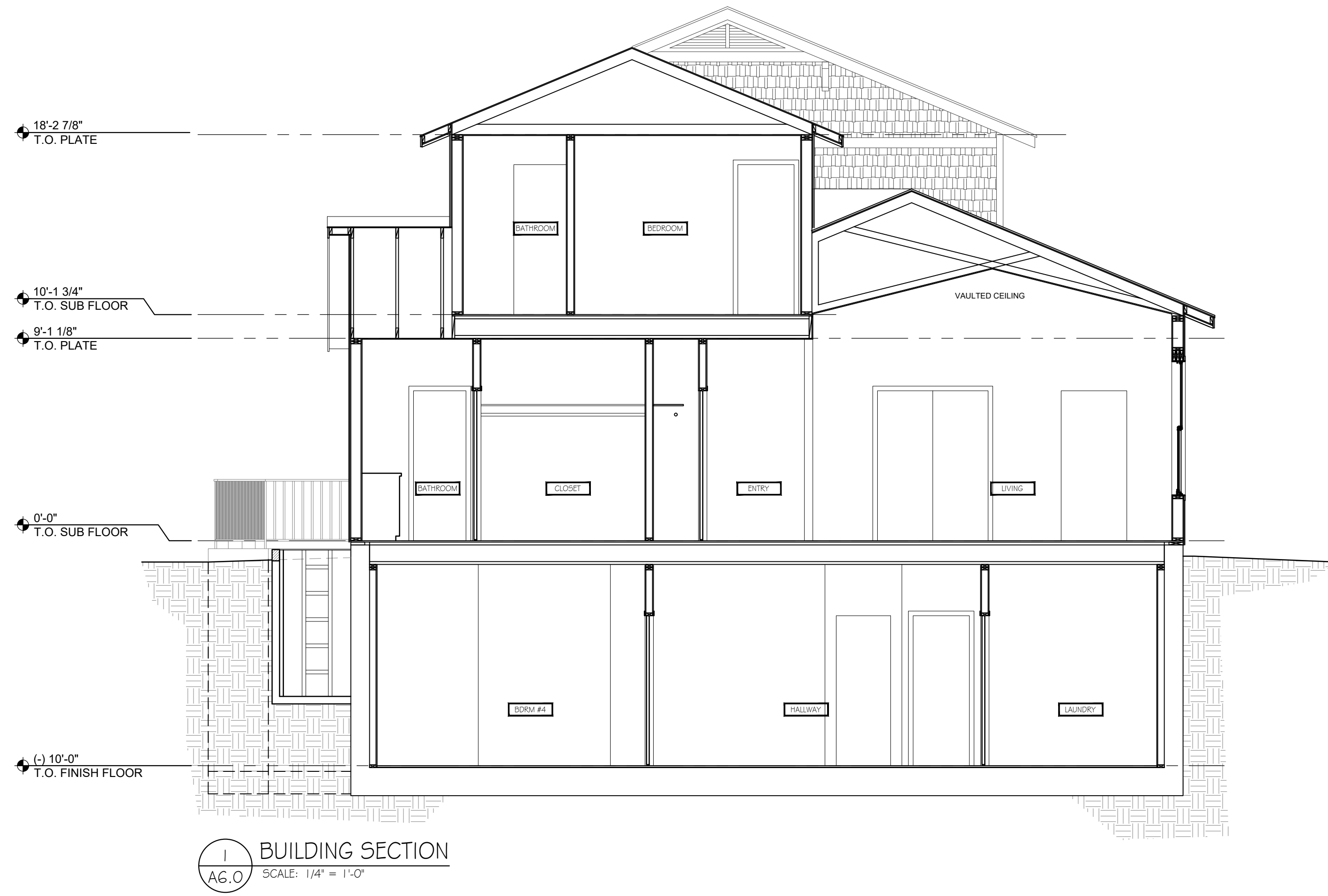
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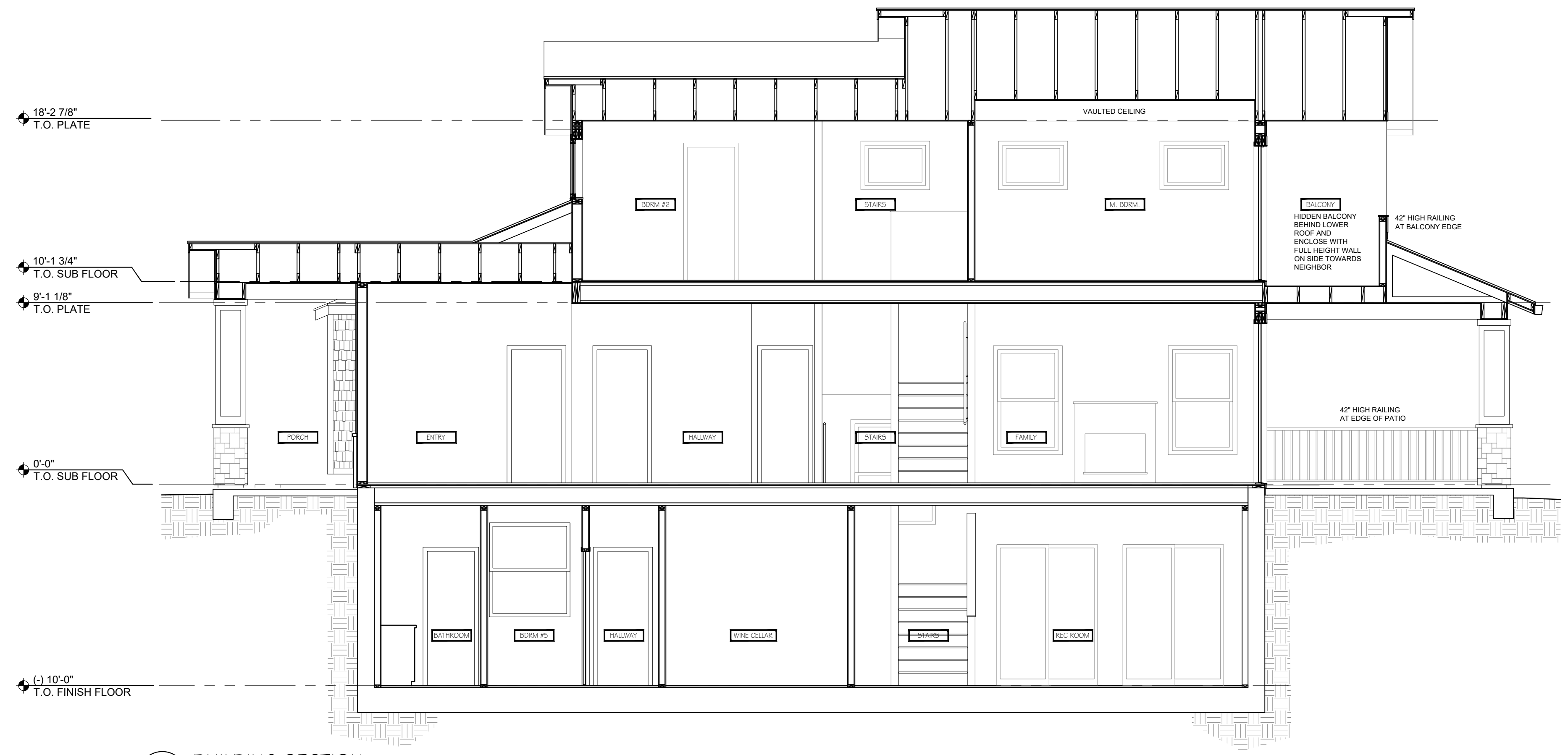
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1 BUILDING SECTION  
 AG.0 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION  
 AG.0 SCALE: 1/4" = 1'-0"

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SECTIONS & DETAILS

REVISIONS:


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Scale:	AS NOTED
Drawn By:	JB
Checked By:	JB
Job:	17009

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