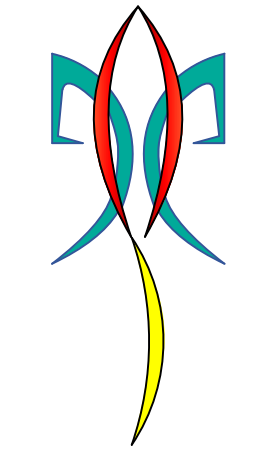


BUCKINGHAM PROJECT - 2ND STORY ADDITION



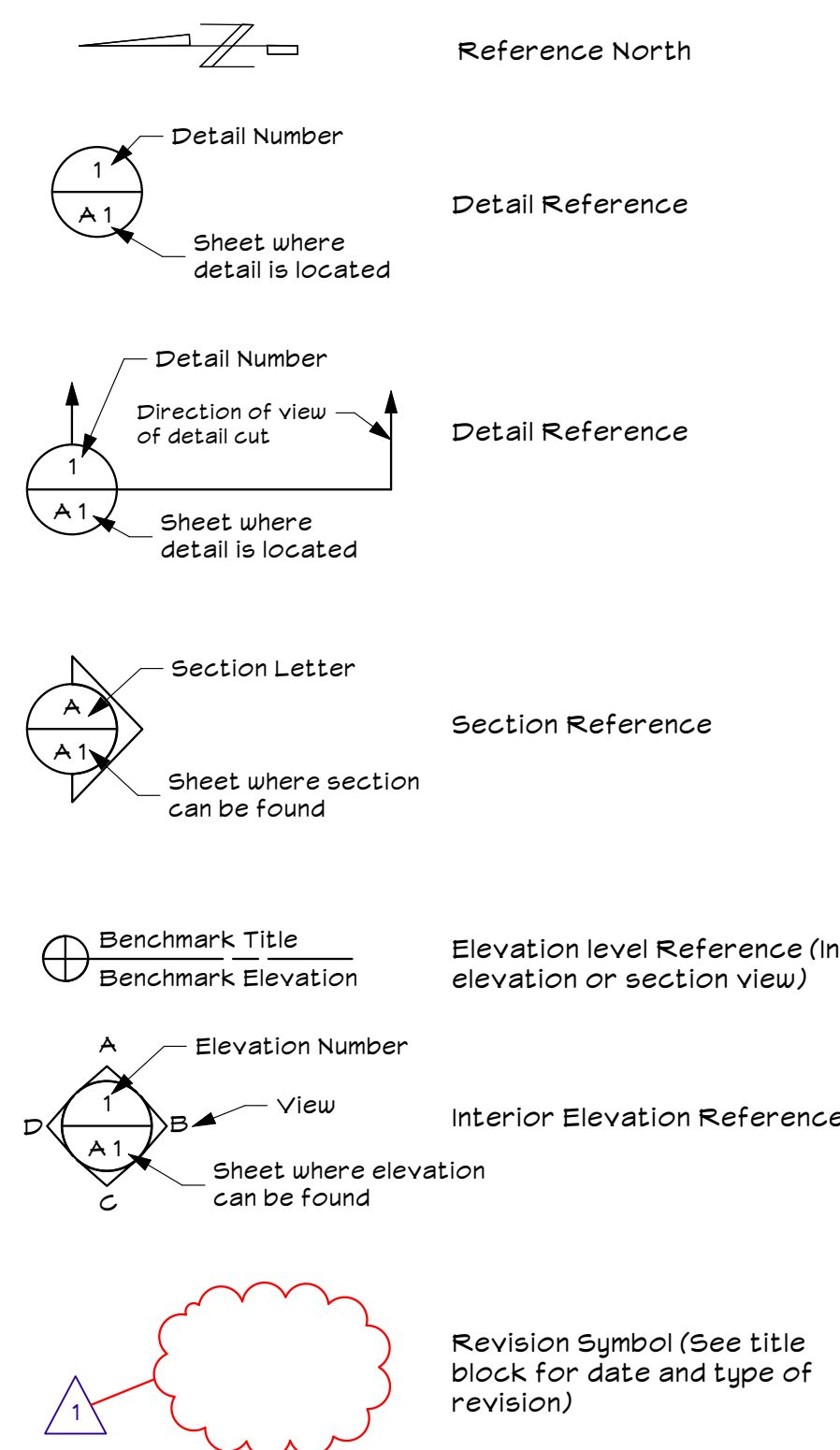
Paladin
Design & Engineering

1470 McKinley Avenue
San Jose, CA 95126
408.370.0730 Voc
408.370.3799 Fax

GENERAL PROJECT NOTES

- A. Written dimensions on these drawings shall have precedence over scaled dimensions, written dimensions are approximate and must be verified, Contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work.
- B. If the contractor or subcontractor should find any lack of information, discrepancy in and/or omissions from these drawings or if the contractor should be in question as to their meaning or intent, the contractor should contact Paladin Design & Engineering at once for interpretation or clarification before proceeding with that portion of the work.
- C. No changes, modifications or deviations shall be made from the drawings or specifications without first securing written permission from the Paladin Design & Engineering or the owner.
- D. All work as outlined in these documents, shall strictly conform to all applicable codes and ordinances, the event of a conflict, the more stringent requirement shall govern and be met.
- E. All materials used shall be equal to or exceed all applicable state or local codes and requirements.
- F. Contractor shall remove promptly and legally all accumulated debris, protect all exposed portions of work from elements, avoid over-loading structure, and securely store all items to be used for construction.
- G. All glass in hazardous areas (including tubs & showers), all glass within 18" of floor, and all glass within 24" of an operable door shall be safety glass & be permanently labeled as such. [CRC R308.4]
- H. All existing utilities and city services are to be maintained, kept in service, and protected against damage during construction.
- I. Contractor to verify location of all existing underground utilities prior to excavation.
- J. All electrical calculations and wire size to be provided by a licensed electrical contractor. Receptacle, fixture, and equipment locations to be found on floor plans and site plan. Contractor to verify location, fixture types and equipment with owner prior to purchase and installation.
- K. The contractor shall take all necessary precautionary measures to protect the public and adjacent properties from damage throughout construction.
- L. Any existing utilities to be abandoned shall be properly disconnected, plugged or capped, as required by code or sound construction practice.
- M. Provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware and accessories.
- N. Unless otherwise noted, electrical conduits, plumbing lines, etc., shall be run concealed and framing shall be adequate size to accomplish result without causing any changes in the wall plane.
- O. Interior dimensions are shown from finish surface to finish surface and exterior dimensions are from sheathing unless noted otherwise.
- P. If fire sprinkler system is required it shall be installed as required, per NFPA and local regulations. The contractor shall submit shop drawings to the governing jurisdiction for permit.
- Q. Each bedroom shall have one exterior egress compliant window or door that is operable from interior without the use of a key or special tools, knowledge, or effort.
- R. All products listed by ICC/NER number shall be installed per the report and manufacturer's written instructions. Product substitution for products listed shall also have ICC approved evaluation report and be approved and listed by other nationally recognized testing agencies.
- S. Exterior openable windows and doors will be weather-stripped. All open joints, penetrations and other openings in the building envelope shall be sealed, caulked, gasketed or weather-stripped to limit air leakage.
- T. Sink faucets used for other safety purposes shall be equipped with flow control devices, total flow to a maximum of three gallons per minute & certified by the C.E.C.
- U. See structural sheet for project construction notes and details.
- V. See attached Title 24 forms and/or calculations for project energy efficiency requirements

SYMBOL LEGEND

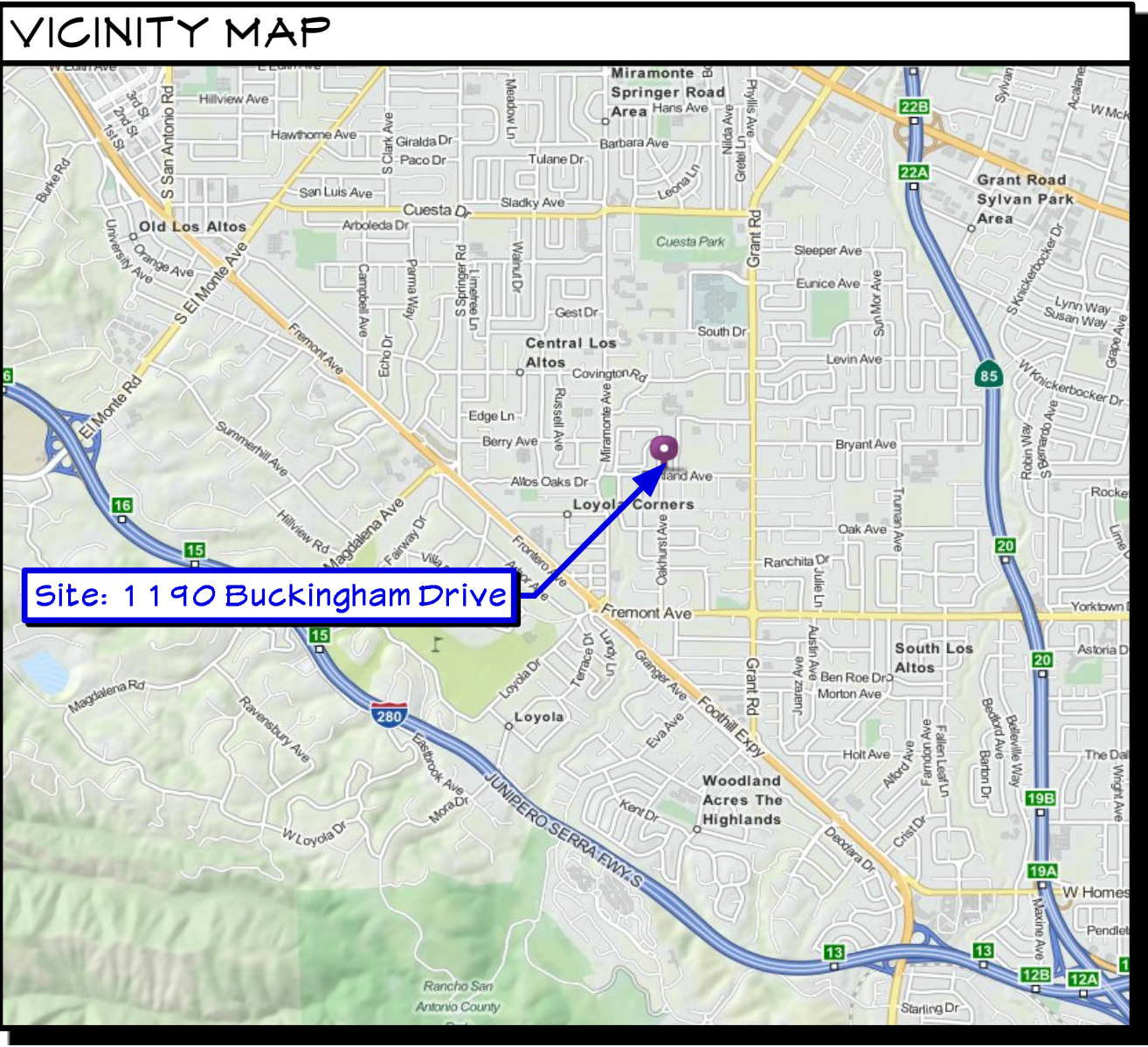


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Site Grading Note:
The finish grade around the structure shall slope away from the foundation a minimum of 5% for a minimum distance of 10 feet (CBC 1804.3).

On graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at a point of discharge (or the inlet of an approved drainage device), a minimum of 12 inches plus 2%.



SCOPE OF WORK

2298 S.F. First Floor

- 444 s.f. garage to remain.
- 2 Bedroom / 1/ Bath.
- Kitchen, Dining Room, Family Room, Living Room, Mudroom.

1570 S.F. Second Floor

- 3 Bedroom / 3 Bath
- Loft, Laundry, Side Balcony, Rear Balcony.
- 146 S.F. Side Balcony.
- 113 S.F. Rear Balcony.

1835 S.F. Basement

- 1 Bedroom / 2 Bath
- Gym, Two Game Rooms, Storage.

PROJECT SUMMARY TABLE

| | ZONING COMPLIANCE | | |
|--|---|---|--|
| | Existing | Proposed | Allowed/Required |
| LOT COVERAGE: Land area covered by all structures that are over 6 feet in height | 2,881 s.f. (25.63%) | 3,059 s.f. (27.22%) | 3,372 s.f. (30.00%) |
| FLOOR AREA: Measured to the outside surfaces of exterior walls | 1st Flr: 2,647 s.f. 2nd Flr: 0 s.f. Total: 2,647 s.f. (23.55%) | 1st Flr: 2,298 s.f. 2nd Flr: 1,570 s.f. Total: 3,868 s.f. (34.41%) | (3,850 + 24) 3,874 s.f. (34.47%) |
| SETBACKS: | | | |
| Front | 24.79 Feet | 24.79 Feet | 25 Feet |
| Rear | 37.66 Feet | 37.66 Feet | 25 Feet |
| Right side (1st/2nd) | 11.92 Feet | 0 Feet | 11.92 Feet 21.18 Feet |
| Left side (1st/2nd) | 18.66 Feet | 0 Feet | 23.25 Feet 20 Feet |
| HEIGHT: | 15.00 Feet | 26.66 Feet | 27 Feet |

SQAR FOOTAGE BREAKDOWN

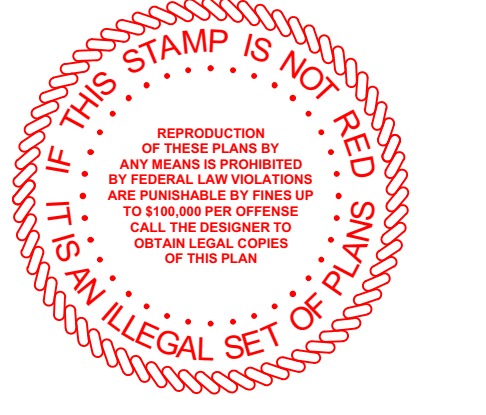
| | Existing | Change in | Total Proposed |
|--|------------|------------|----------------|
| HABITABLE LIVING AREA: Includes habitable basement areas | 1,968 s.f. | 1,906 s.f. | 3,874 s.f. |
| NON-HABITABLE LIVING AREA: Does not include covered porches or open structures | 433 s.f. | 0 s.f. | 433 s.f. |

LOT CALCULATIONS

| | |
|--|-------------------|
| NET LOT AREA: | 11,240 s.f. |
| FRONT YARD HARDSCAPE AREA: Hardscape area in the front yard setback shall not exceed | 870 s.f. (39.78%) |
| LANDSCAPING BREAKDOWN | |
| Total hardscape area (existing and proposed) | 3,267 s.f. |
| Existing softscape (undisturbed) area: | 5,255 s.f. |
| New softscape area: | 71 s.f. |

PROJECT INFORMATION

| | |
|--|--|
| Designer & Engineer: Paladin Design & Engineering Contact - Quang Phan quang@paladin-design.net 2495 20th Street San Jose, CA 95116 (408)370-0730 (408)370-3799 Fax | Client: David Mede 1190 Buckingham Drive Los Altos, CA 94024 (408)370-0730 |
| Title 24: Contact - Jason Mundy jason@paladin-design.net | APN: 193-44-006 Zoning: R-1-10 Occupancy: R-3/U TYPE: V-B Stories: 1 Sprinklers: Not Required Year Built: 1968 |
| Contractor T.B.D. | Applicable Codes: 2016 CA Building Code 2016 CA Residential Code 2016 CA Mechanical Code 2016 CA Plumbing Code 2016 CA Electrical Code 2016 CA Energy Code 2016 CalGreen Code |



REVISIONS DATE

PROJECT:
BUCKINGHAM PROJECT
David Mede
1190 Buckingham Drive
Los Altos, CA 94024

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COVER SHEET

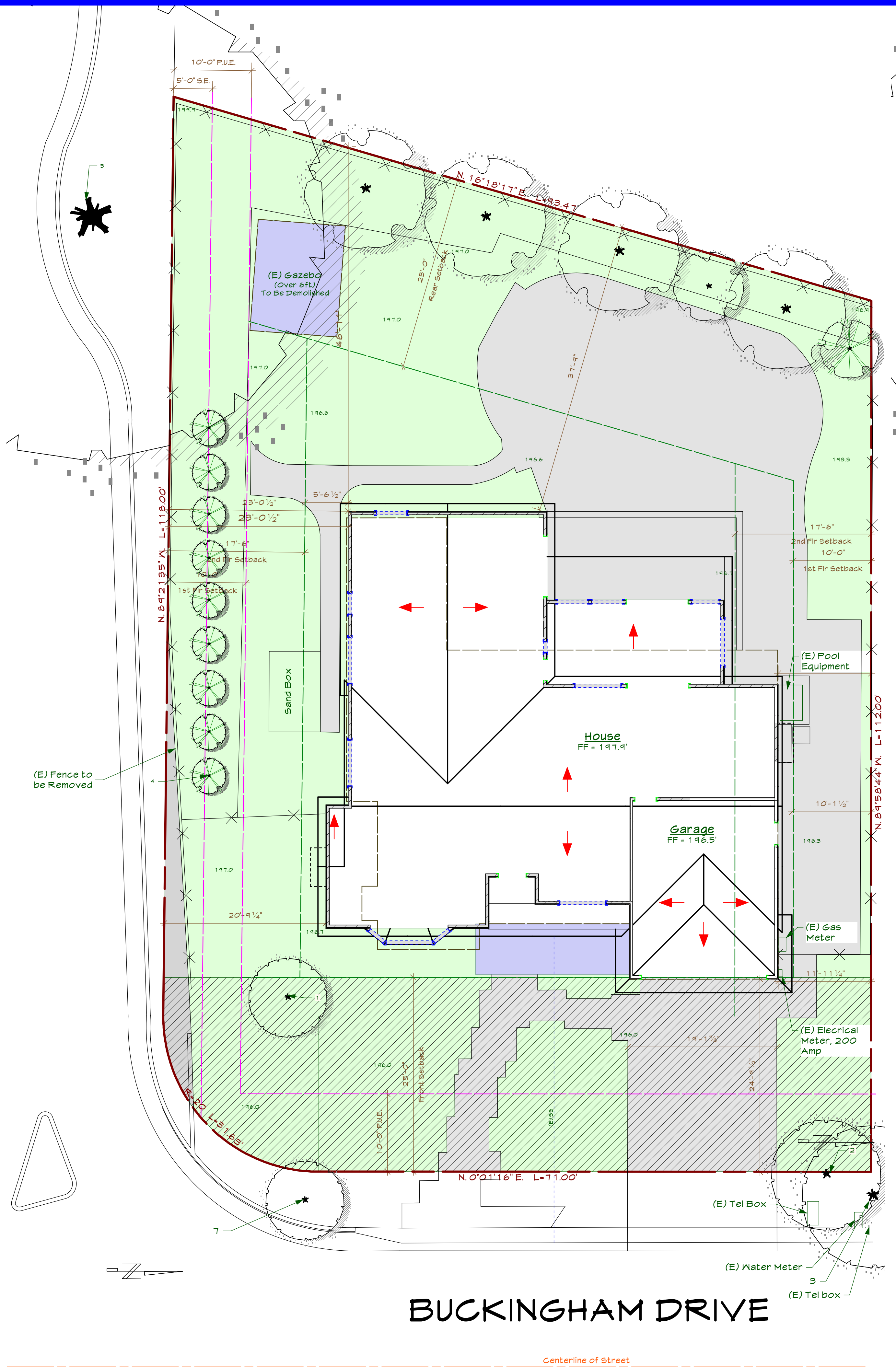
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Sheet 1 of 0 Sheets

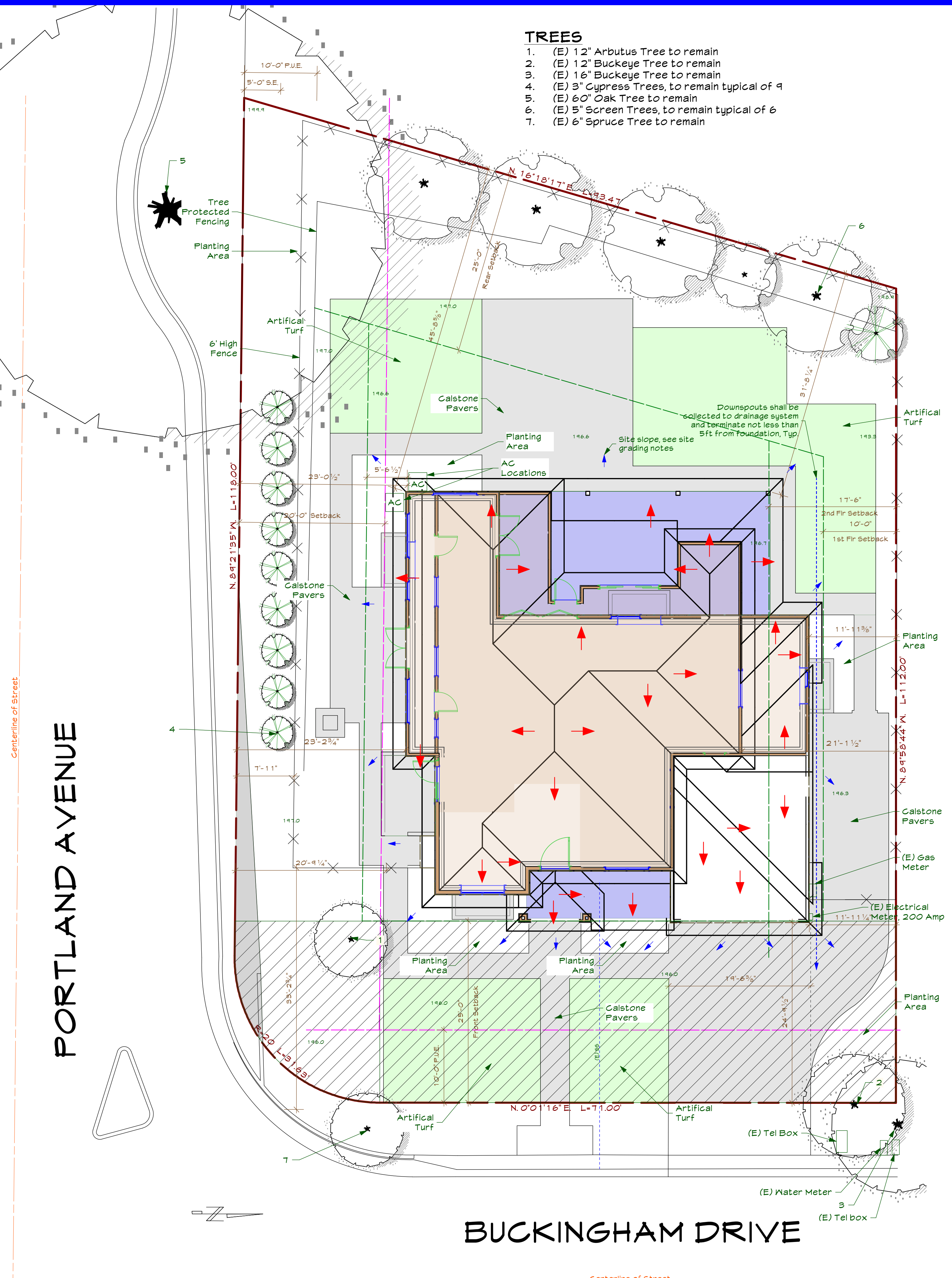
BUCKINGHAM PROJECT

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1470 McKinley Avenue
San Jose, CA 95126
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408.370.3799 Fax

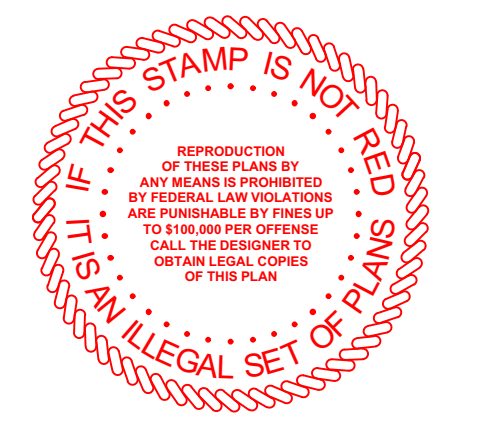
- TREES**
- (E) 12" Arbutus Tree to remain
 - (E) 12" Buckeye Tree to remain
 - (E) 16" Buckeye Tree to remain
 - (E) 3" Cypress Trees, to remain typical of 4
 - (E) 60" Oak Tree to remain
 - (E) 5" Screen Trees, to remain typical of 6
 - (E) 6" Spruce Tree to remain



EXISTING SITE PLAN
Scale: 1/8" = 1'-0"



PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"



| REVISIONS | DATE |
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| DATE: Jan 25, 18 | DRAWN: JM/GP |
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Date: 9/27/18
File Name: 18-0111 Adagui-Mede (Buckingham) 1-1 PLANNING.WUX

Existing Window Schedule

| Mark | Width | Height | Sash Operation | Location | Glazing | Comments |
|------|-------|--------|-------------------|----------------|-----------|----------|
| W 1 | 6'0" | 4'0" | Horizontal Slider | Dining Room | Insulated | |
| W 2 | 2'6" | 4'6" | Single Hung | Living Room | Insulated | |
| W 3 | 6'0" | 4'9" | Fixed Glass | Living Room | Insulated | |
| W 4 | 2'6" | 4'6" | Single Hung | Living Room | Insulated | |
| W 5 | 6'0" | 3'6" | Horizontal Slider | Bedroom #3 | Insulated | |
| W 6 | 6'0" | 3'6" | Horizontal Slider | Bedroom #2 | Insulated | |
| W 7 | 2'9" | 2'0" | Awning | Master Bath | Insulated | |
| W 8 | 4'0" | 3'0" | Horizontal Slider | Master Bedroom | Insulated | |
| W 9 | 4'0" | 6'6" | Fixed Glass | Sunroom | Insulated | |
| W 10 | 4'0" | 6'6" | Fixed Glass | Sunroom | Insulated | |
| W 11 | 3'6" | 6'6" | Fixed Glass | Sunroom | Insulated | |
| W 12 | 6'0" | 4'0" | Horizontal Slider | Sunroom | Insulated | |

Existing Door Schedule

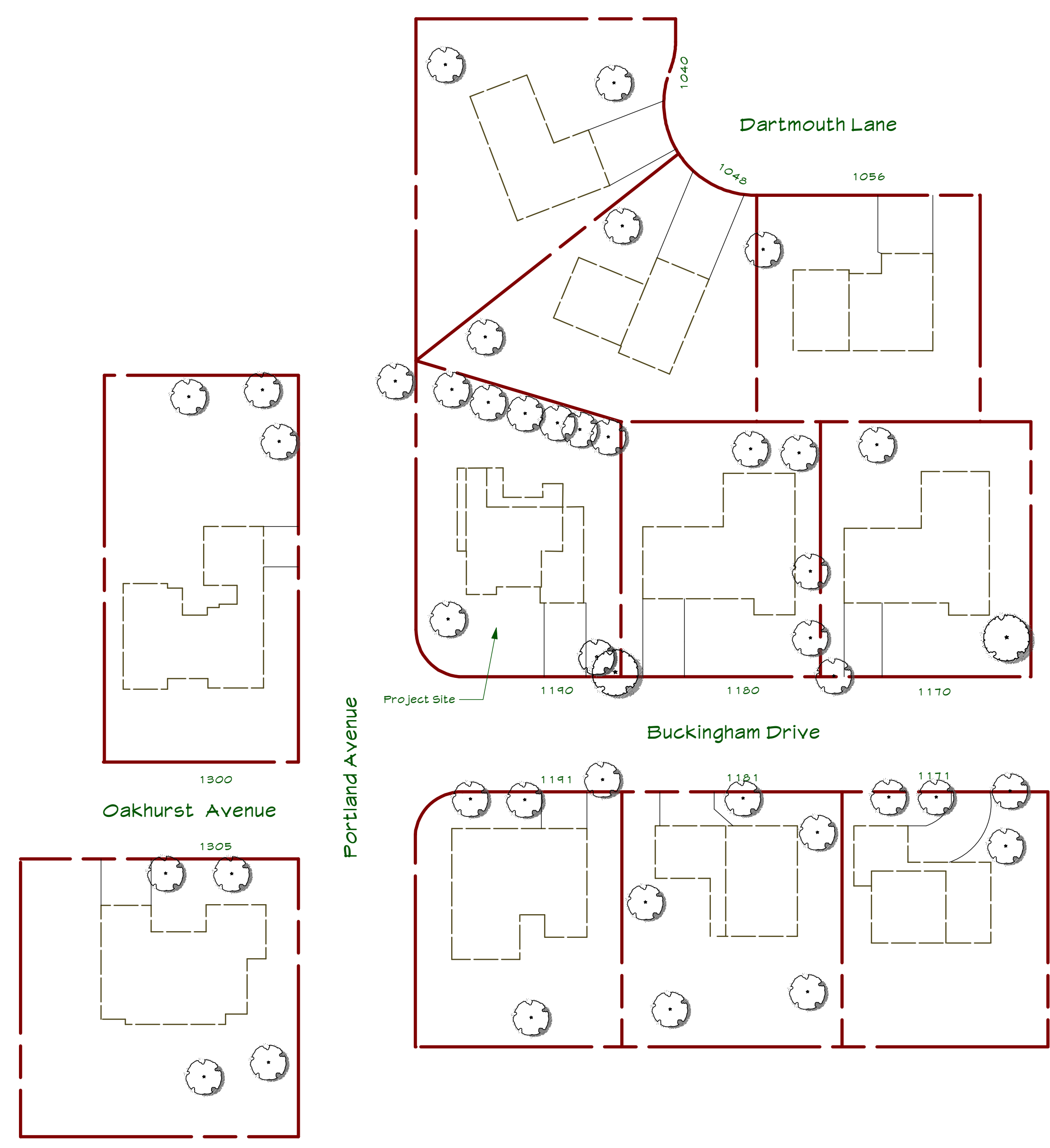
| Mark | Width | Height | Operation | Location | Glazing | Comments |
|------|-------|--------|--------------|----------------|-----------|----------|
| D 1 | 3'6" | 6'8" | Swing Simple | Entry | -- | |
| D 2 | 7'8" | 6'8" | Slider | Master Bedroom | Insulated | |
| D 3 | 7'10" | 6'8" | Slider | Sunroom | Insulated | |
| D 4 | 2'8" | 6'8" | Swing Simple | Garage | -- | |
| D 5 | 2'8" | 6'8" | Swing Simple | Garage | -- | |
| D 6 | 16'0" | 7'0" | Overhead | Garage | -- | |

DEMOLITION NOTES

- Demolition includes work noted below and all other work affected by work included in the demolition, systems, subsystems and items related to the completed construction.
- Provide dust barrier to protect remainder of the house from any construction dirt & dust.
- Protect existing flooring with 1/4" masonite board or equal.

EXISTING / DEMO LEGEND

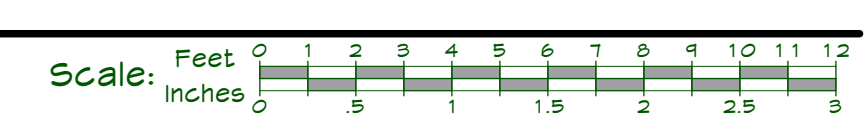
- Wall to be removed
- Window to be Removed
- Door to be Removed
- Existing Wall to remain
- Beam
- Headered Opening



NEIGHBORHOOD CONTEXT MAP
Scale: 1" = 40 ft



EXISTING/DEMOLITION FLOOR PLAN
Scale: 1/4" = 1'-0"



| REVISIONS | DATE |
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BUCKINGHAM PROJECT
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1190 Buckingham Drive
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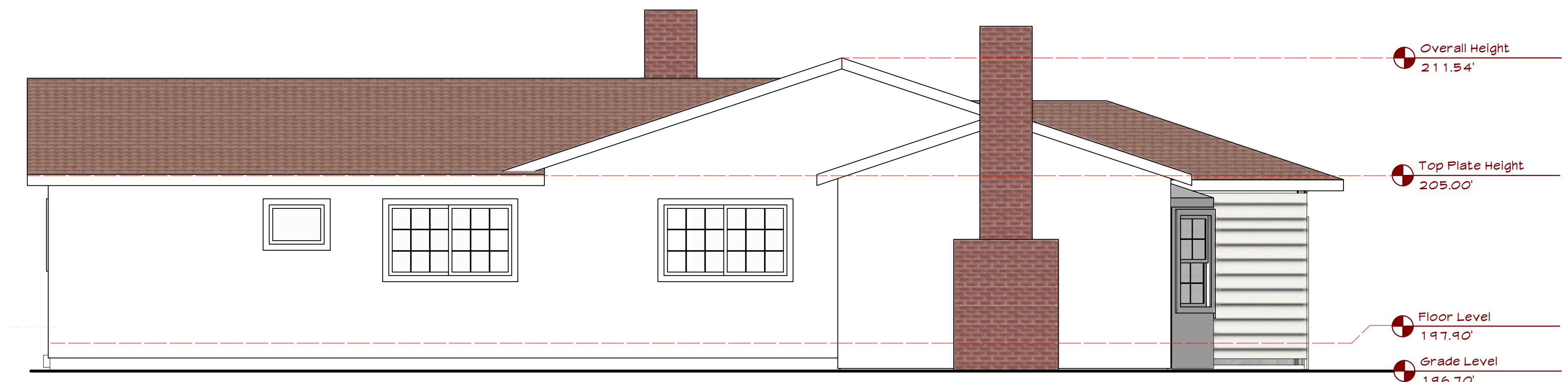
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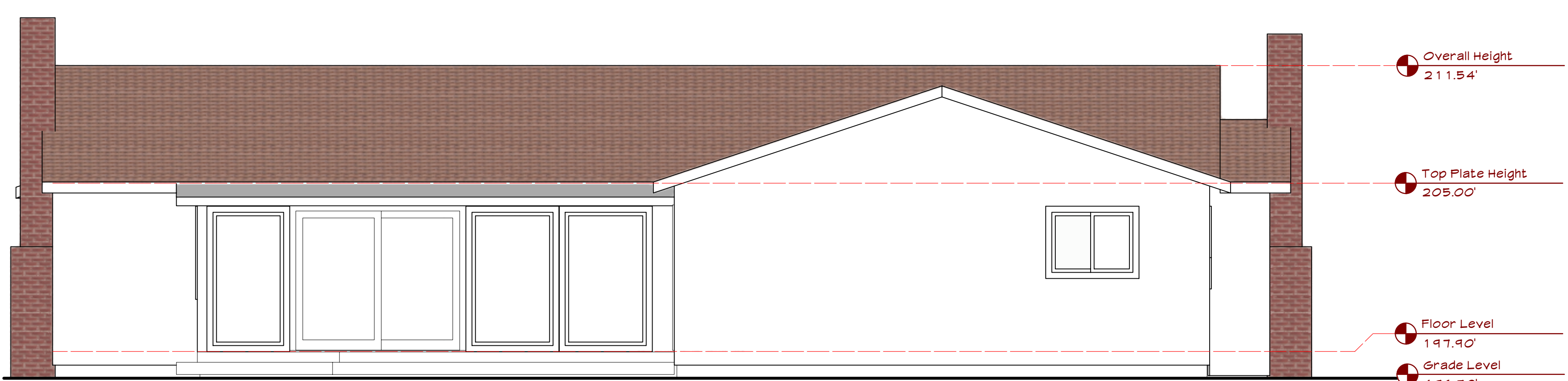
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| DATE: Jan 25, 18 | DRAWN: JM/GP |
| SCALE: AS NOTED | FILE: 14-091 |

EXISTING / DEMO FLOOR PLAN

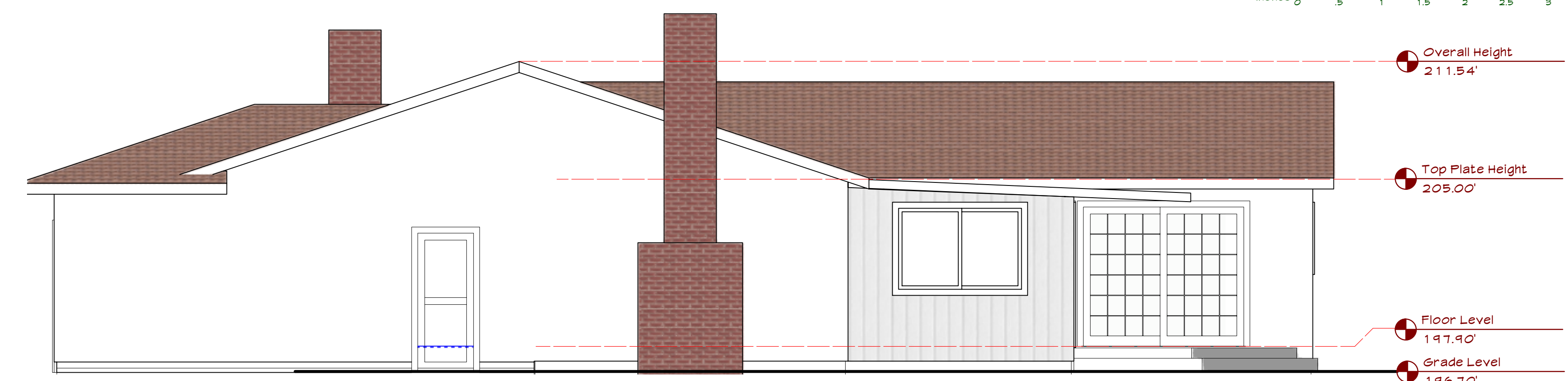
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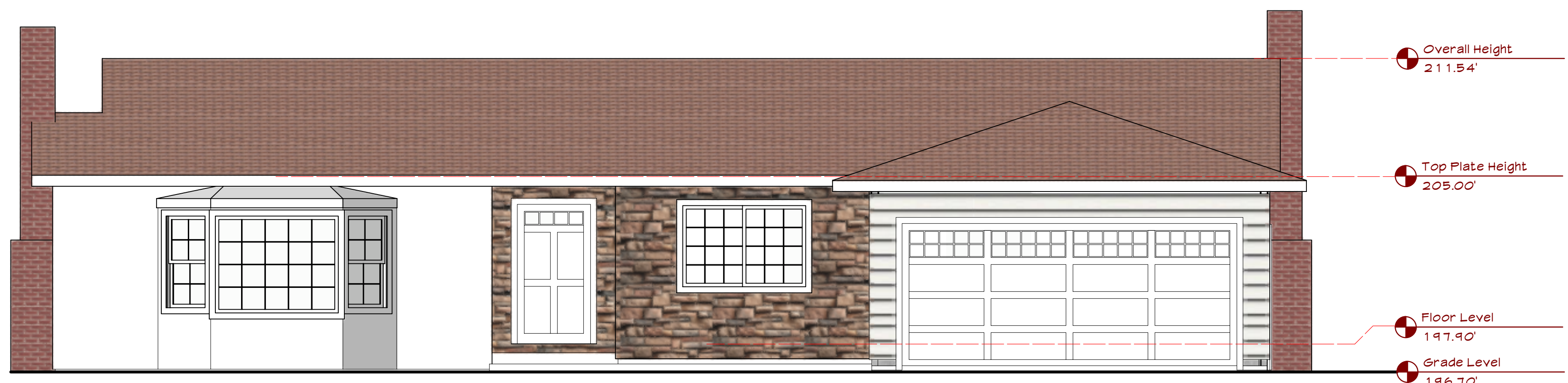
EXISTING LEFT ELEVATION (South)
Scale: 1/4" = 1'-0"



EXISTING REAR ELEVATION (West)
Scale: 1/4" = 1'-0"



EXISTING RIGHT ELEVATION (North)
Scale: 1/4" = 1'-0"



EXISTING FRONT ELEVATION (East)
Scale: 1/4" = 1'-0"



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PROJECT:
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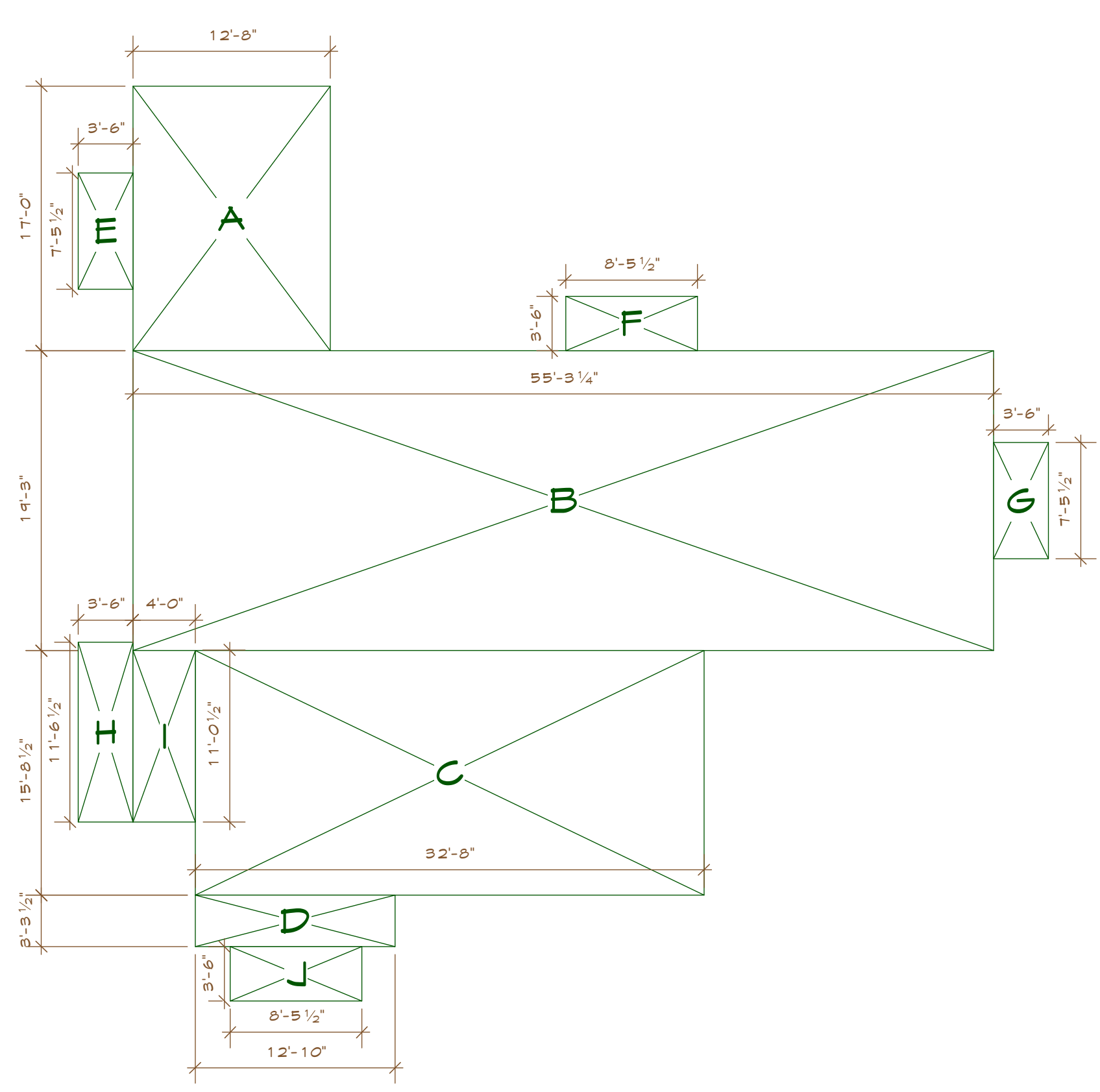
SCALE: AS NOTED FILE: 14-091

EXISTING ELEVATIONS

A 1.1

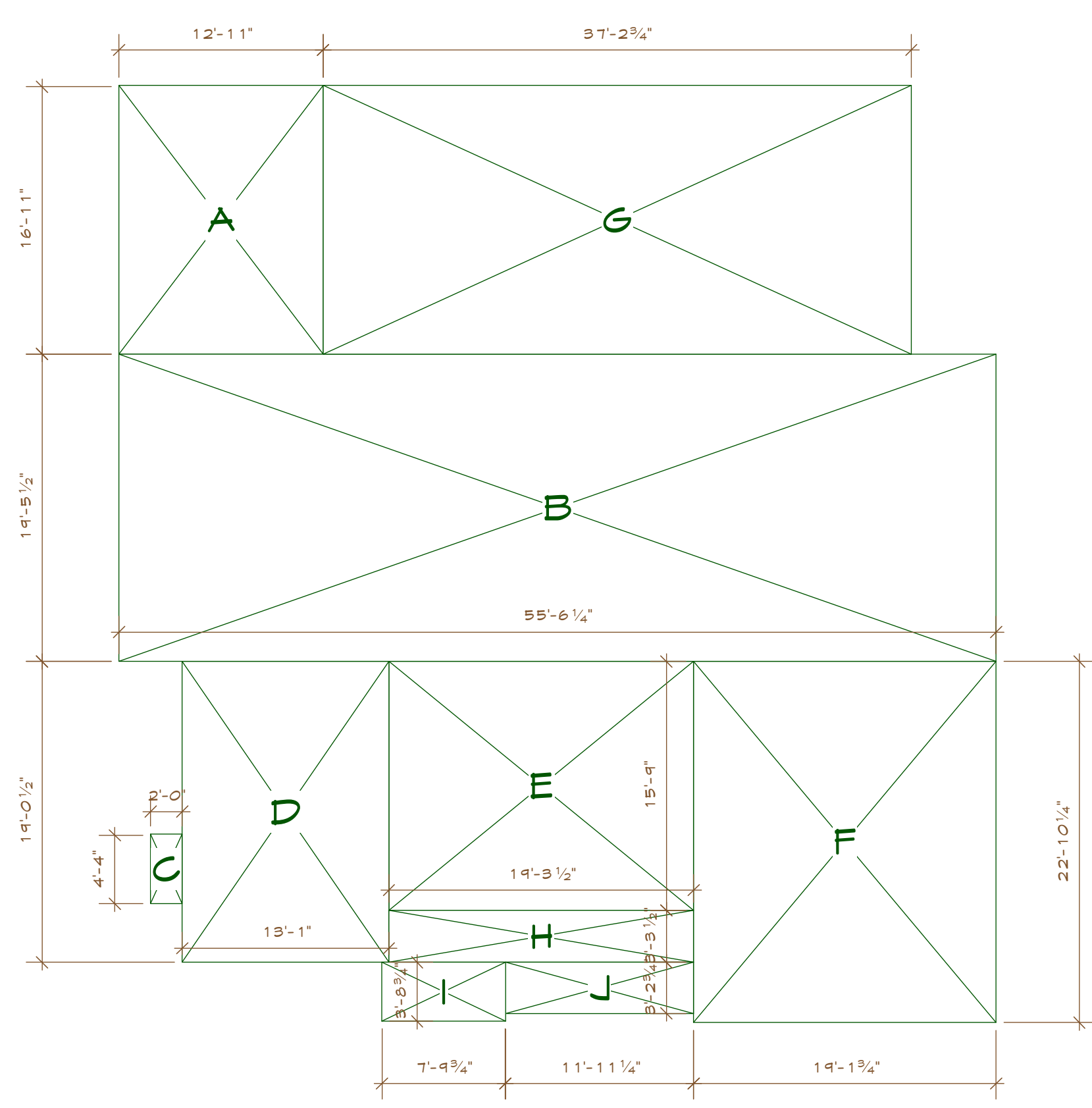
Sheet 4 of 0 Sheets

BUCKINGHAM PROJECT



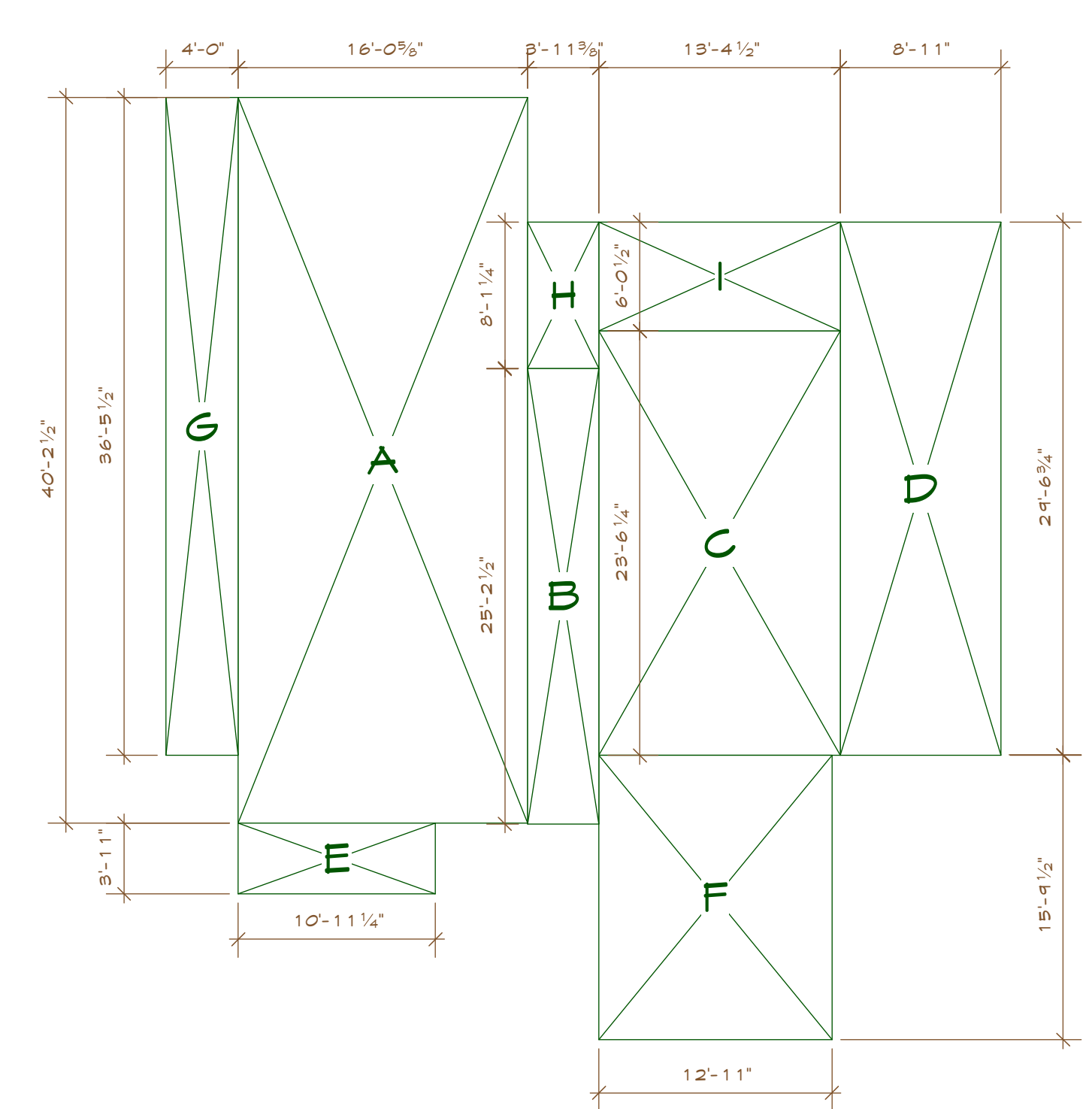
BASEMENT AREA
 Scale: 1/8" = 1'-0"

| BASEMENT FLOOR AREA CALCULATIONS | | | | |
|----------------------------------|-----------|-----------|-------------|-----------------------|
| Label | Room | Width | Depth | Area |
| A | Basement | 12'8" | x 17'0" | 215.3 Sq. Ft |
| B | Basement | 55'3 1/4" | x 19'3" | 1,064.0 Sq. Ft |
| C | Basement | 32'8" | x 15'8 1/2" | 513.1 Sq. Ft |
| D | Basement | 12'10" | x 3'3 1/2" | 42.2 Sq. Ft |
| Basement Floor Total | | | | 1834.7 Sq. Ft |
| E | Lightwell | 3'6" | x 7'5 1/2" | 26.1 Sq. Ft |
| F | Lightwell | 8'5 1/2" | x 3'6" | 29.6 Sq. Ft |
| G | Lightwell | 3'6" | x 7'5 1/2" | 26.1 Sq. Ft |
| H | Lightwell | 3'6" | x 11'6 1/2" | 40.4 Sq. Ft |
| I | Lightwell | 4'0" | x 11'0 1/2" | 44.2 Sq. Ft |
| J | Lightwell | 8'5 1/2" | x 3'6" | 29.6 Sq. Ft |
| Lightwell Floor Total | | | | 196.0 Sq. Ft |
| Grand Total | | | | 2,030.7 Sq. Ft |



FIRST FLOOR AREA
 Scale: 1/8" = 1'-0"

| FIRST FLOOR AREA CALCULATIONS | | | | |
|-------------------------------|-------------|------------|--------------|-----------------------|
| Label | Room | Width | Depth | Area |
| A | 1st Floor | 12'11" | x 16'11" | 218.5 Sq. Ft |
| B | 1st Floor | 55'6 1/4" | x 19'5 1/2" | 1,080.3 Sq. Ft |
| C | 1st Floor | 2'0" | x 4'4" | 8.7 Sq. Ft |
| D | 1st Floor | 13'1" | x 19'0 1/2" | 249.1 Sq. Ft |
| E | 1st Floor | 19'3 1/2" | x 15'9" | 303.8 Sq. Ft |
| F | 1st Floor | 19'1 3/4" | x 22'10 1/4" | 437.6 Sq. Ft |
| 1st Floor Total | | | | 2298.1 Sq. Ft |
| G | Rear Patio | 37'2 3/4" | x 16'11" | 629.8 Sq. Ft |
| H | Front Porch | 19'3 1/2" | x 3'3 1/2" | 63.5 Sq. Ft |
| I | Front Porch | 7'9 3/4" | x 3'8 3/4" | 29.1 Sq. Ft |
| J | Front Porch | 11'11 1/4" | x 3'2 3/4" | 38.5 Sq. Ft |
| Porch & Patio Total | | | | 761.0 Sq. Ft |
| Grand Total | | | | 3,059.0 Sq. Ft |



SECOND FLOOR AREA
 Scale: 1/8" = 1'-0"

| SECOND FLOOR AREA CALCULATIONS | | | | |
|--------------------------------|--------------|------------|-------------|-----------------------|
| Label | Room | Width | Depth | Area |
| A | 2nd Floor | 16'0 5/8" | x 40'2 1/2" | 645.4 Sq. Ft |
| B | 2nd Floor | 3'11 3/8" | x 25'2 1/2" | 99.5 Sq. Ft |
| C | 2nd Floor | 13'4 1/2" | x 23'6 1/4" | 314.6 Sq. Ft |
| D | 2nd Floor | 8'11" | x 29'6 3/4" | 263.6 Sq. Ft |
| E | 2nd Floor | 10'11 1/4" | x 3'11" | 42.8 Sq. Ft |
| F | 2nd Floor | 12'11" | x 15'9 1/2" | 204.0 Sq. Ft |
| 2nd Floor Total | | | | 1570.0 Sq. Ft |
| G | Balcony-Side | 4'0" | x 36'5 1/2" | 145.8 Sq. Ft |
| H | Balcony-Rear | 3'11 3/8" | x 8'1 1/4" | 32.0 Sq. Ft |
| I | Balcony-Rear | 13'4 1/2" | x 6'0 1/2" | 80.8 Sq. Ft |
| Balcony Total | | | | 258.6 Sq. Ft |
| Grand Total | | | | 1,828.6 Sq. Ft |



| REVISIONS | DATE |
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PROJECT:
 BUCKINGHAM PROJECT
 David Mede
 1190 Buckingham Drive
 Los Altos, CA 94024

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| DATE: Jan 25, 18 | DRAWN: JM/GP |
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FLOOR AREA SCHEMATICS

Door Schedule - Basement

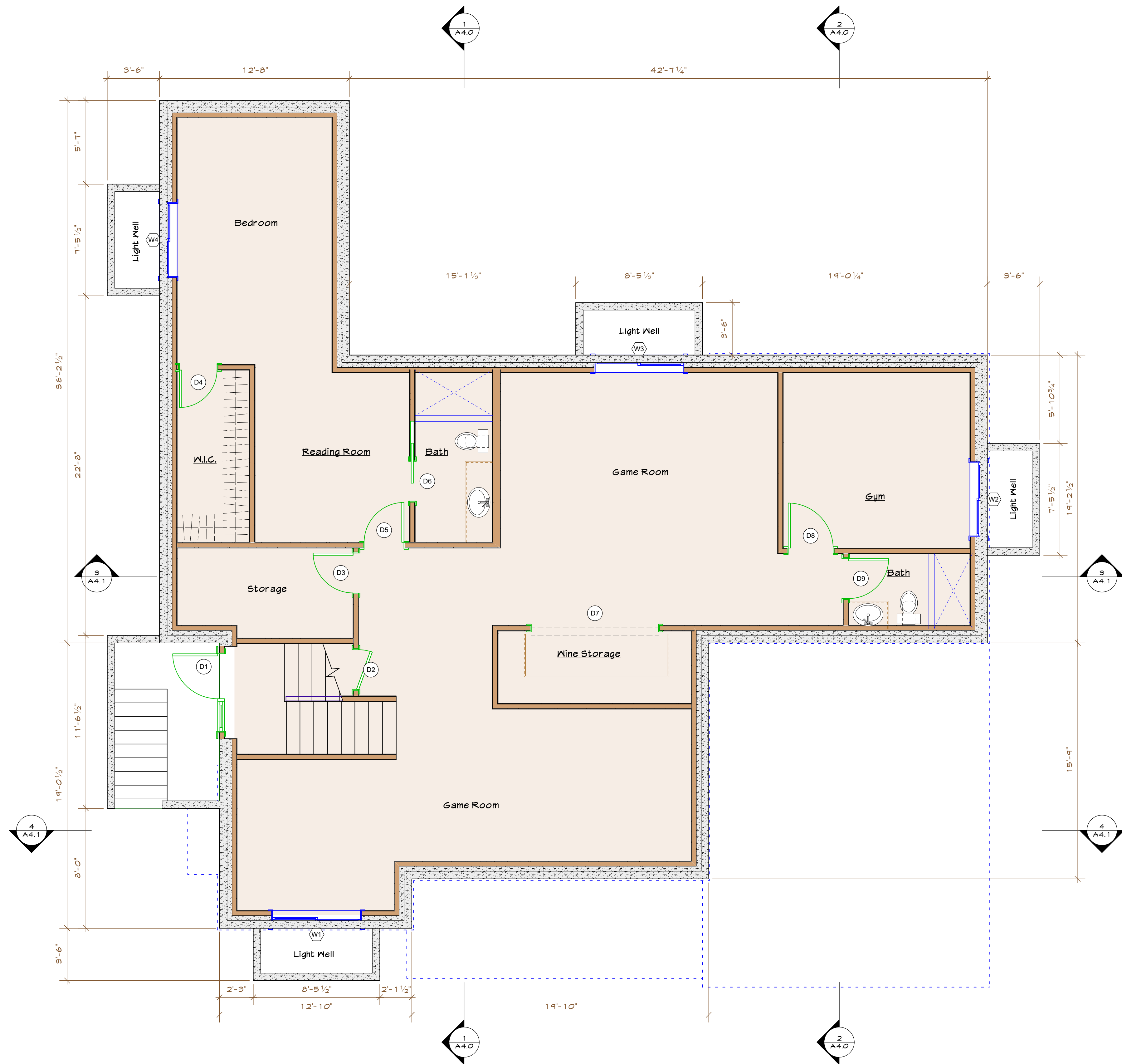
| Mark | Nominal Size | Door Data | | | | | | |
|------|--------------|-----------|----------------|------------|----------|--------------|----------|----------|
| Mark | Width | Height | Door Operation | Jamb Thick | Mfr | Location | Hardware | Comments |
| D 1 | 3'0" | 8'0" | Swing Simple | 3/4" | Anderson | Stair Well | Keyed | |
| D 2 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Stair Closet | Passage | |
| D 3 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Storage | Passage | |
| D 4 | 2'6" | 6'8" | Swing Simple | 3/4" | TMCobb | Closet | Passage | |
| D 5 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Reading Room | Privacy | |
| D 6 | 2'8" | 6'8" | Pocket Simple | 3/4" | TMCobb | Bath | Privacy | |
| D 7 | 8'6" | 6'8" | Cased Opening | 3/4" | TMCobb | Wine Storage | Passage | |
| D 8 | 3'0" | 6'8" | Swing Simple | 3/4" | TMCobb | Gym | Passage | |
| D 9 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Bath | Privacy | |

Window Schedule - Basement

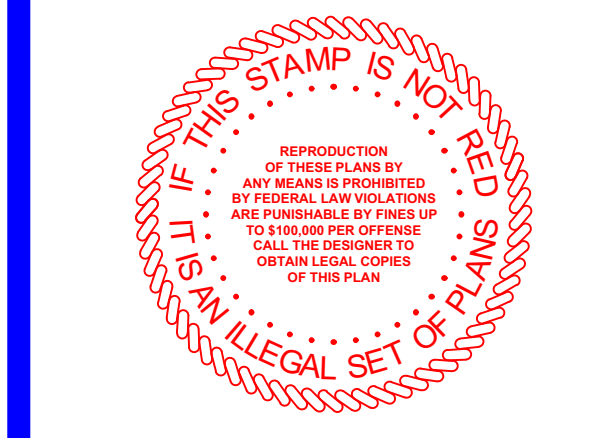
| Mark | Nominal Size | Glass | Window Data | | | | | |
|------|--------------|-------------|-------------------|--------|-----|----------|--------------|--|
| Mark | O.A. Width | O.A. Height | Sash Operation | Egress | Mfr | Location | Comments | |
| W 1 | 6'0" | 5'0" | Horizontal Slider | Low-E | Yes | Andersen | Game Room | |
| W 2 | 5'0" | 5'0" | Horizontal Slider | Low-E | Yes | Andersen | Gym | |
| W 3 | 6'0" | 5'0" | Horizontal Slider | Low-E | Yes | Andersen | Game Room | |
| W 4 | 5'0" | 5'0" | Horizontal Slider | Low-E | Yes | Andersen | Reading Room | |

PROPOSED LEGEND

- New Proposed Wall
- Existing Wall
- - - - - Beam
- ▬ Headered Opening
- ▭ New floor area
- ⋯ Roof Lines
- - - - - Ceiling Transitions
- ⊕ Window, see schedule
- ⊙ Door, see schedule
- ⊕ Egress Compliant
- ⊕ Tempered glass
- ⊕ Wall Type, See A2.1



PROPOSED BASEMENT PLAN
Scale: 1/4" = 1'-0"



| REVISIONS | DATE |
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PROJECT:
BUCKINGHAM PROJECT
David Mede
1190 Buckingham Drive
Los Altos, CA 94024

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| SCALE: AS NOTED | FILE: 14-091 |

PROPOSED BASEMENT PLAN

A2.1

Door Schedule - First Floor

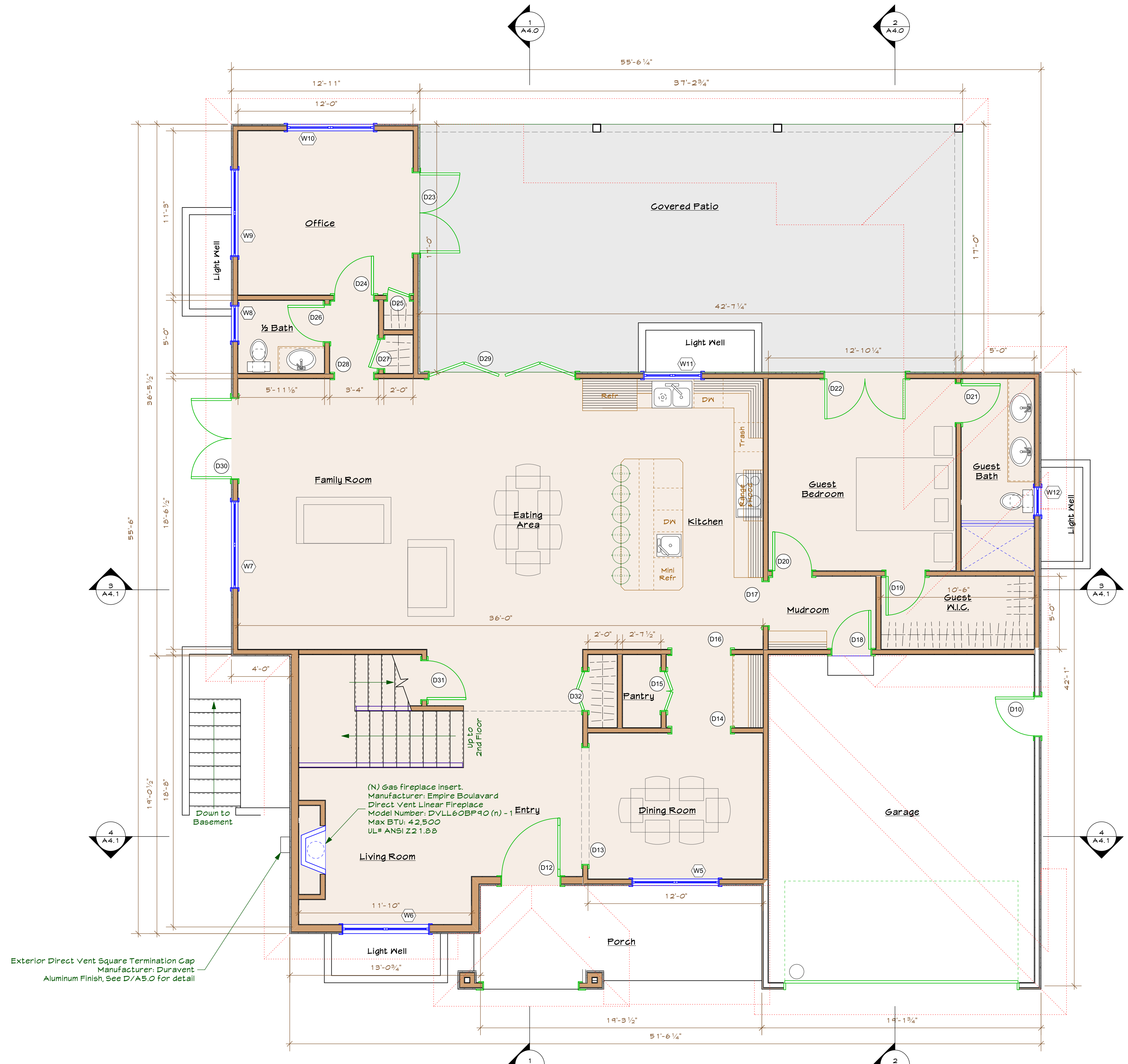
| Mark | Nominal Size | | Door Operation | Jamb Thick | Door Data | | | Comments |
|------|--------------|--------|-----------------|------------|---------------|-------------|----------|----------|
| | Width | Height | | | Mfr | Location | Hardware | |
| D 10 | 2'8" | 6'8" | Swing Simple | 3/4" | Milgard | Garage | Keyed | |
| D 11 | 16'0" | 8'0" | Overhead | 3/4" | Overhead Door | Garage | -- | |
| D 12 | 4'0" | 8'6" | Swing Simple | 3/4" | UID Iron Door | Entry | Keyed | |
| D 13 | 8'0" | 8'0" | Cased Opening | 3/4" | -- | Dining Room | -- | |
| D 14 | 4'0" | 8'0" | Cased Opening | 3/4" | -- | Dining Room | -- | |
| D 15 | 2'8" | 8'0" | Swing Bi-part | 3/4" | TMCobb | Pantry | Passage | |
| D 16 | 4'0" | 8'0" | Cased Opening | 3/4" | -- | Kitchen | -- | |
| D 17 | 3'0" | 8'0" | Cased Opening | 3/4" | -- | Kitchen | -- | |
| D 18 | 2'8" | 8'0" | Swing Simple | 3/4" | TMCobb | Mudroom | Keyed | |
| D 19 | 2'8" | 8'0" | Swing Simple | 3/4" | TMCobb | Guest Clst | Passage | |
| D 20 | 2'8" | 8'0" | Swing Simple | 3/4" | TMCobb | Guest Rm | Privacy | |
| D 21 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Guest Bath | Privacy | |
| D 22 | 5'6" | 8'0" | Swing Bi-part | 3/4" | Milgard | Guest Rm | Keyed | |
| D 23 | 5'6" | 8'0" | Swing Bi-part | 3/4" | Milgard | Office | Keyed | |
| D 24 | 2'8" | 8'0" | Swing Simple | 3/4" | TMCobb | Office | Privacy | |
| D 25 | 1'6" | 8'0" | Swing Simple | 3/4" | TMCobb | Closet | Passage | |
| D 26 | 2'6" | 8'0" | Swing Simple | 3/4" | TMCobb | 1/2 Bath | Privacy | |
| D 27 | 2'0" | 8'0" | Swing Simple | 3/4" | TMCobb | Closet | Passage | |
| D 28 | 2'8" | 7'0" | Cased Opening | 3/4" | TMCobb | Family Rm | -- | |
| D 29 | 10'0" | 8'0" | Bi-fold Bi-part | 3/4" | Milgard | Eating Area | Keyed | |
| D 30 | 5'6" | 8'0" | Swing Bi-part | 3/4" | Milgard | Family Rm | Keyed | |
| D 31 | 2'8" | 8'0" | Swing Simple | 3/4" | TMCobb | Stair Clst | Passage | |
| D 32 | 2'8" | 8'0" | Swing Bi-part | 3/4" | TMCobb | Entry Clst | Passage | |

Window Schedule - First Floor

| Mark | Nominal Size | | Sash Operation | Glass | Indow Data | | | Comments |
|------|--------------|-------------|---------------------|-------|------------|---------|-------------|----------|
| | O.A. Width | O.A. Height | | | Egress | Mfr | Location | |
| W 5 | 6'0" | 5'0" | Bi-parting Casement | Low-E | Yes | Milgard | Dining Room | |
| W 6 | 6'0" | 5'0" | Bi-parting Casement | Low-E | Yes | Milgard | Living Room | |
| W 7 | 6'0" | 5'0" | Bi-parting Casement | Low-E | Yes | Milgard | Family Room | |
| W 8 | 2'6" | 4'0" | Casement | Low-E | No | Milgard | 1/2 Bath | |
| W 9 | 6'0" | 5'0" | Bi-parting Casement | Low-E | Yes | Milgard | Office | |
| W 10 | 6'0" | 5'0" | Bi-parting Casement | Low-E | Yes | Milgard | Office | |
| W 11 | 4'0" | 4'6" | Bi-parting Casement | Low-E | Yes | Milgard | Kitchen | |
| W 12 | 2'0" | 3'0" | Casement | Low-E | Yes | Milgard | Guest Bath | |

PROPOSED LEGEND

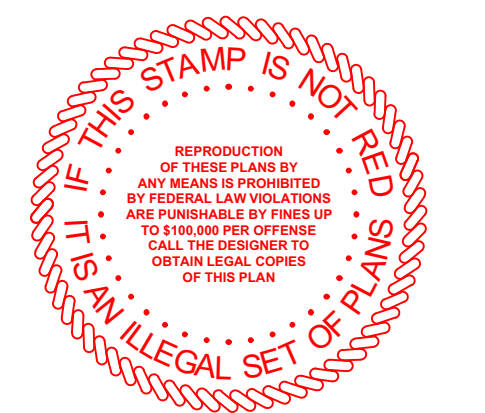
- New Proposed Wall
- Existing Wall
- Beam
- Headered Opening
- New floor area
- Roof Lines
- Ceiling Transitions
- Window, see schedule
- Door, see schedule
- Egress Compliant
- Tempered glass
- Wall Type, See A.2.1



PROPOSED 1st FLOOR PLAN
Scale: 1/4" = 1'-0"

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1470 McKinley Avenue
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PROJECT:
BUCKINGHAM PROJECT
David Mede
1140 Buckingham Drive
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PROPOSED 1ST FLOOR PLAN

A2.2

Date: 9/27/18
File name: 18-0111_Apaga-Mede (Buckingham)_1-1_PLANNING.vwx

Door Schedule - Second Floor

| Mark | Nominal Size | | Door Operation | Jamb Thick | Door Data | | | Comments |
|------|--------------|--------|----------------|------------|-----------|-------------|----------|----------|
| | Width | Height | | | Mfr | Location | Hardware | |
| D 32 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Laundry | Passage | |
| D 33 | 2'8" | 6'8" | Swing Simple | 3/4" | Milgard | Bedroom #3 | Keyed | |
| D 34 | 2'4" | 6'8" | Swing Simple | 3/4" | TMCobb | Bath #3 | Passage | |
| D 35 | 2'4" | 6'8" | Swing Simple | 3/4" | TMCobb | Closet #3 | Passage | |
| D 36 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Bedroom #3 | Passage | |
| D 37 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Bedroom #2 | Passage | |
| D 38 | 2'8" | 6'8" | Swing Simple | 3/4" | Milgard | Bedroom #2 | Keyed | |
| D 39 | 2'4" | 6'8" | Swing Simple | 3/4" | TMCobb | Bath #2 | Passage | |
| D 40 | 2'4" | 6'8" | Swing Simple | 3/4" | TMCobb | Closet #2 | Passage | |
| D 41 | 3'0" | 6'8" | Swing Simple | 3/4" | Milgard | Hall | Keyed | |
| D 42 | 8'0" | 6'8" | Slider | 3/4" | Milgard | Master Bdrm | Keyed | |
| D 43 | 2'8" | 6'8" | Pocket Simple | 3/4" | TMCobb | Hers | Passage | |
| D 44 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Master Bath | Passage | |
| D 45 | 2'6" | 6'8" | Pocket Simple | 3/4" | TMCobb | Master Bath | Passage | |
| D 46 | 4'0" | 6'8" | Pocket Bi-part | 3/4" | TMCobb | His | Passage | |
| D 47 | 2'8" | 6'8" | Swing Simple | 3/4" | TMCobb | Master Bdrm | Passage | |

Window Schedule - Second Floor

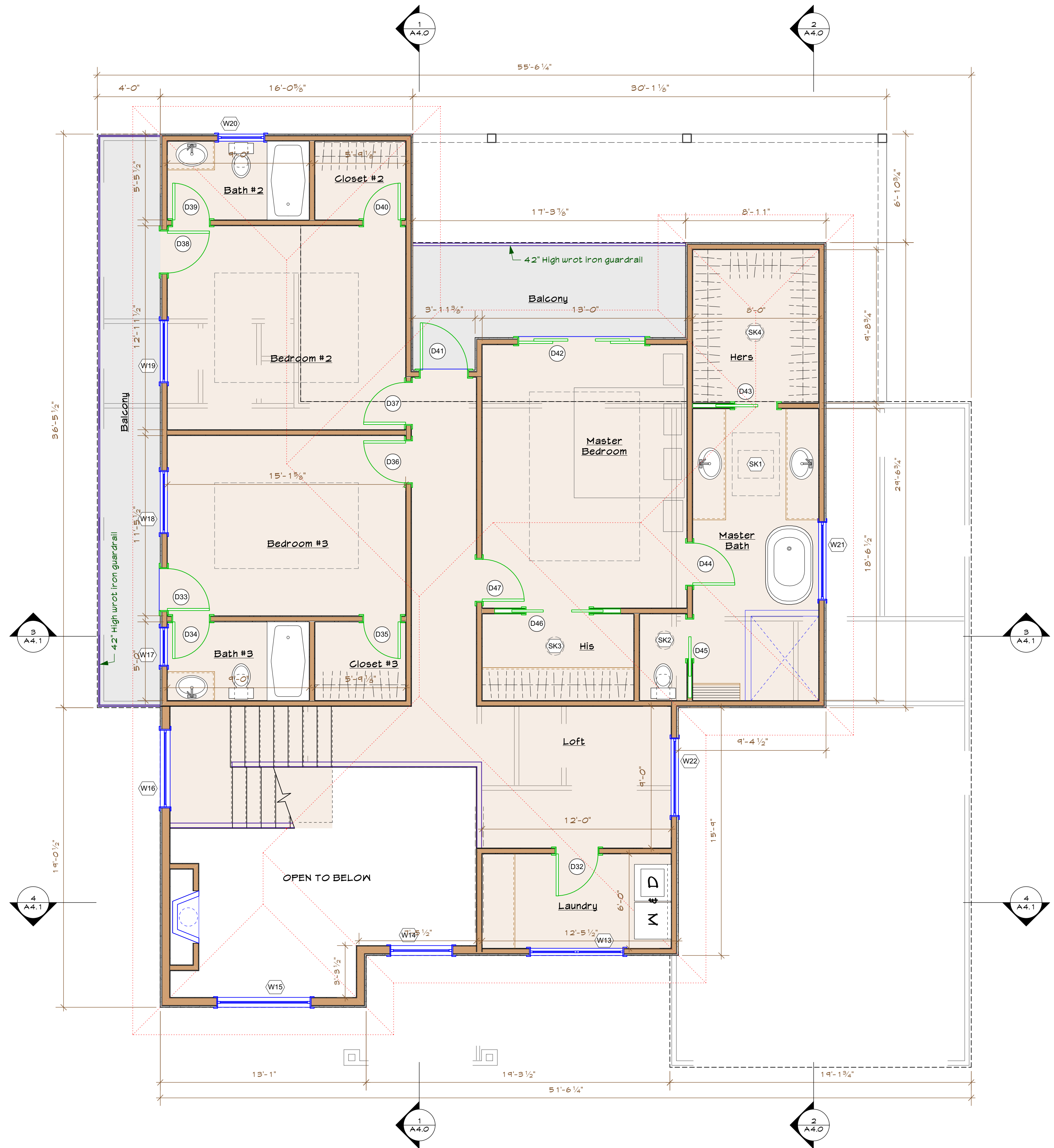
| Mark | Nominal Size | | Sash Operation | Glass | Egress | Window Data | | Comments |
|------|--------------|-------------|---------------------|-------|--------|-------------|------------|----------|
| | O.A. Width | O.A. Height | | | | Mfr | Location | |
| W 13 | 6'0" | 4'6" | Bi-parting Casement | Low-E | Yes | Milgard | Bedroom #3 | |
| W 14 | 4'0" | 3'6" | Fixed Glass | Low-E | Yes | Milgard | Bedroom #3 | |
| W 15 | 6'0" | 4'6" | Fixed Glass | Low-E | Yes | Milgard | Bedroom #3 | |
| W 16 | 5'0" | 4'6" | Fixed Glass | Low-E | Yes | Milgard | Bedroom #3 | |
| W 17 | 2'6" | 3'0" | Casement | Low-E | Yes | Milgard | Bedroom #3 | |
| W 18 | 4'0" | 3'0" | Casement | Low-E | Yes | Milgard | Bedroom #3 | |
| W 19 | 4'0" | 3'0" | Casement | Low-E | Yes | Milgard | Bedroom #3 | |
| W 20 | 3'0" | 3'0" | Casement | Low-E | Yes | Milgard | Bedroom #3 | |
| W 21 | 5'0" | 2'0" | Fixed Glass | Low-E | Yes | Milgard | Bedroom #3 | Opaque |
| W 22 | 5'0" | 2'0" | Fixed Glass | Low-E | Yes | Milgard | Loft | Opaque |

Skylight Schedule

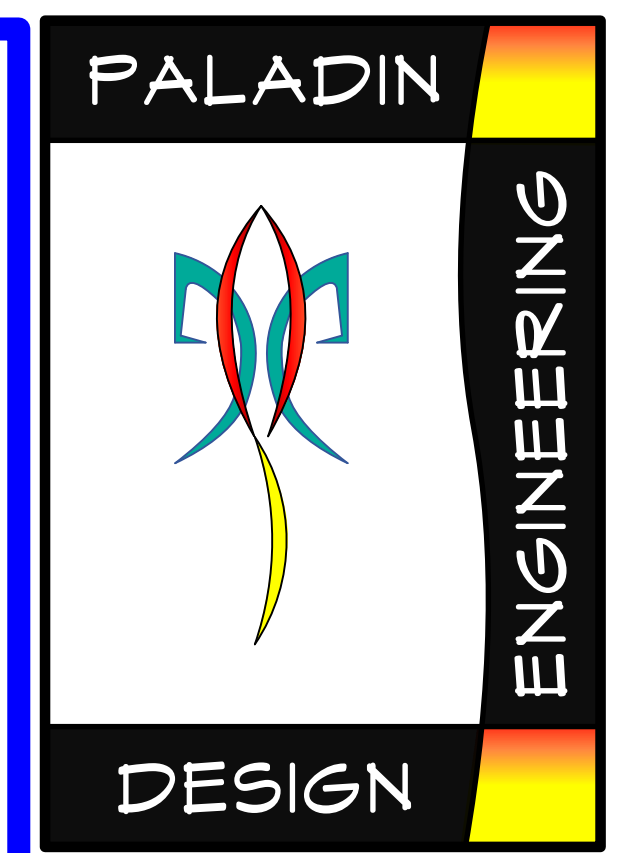
| Mark | Nominal Size | | Operation | Glass | Mfr. | Model | Location | Comments |
|------|--------------|-------------|-------------|-------|-------|-------|-------------|----------|
| | O.A. Width | O.A. Height | | | | | | |
| SK 1 | 1'9" | 2'3" | Fixed Glass | Low-E | Velux | C01 | Master Bath | |
| SK 2 | 1'2" | 1'2" | Fixed Glass | Dbl | Velux | ST | Master Bath | |
| SK 3 | 1'2" | 1'2" | Fixed Glass | Dbl | Velux | ST | Closet | |
| SK 4 | 1'2" | 1'2" | Fixed Glass | Dbl | Velux | ST | Closet | |

PROPOSED LEGEND

- New Proposed Wall
- Existing Wall
- Beam
- Headered Opening
- New floor area
- Roof Lines
- Ceiling Transitions
- Window, see schedule
- Door, see schedule
- Egress Compliant
- Tempered glass
- Wall Type, See A.2.1



PROPOSED 2nd FLOOR PLAN
Scale: 1/4" = 1'-0"



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PROJECT:
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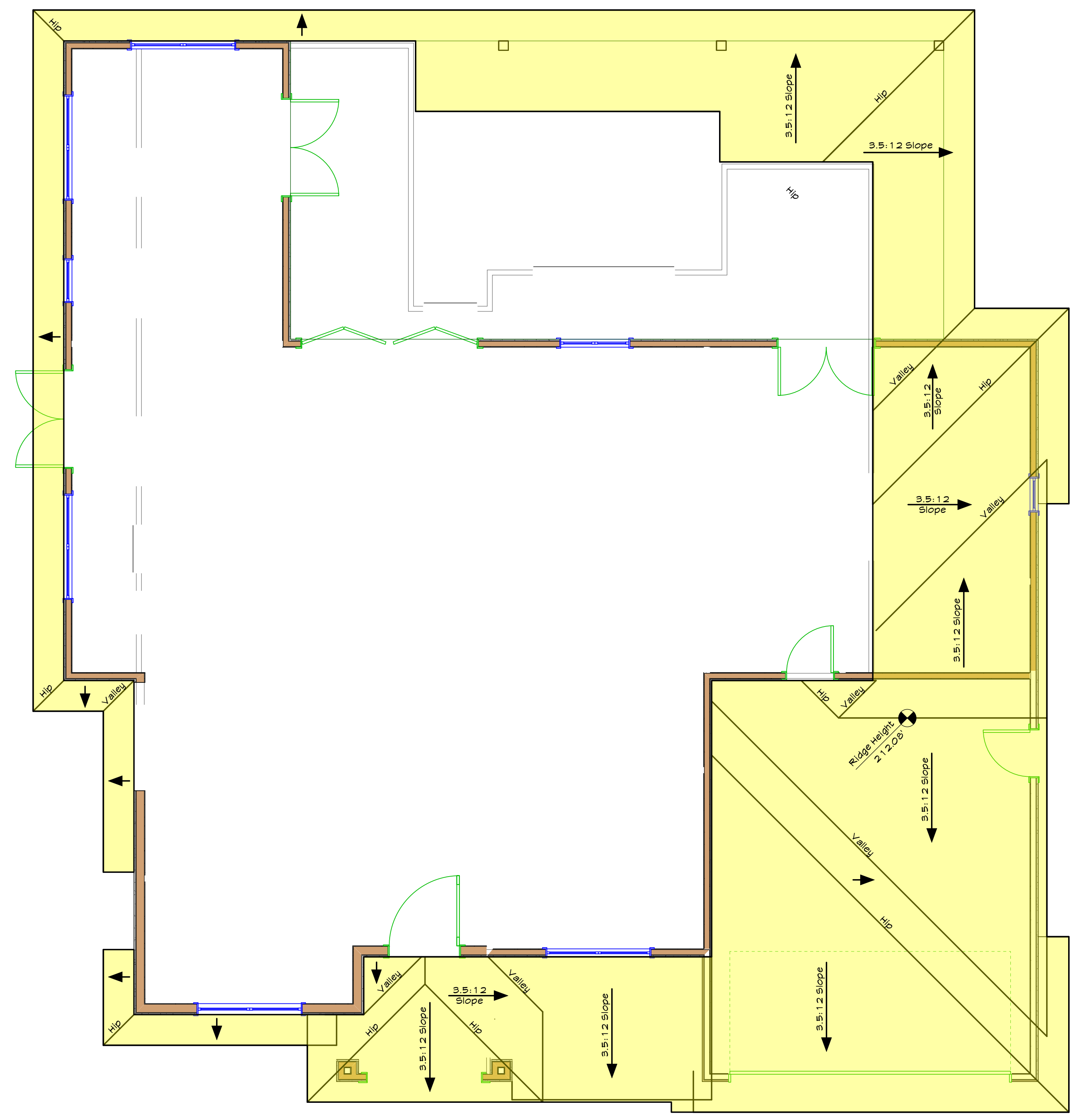
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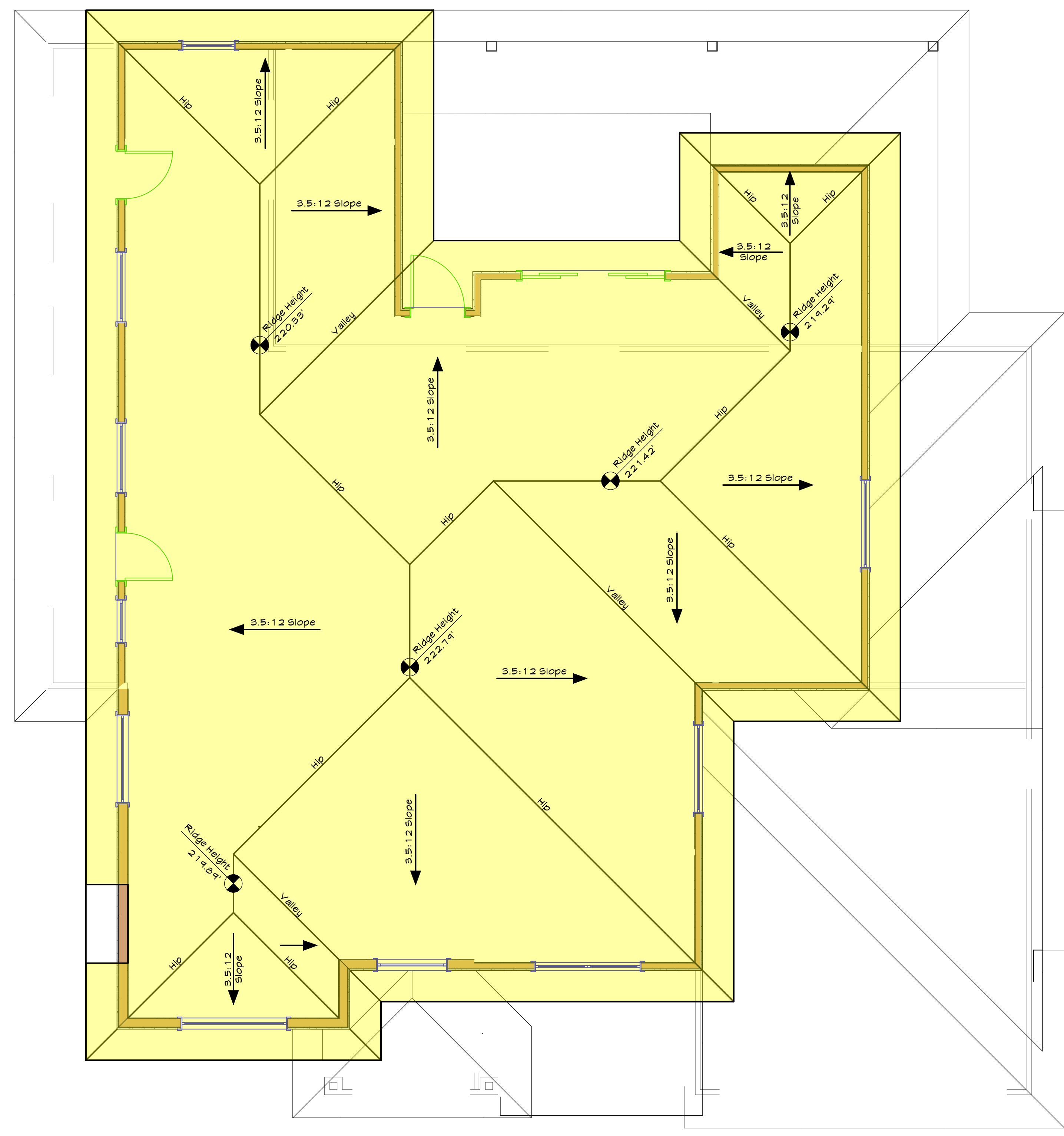
PROPOSED 2ND FLOOR PLAN

A2.3

Date: 9/27/18 File name: 18-011 Abuga-Mede (Buckingham) 1-1 PLANNING.vux



ROOF PLAN - FIRST FLOOR
 Scale: 1/4" = 1'-0"



ROOF PLAN - SECOND FLOOR
 Scale: 1/4" = 1'-0"



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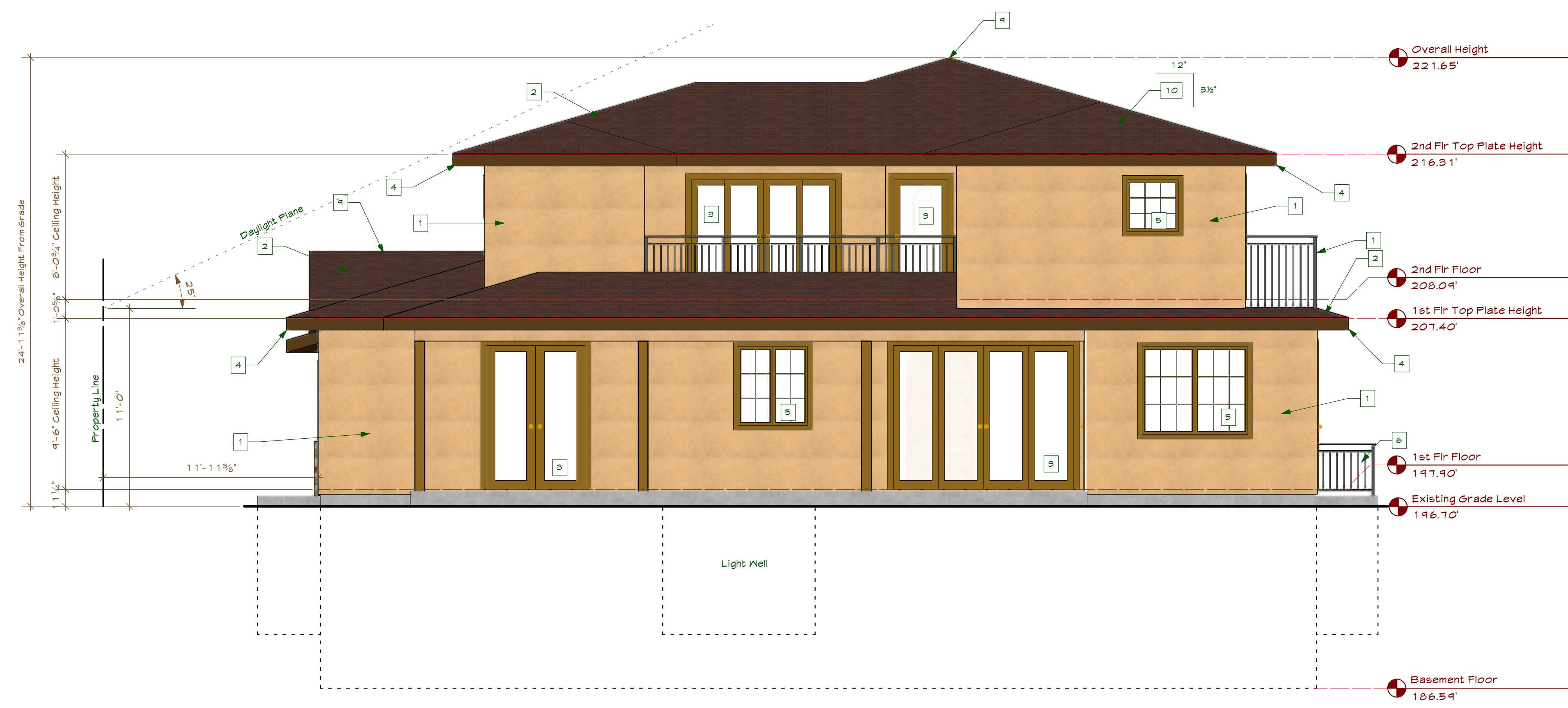
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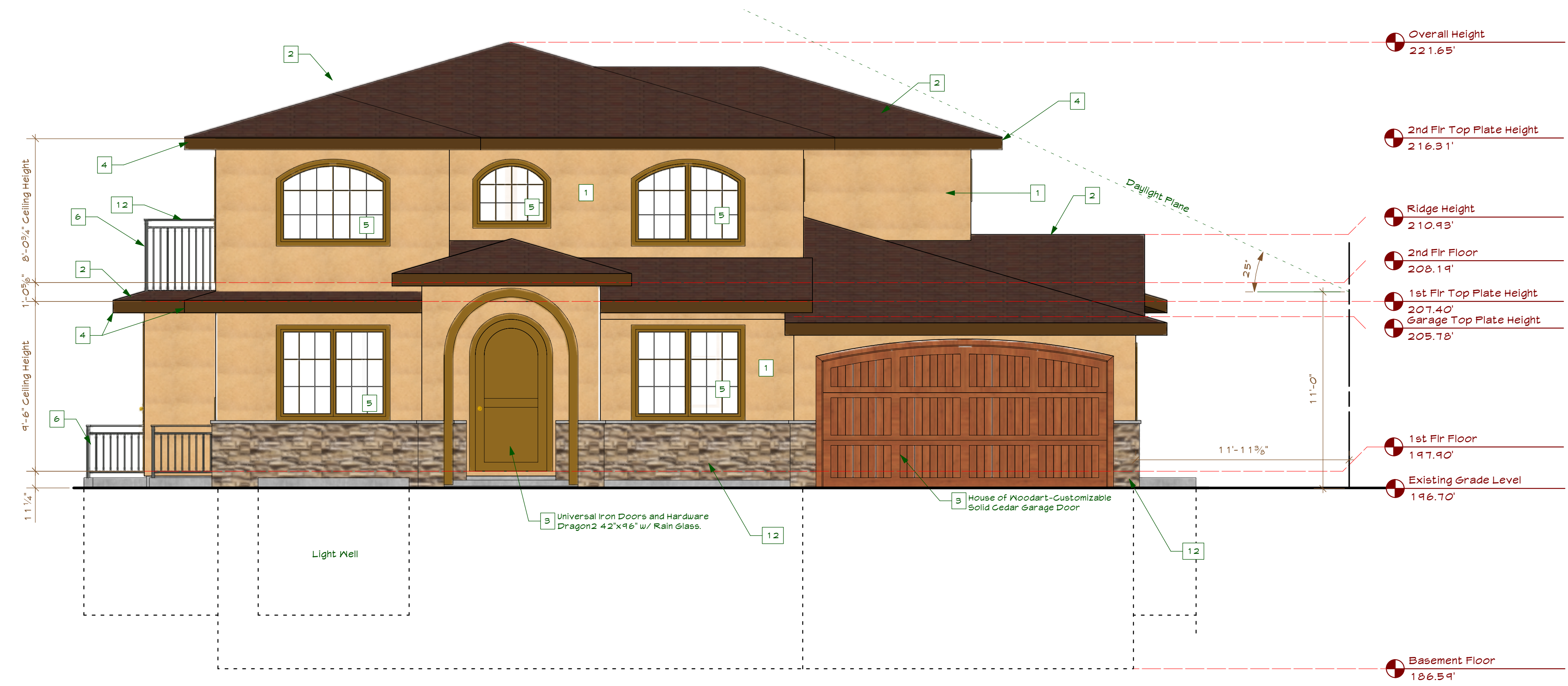
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Date: 9/27/18 File name: 18-011 Aduja-Mede (Buckingham) 1-1 PLANNING.vux



PROPOSED REAR ELEVATION (West)
Scale: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION (East)
Scale: 1/4" = 1'-0"

BUILDING ELEVATION KEYNOTES

1. 7/8" Min. 3-Coat Stucco, See Project Notes For Additional Information
2. Class 'C' Roofing, See Project Notes For Additional Information
3. New door, see door schedule
4. New Fascia & Gutters, Typ
5. New Window, See Window Schedule
6. Guard rail, 42" High, Typ.
7. Stone Veneer, install per manufacturers requirements
8. Existing Electrical service panel
9. Existing gas meter location
10. Ridge Vent, Typ, See roof ventilation calculations
11. Roof Slope, Typ U.O.N.



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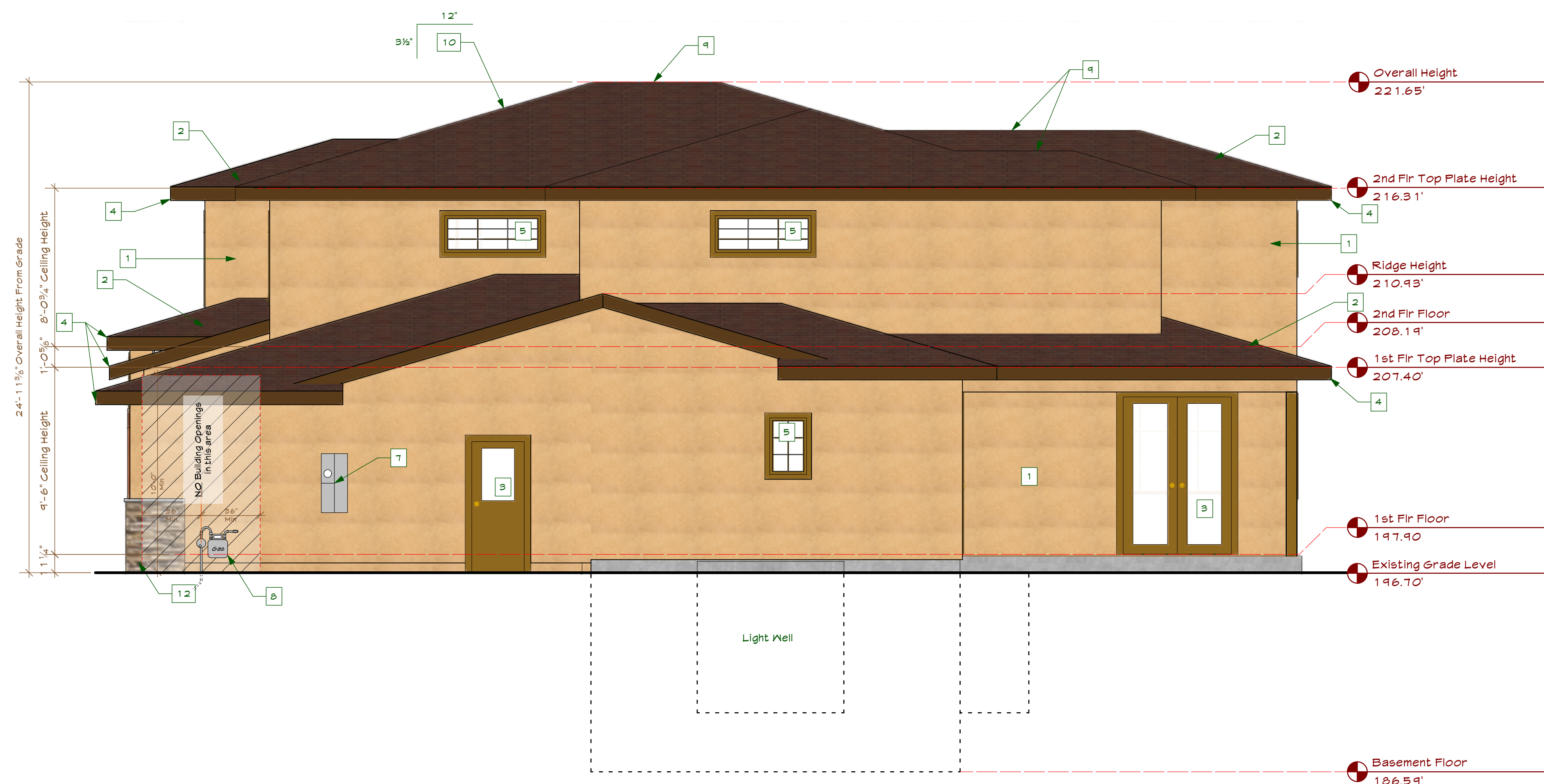
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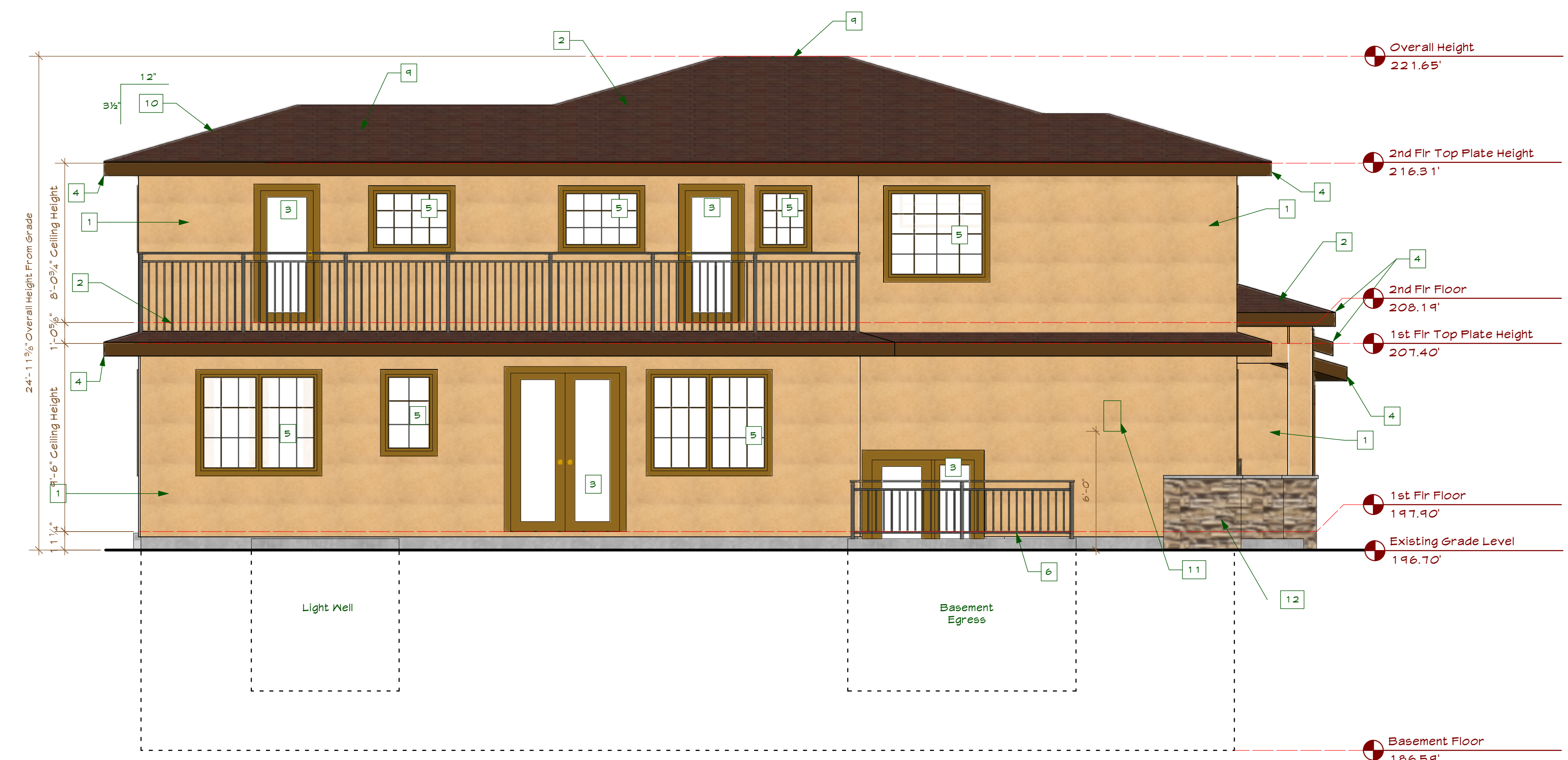
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PROPOSED ELEVATIONS

A3.0



PROPOSED RIGHT ELEVATION (North)
Scale: 1/4" = 1'-0"



PROPOSED LEFT ELEVATION (South)
Scale: 1/4" = 1'-0"

BUILDING ELEVATION KEYNOTES

1. 7/8" Min. 3-Coat Stucco, See Project Notes For Additional Information
2. Class 'C' Roofing, See Project Notes For Additional Information
3. New door, see door schedule
4. New Fascia & Gutters, Typ
5. New Window, See Window Schedule
6. Guard rail, 42" High, Typ.
7. Existing Electrical service panel
8. Existing gas meter location
9. Ridge vent, Typ, See roof ventilation calculations
10. Roof Slope, Typ U.O.N.
11. New firebox for direct vent fireplace, see plan for additional information
12. Stone Veneer, install per manufacturers requirements, See Detail A/A5.0



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David Mede
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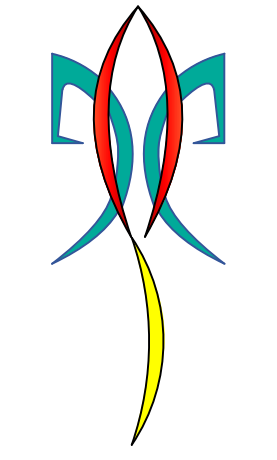
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PROPOSED ELEVATIONS

A3.1

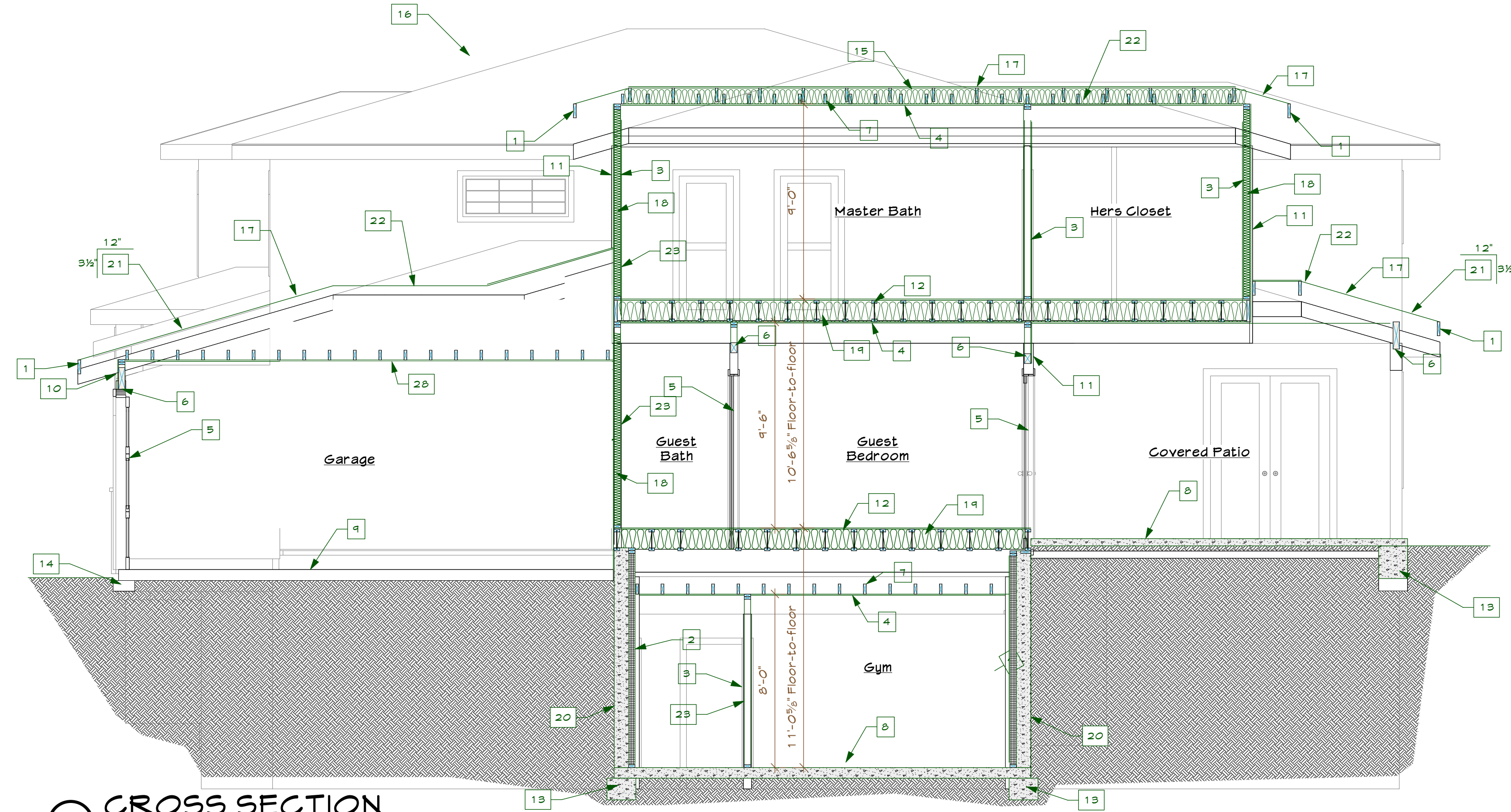


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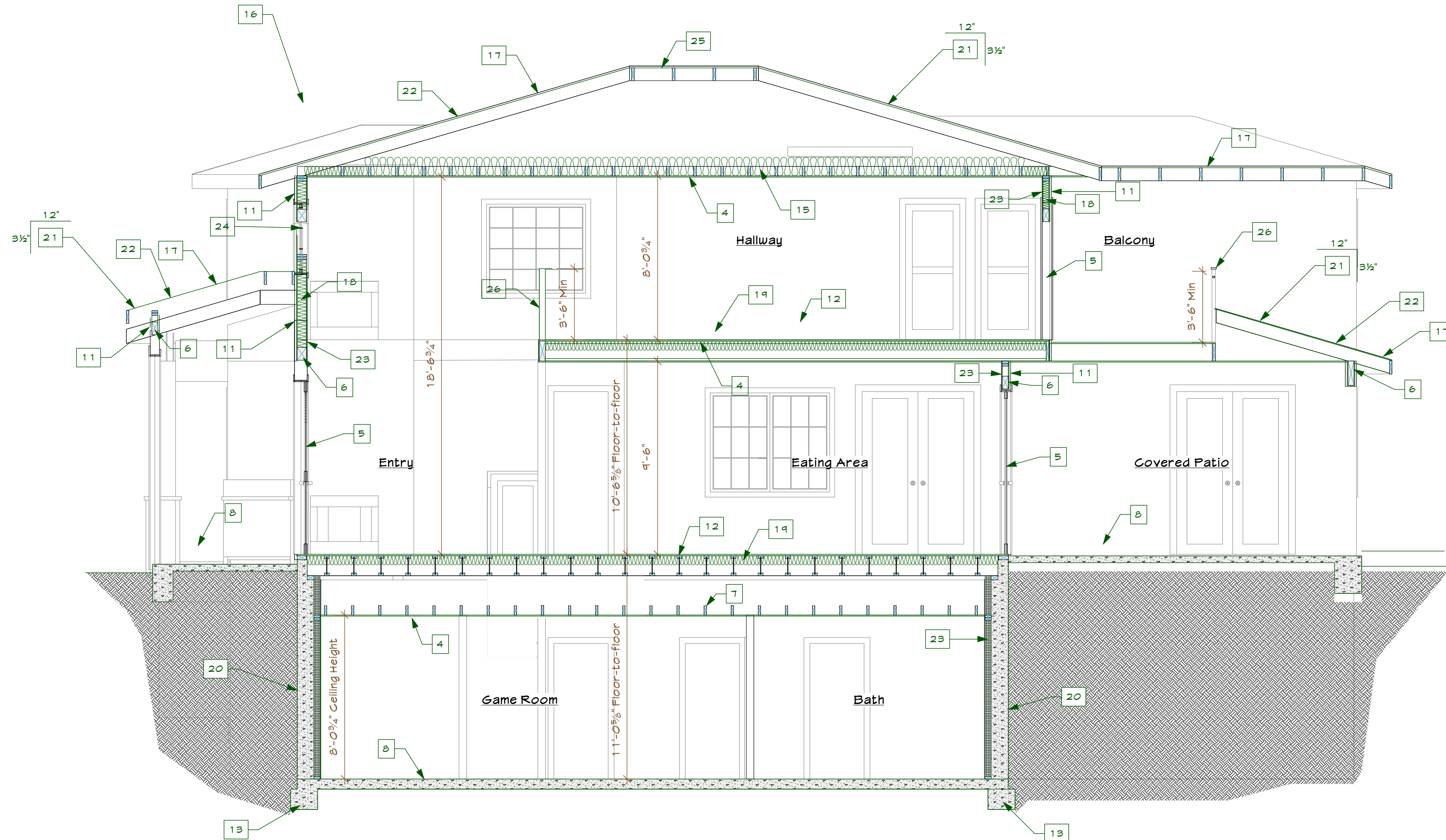
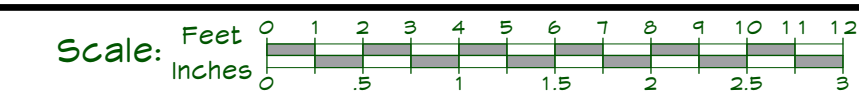
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CROSS SECTION KEYNOTES

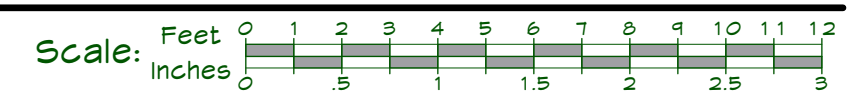
1. 2x Fascia
2. 2x Furring @ 16" o.c. w/ Rigid insulation
3. 2x4 @ 16" o.c.
4. 5/8" Gyp. Typ. @ Ceilings
5. Door, See schedule
6. Header, See structural
7. New ceiling framing, see structural
8. New concrete slab, see structural
9. Existing concrete slab
10. Existing Wall
11. Exterior finish, see elevations
12. New floor framing, see structural
13. New Foundation, see structural
14. Existing Foundation
15. New R-30 Insulation
16. Structure beyond
17. New Roof Sheathing, See structural
18. R-13, Min.
19. R-14, Min.
20. Retaining wall, See structural
21. Roof Slope, U.O.N.
22. Roofing, See project notes
23. 1/2" Gyp board, Typ.
24. Window, see schedule
25. Ridge Vent
26. New 42" High guard rail
27. Firewall, Provide 1/2" gyp bd at garage walls adjacent to living area
28. 5/8" Type X gypsum board @ Garage ceiling



2 CROSS SECTION
Scale: 1/4" = 1'-0"



1 CROSS SECTION
Scale: 1/4" = 1'-0"



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David Mede
1190 Buckingham Drive
Los Altos, CA 94024

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CROSS-SECTIONS

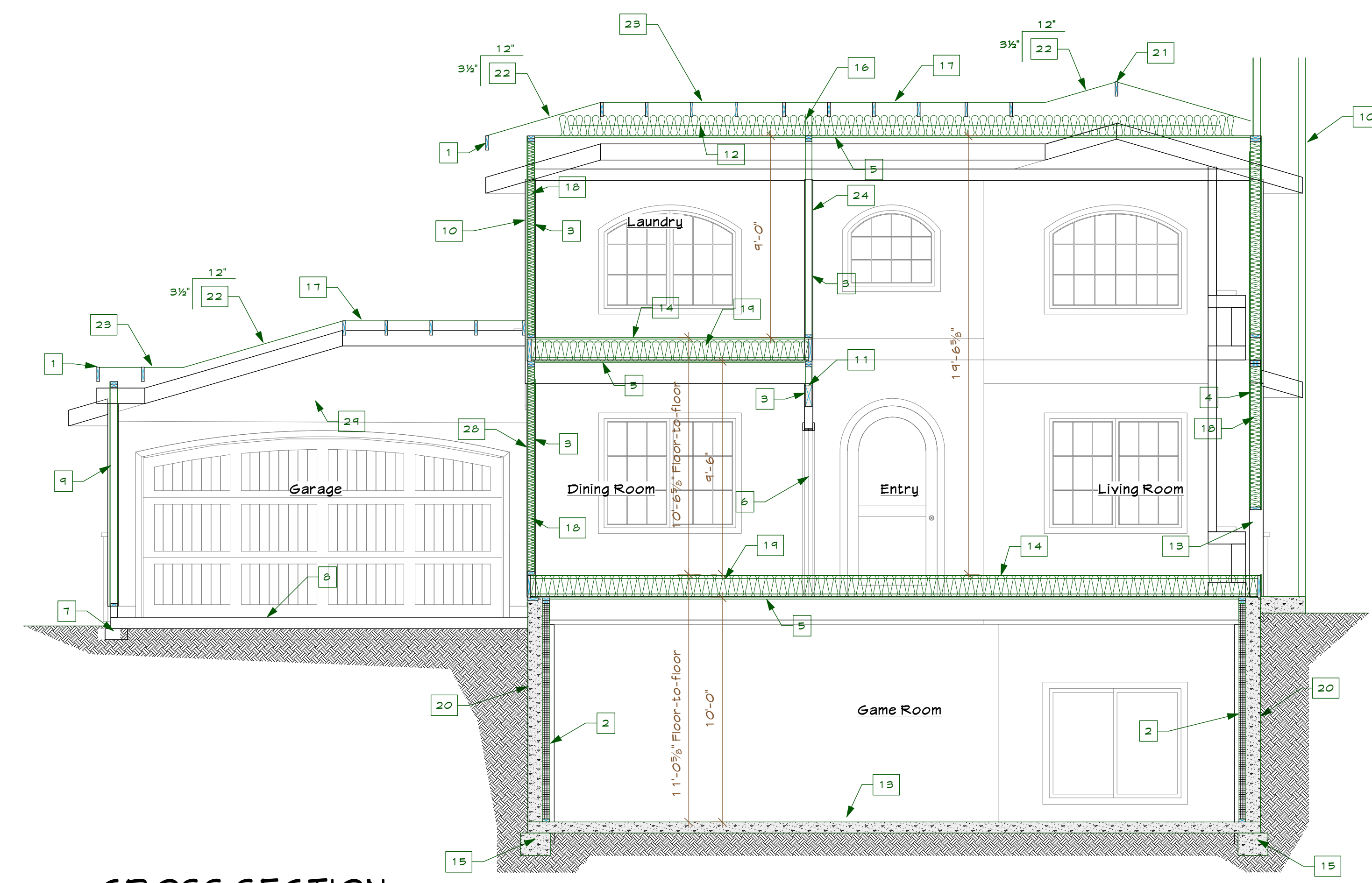
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Sheet 12 of 0 Sheets

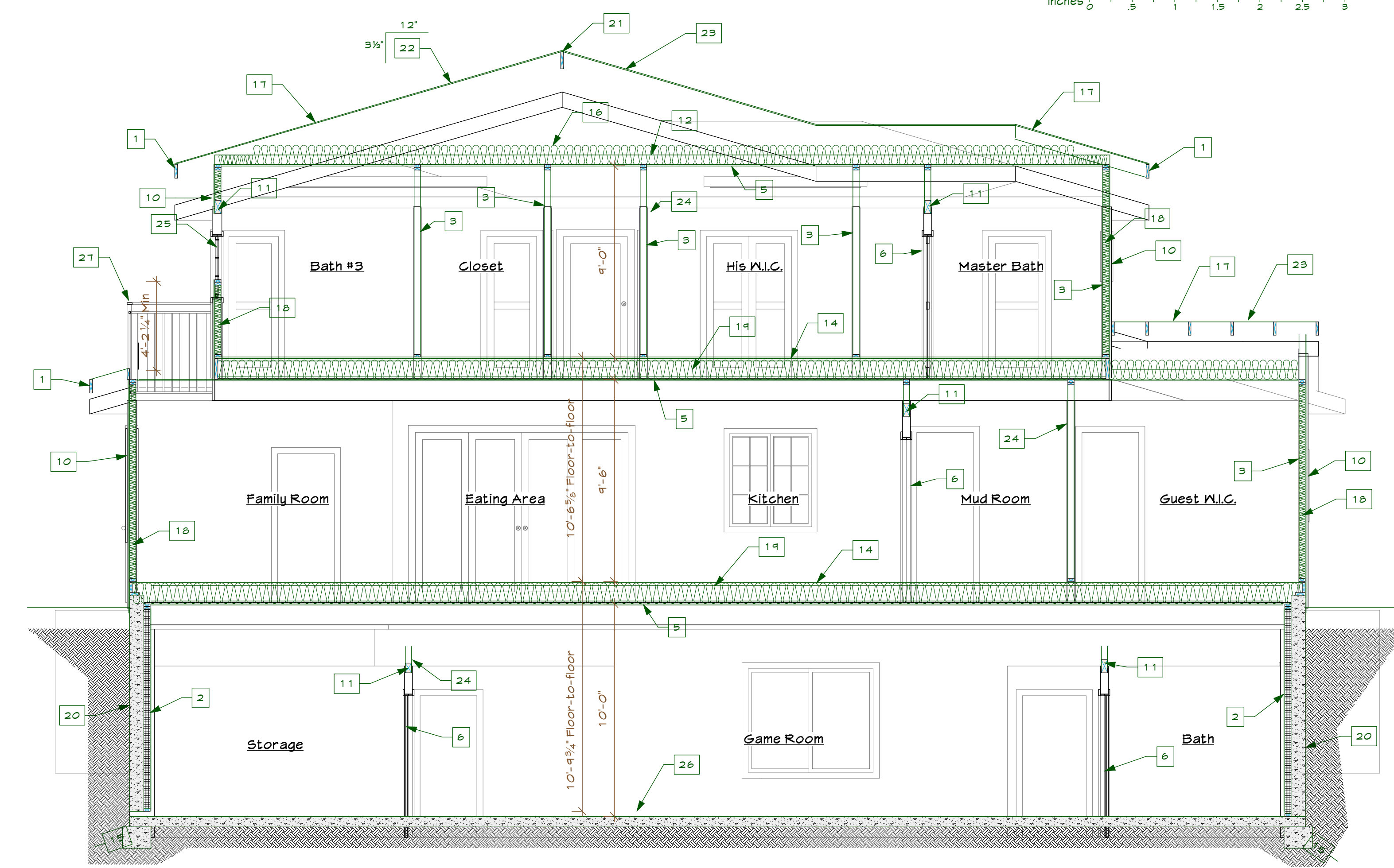
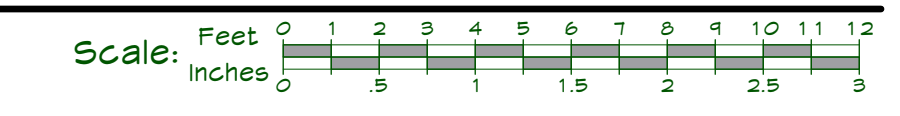
BUCKINGHAM PROJECT

CROSS SECTION KEYNOTES

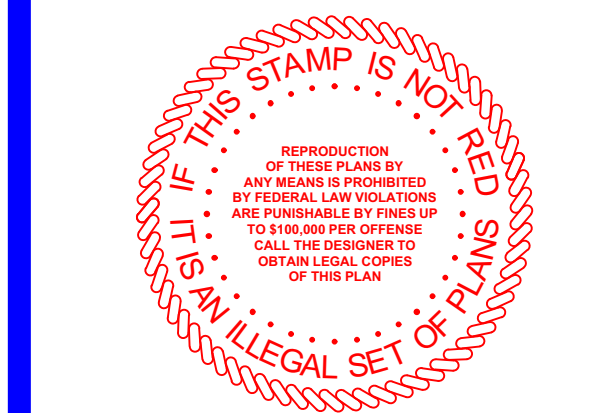
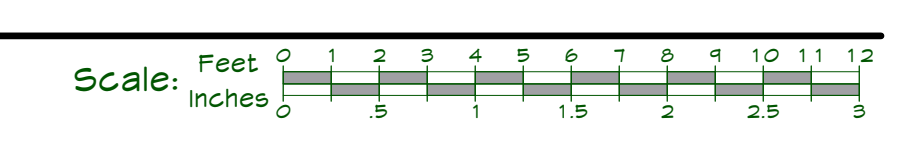
1. 2x Fascia
2. 2x Furring @ 16" o.c. w/ Rigid Insulation
3. 2x4 @ 16" o.c.
4. 2x6 @ 16" o.c.
5. 5/8" Gyp. Typ. @ Ceilings
6. Door, See schedule
7. Existing Foundation
8. Existing concrete slab
9. Existing Wall
10. Exterior finish, see elevations
11. Header, See structural
12. New ceiling framing, see structural
13. New Fireplace, Shall comply with Title 24 mandatory measures
14. New floor framing, see structural
15. New Foundation, see structural
16. New R-30 Insulation
17. New Roof Sheathing, See structural
18. R-13, Min.
19. R-19, Min
20. Retaining wall, See structural
21. Ridge Vent
22. Roof Slope, U.O.N.
23. Roofing, See project notes
24. 7/8" Gyp board, Typ.
25. Window, see schedule
26. New concrete slab, see structural
27. New 42" High guard rail
28. Firewall, Provide 7/8" gyp bd at garage walls adjacent to living area
29. 5/8" Type X gypsum board @ Garage ceiling



4 CROSS SECTION
Scale: 1/4" = 1'-0"



3 CROSS SECTION
Scale: 1/4" = 1'-0"



| REVISIONS | DATE |
|-----------|------|
| | |
| | |
| | |
| | |

PROJECT:
BUCKINGHAM PROJECT
David Mede
1190 Buckingham Drive
Los Altos, CA 94024

All ideas, design arrangements and plans indicated or represented by this drawing are owned by and the property of Paladin Design & Engineering and were created, evolved and developed for use on and in connection with the specified project contained herein. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm, or corporation for any purpose whatsoever without the written permission of Paladin Design & Engineering.

Written dimensions on these drawings shall have precedence over scaled dimensions, written dimensions are approximate and must be verified, contractor to verify and be responsible for all existing conditions and dimensions prior to and during all phases of work. This office must be notified of any variation from the dimensions and conditions shown by these drawings.

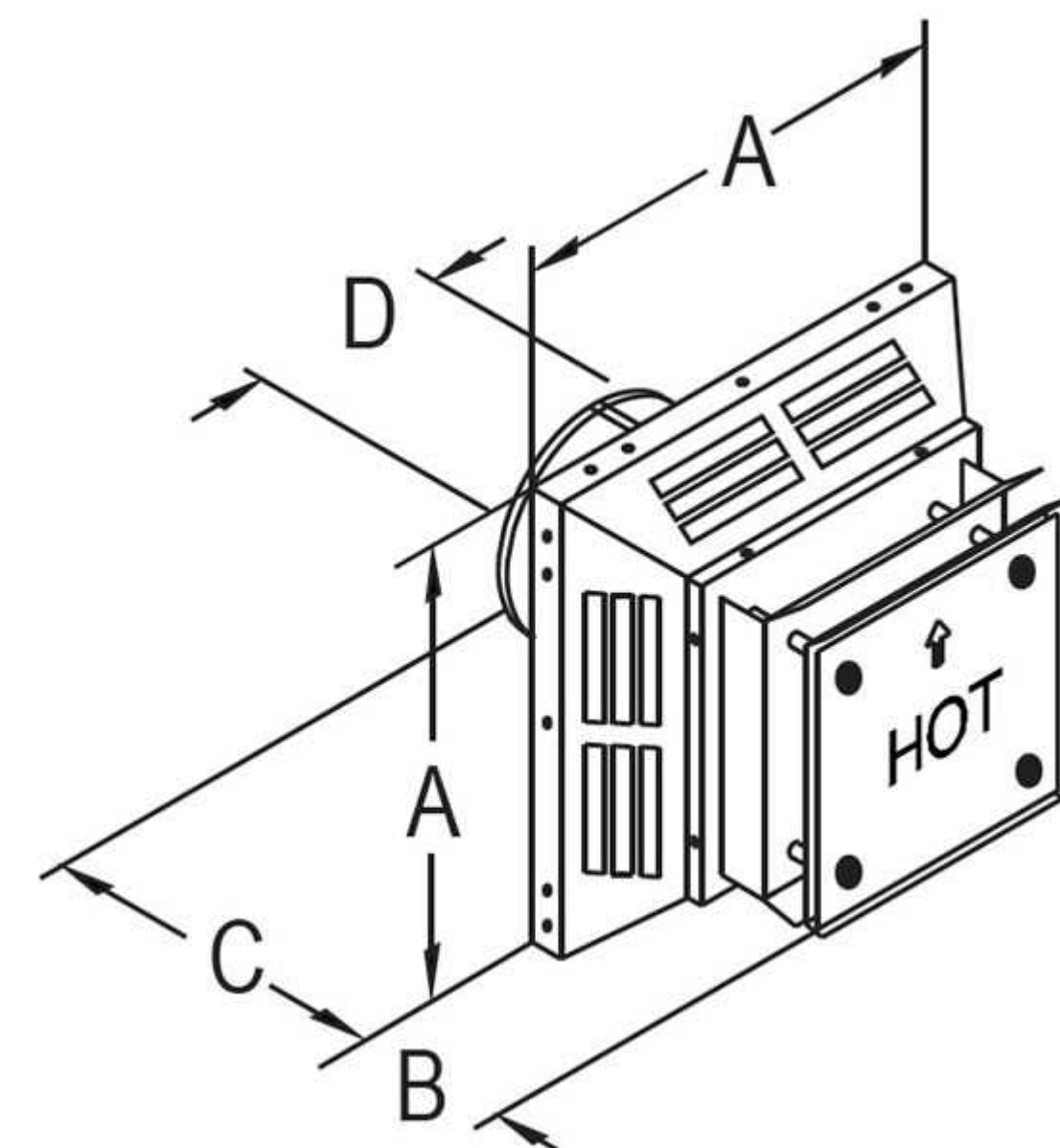
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DATE: Jan 25, 18 DRAWN: JM/GP

SCALE: AS NOTED FILE: 14-091

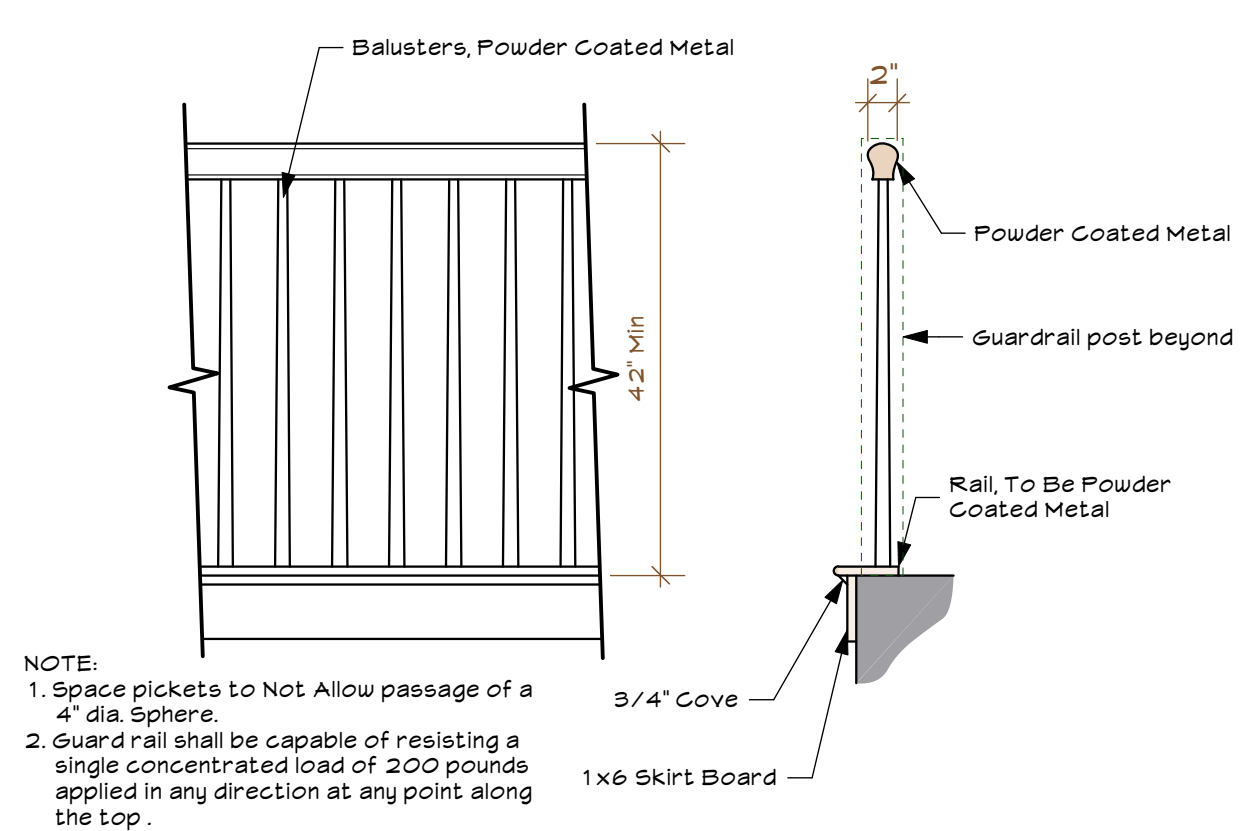
CROSS-SECTIONS

A4.1



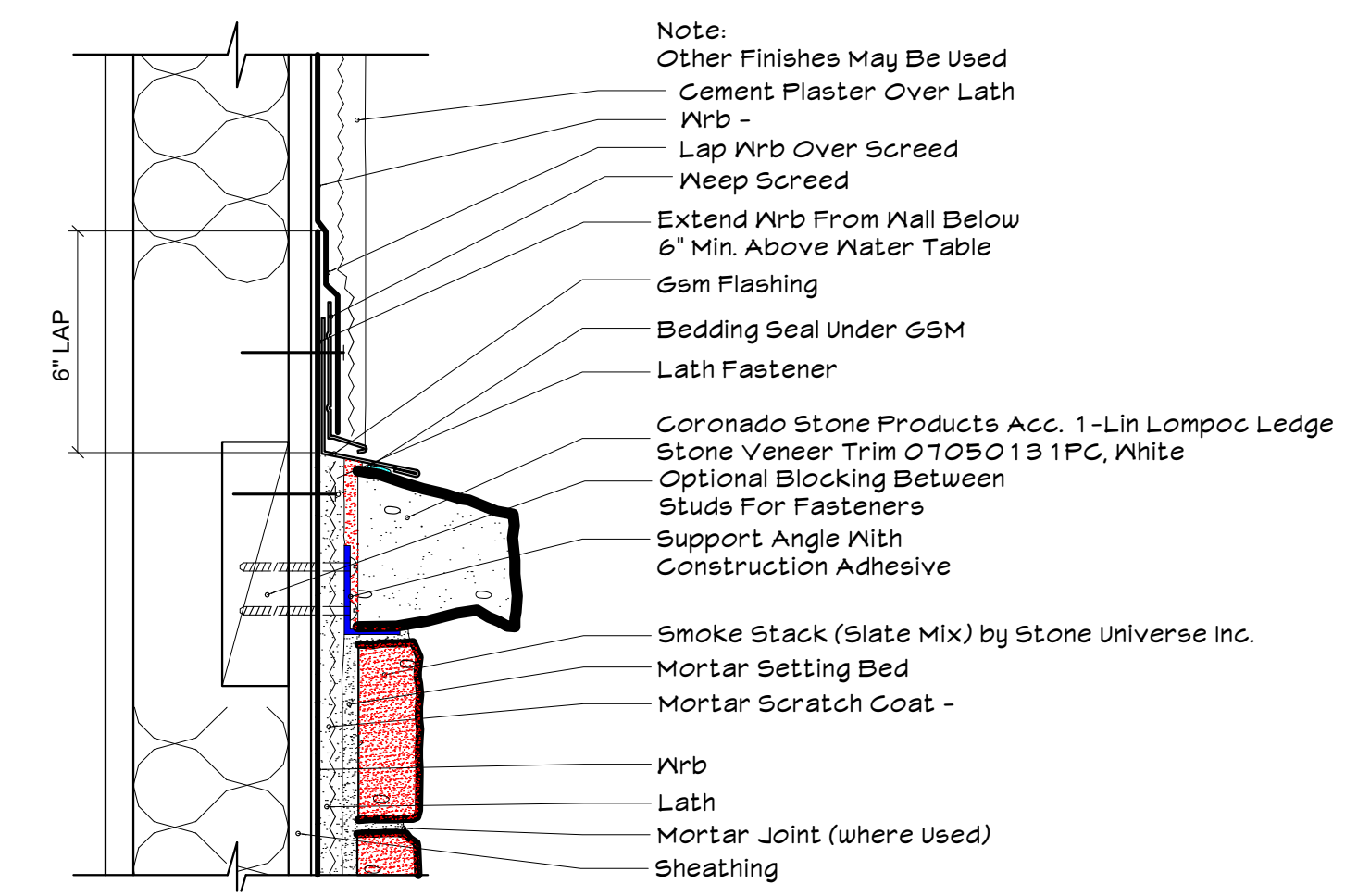
NOTE:
 A = 16"
 B = 6 7/8"
 C = 12 1/2"
 D = 8"

D DIRECT VENT TERMINATION CAP DETAIL
 Scale: 3/4" = 1'-0"



NOTE:
 1. Space pickets to Not Allow passage of a 4" dia. Sphere.
 2. Guard rail shall be capable of resisting a single concentrated load of 200 pounds applied in any direction at any point along the top.

C TYP GUARD RAILING DETAIL
 Scale: 3/4" = 1'-0"



A VENEER WATER TABLE DETAIL
 Scale: 1/2" = 1'-0"



| REVISIONS | DATE |
|-----------|------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

PROJECT:
BUCKINGHAM PROJECT
 David Mede
 1190 Buckingham Drive
 Los Altos, CA 94024

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| | |
|------------------|--------------|
| DATE: Jan 25, 18 | DRAWN: JM/GP |
| SCALE: AS NOTED | FILE: 14-091 |

ARCHITECTURAL DETAILS

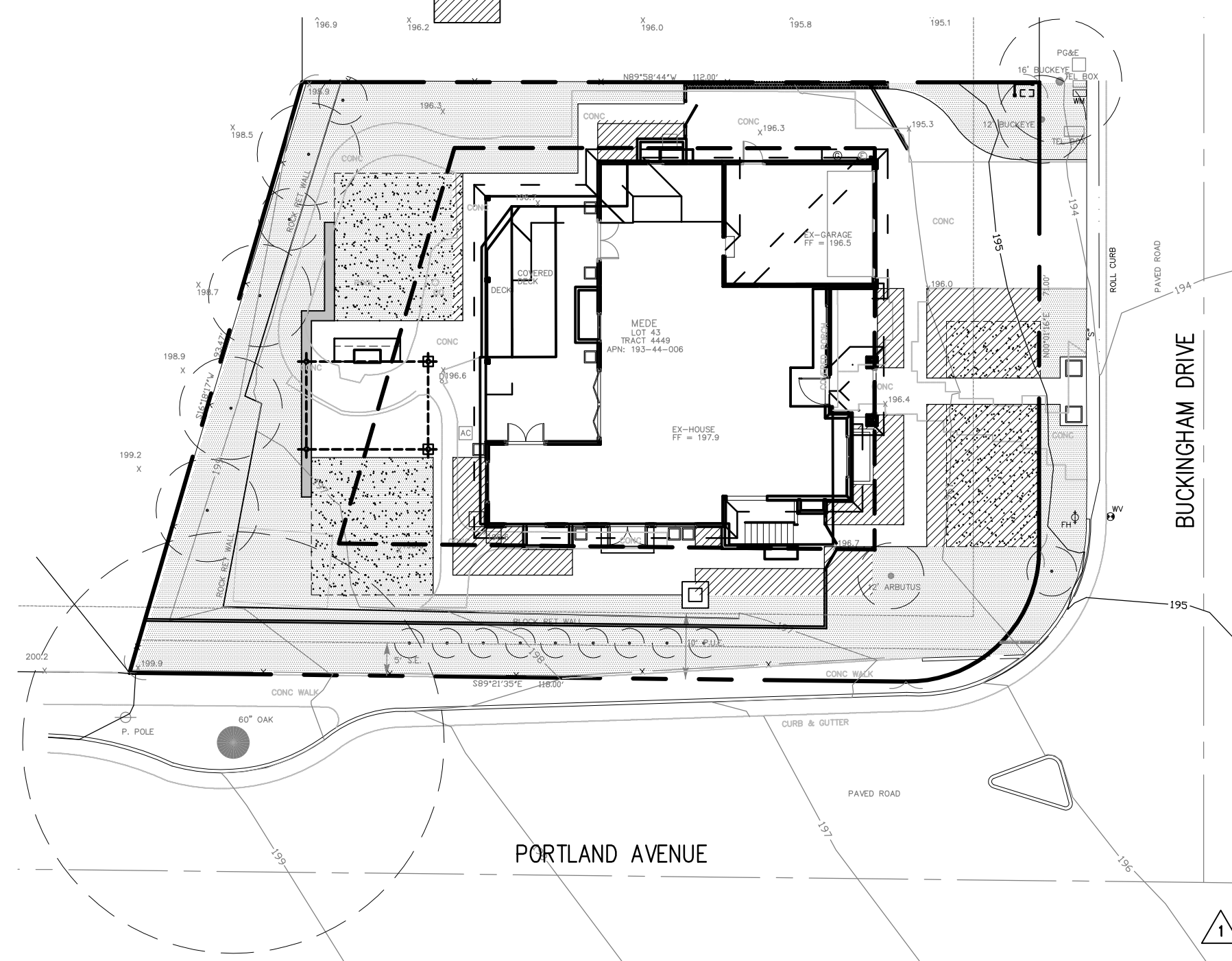
A5.0

LEGEND

- (E) EXISTING
- SIM SIMILAR
- TYP TYPICAL
- tbd TO BE DETERMINED
- SCENCE LIGHT, TYPICAL OF x SHROUDED; FACING DOWN; (PERGOLA); fixture tbd by owner
- LOW VOLTAGE STEP/WALL LIGHT, TYPICAL OF x; FX LUMINAIRE CP_ZD_2LED_CU
- ▲ LOW VOLTAGE UPLIGHT LIGHT, TYPICAL OF x; FX LUMINAIRE CC_ZD_3LED_AB
- ↔ ALIGN
- NEW WOOD FENCE (6'-0" HEIGHT)
- x-x- EXISTING WOOD FENCE TO REMAIN
- TREE PROTECTION FENCING (AROUND EXISTING PLANTING TO REMAIN)
- GAS — GAS — GAS/ELECTRICAL RUN; DEDICATED LINES FROM METERS
- SETBACK
- PROPERTY LINE
- PAVERS – APPROX. 3110 SF MANUFACTURER: CALSTONE STYLE: QUARRY STONE COLOR: TBD; PATTERN: TBD
- SEAT WALL
- DECORATIVE ROCK MATERIAL TBD
- PLANTING AREA
- SOD LAWN – 1268 SF
- ▲ STEEL HEADER
- NEW TREE
- EXISTING TREE
- Pot FREE-STANDING PRECAST POT PROVIDE DRIP IRRIGATION & DRAINAGE

LEGEND

- EXISTING SOFTSCAPE (UNDISTURBED) AREA = 4569 SF
- NEW SOFTSCAPE AREA = 1164 SF



3 EXISTING VERSUS NEW SOFTSCAPE DIAGRAM
1" = 20'-0"

NOTES:

1. Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of landscape architect for a decision before proceeding with work.
2. This concept design is provided as an approximation of existing conditions and as a guide for landscape development. Final measurements, materials selections, quantities, and sizes of materials shall be the responsibility of the installation contractor in accordance with the owner's direction.
3. Contractor shall also be responsible for field verifying all existing conditions and adjust plans accordingly.
4. All written dimensions supercede scaled distances and dimensions.
5. All structural plans are diagrammed and Contractor/Owner shall be solely responsible for sizing of any trellis or retaining wall.
6. Contractor/Owner shall be responsible for obtaining all necessary building permits.
7. Contractor/Owner shall verify and abide by all local, state, and federal laws, codes, and ordinances.
8. The Contractor shall be responsible for verifying and locating all existing underground and above ground utilities (electric, septic, sewer, gas water, telephone, cable, etc.).

ZONING COMPLIANCE

| | Existing | Proposed | Allowed/Required |
|---|--|--|----------------------------|
| LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i> | 2647 square feet 25.63% | 3369 square feet 29.95% | 3372 square feet (.30%) |
| FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i> | 1st Flr: 2647 sq ft 2nd Flr: 2647 sq ft Totals: 2647 sq ft 23.55% | 1st Flr: 2299 sq ft 2nd Flr: 1570 sq ft Totals: 3869 sq ft 34.42% | 3874 square feet 34.47% |
| SETBACKS: | | | |
| Front | 25 feet | ___ feet | ___ feet |
| Rear | 25 feet | ___ feet | ___ feet |
| Right side (1 st /2 nd) | 10 feet/___ feet | ___ feet/___ feet | ___ feet/___ feet |
| Left side (1 st /2 nd) | 20 feet/___ feet | ___ feet/___ feet | ___ feet/___ feet |
| HEIGHT: | 12 feet | ___ feet | ___ feet |

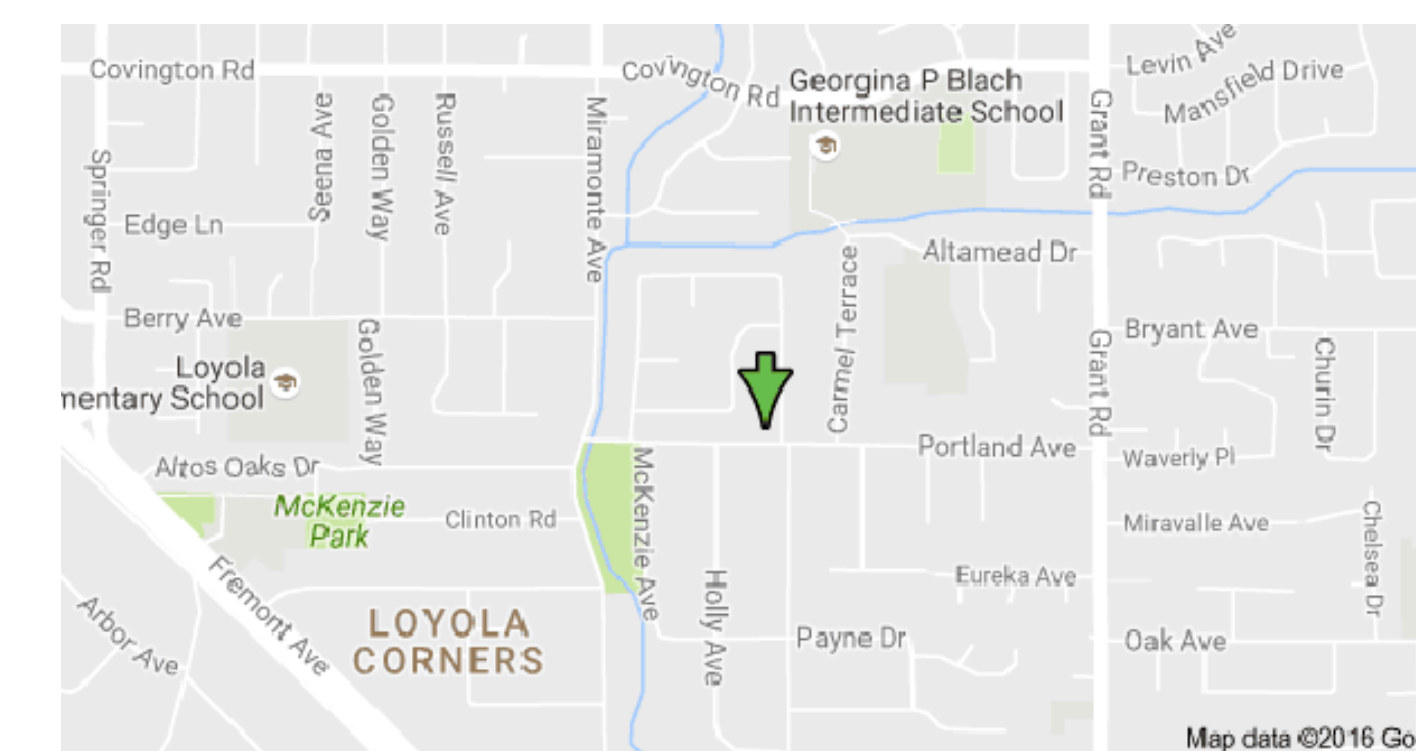
SQUARE FOOTAGE BREAKDOWN

| | Existing | Change in | Total Proposed |
|--|-----------------|-----------------|-----------------|
| HABITABLE LIVING AREA: <i>Includes habitable basement areas</i> | ___ square feet | ___ square feet | ___ square feet |
| NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i> | ___ square feet | ___ square feet | ___ square feet |

LOT CALCULATIONS

| | |
|---|---|
| NET LOT AREA: | 11,240 square feet |
| FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i> | 877 square feet (___ %) 40% |
| LANDSCAPING BREAKDOWN: | Total hardscape area (existing and proposed): 5507 sq ft Existing softscape (undisturbed) area: 4569 sq ft New softscape area: 1164 sq ft <i>Sum of all three should equal the site's net lot area</i> |

2 ZONING COMPLIANCE
N.T.S.



1 VICINITY MAP
N.T.S.

SCOPE OF WORK:
LANDSCAPE IMPROVEMENTS CONSISTING OF
HARDSCAPE, PLANTINGS AND ACCESSORY STRUCTURES.

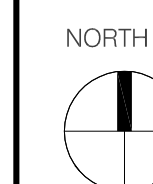
**ABAYA-MEDE RESIDENCE
LANDSCAPE DESIGN**
1190 BUCKINGHAM DRIVE
LOS ALTOS, CA 94024
APN: 193-44-006



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LA CA Lic #4877
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Redwood City, CA 94062

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Consultants



SCALE 1/8"=1'-0" or as noted (details)

Revisions

▲ PLAN REVIEW COMMENTS
JANUARY 19, 2018
▲ PLAN REVIEW COMMENTS
MARCH 10, 2017

Date
01.04.17
Phase
Design Development
Job Number
#Mede_1116-1

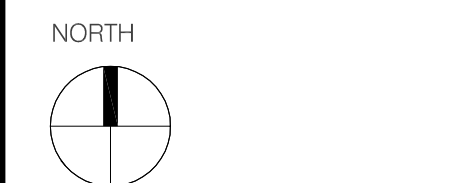
Drawing Title
**GENERAL
INFORMATION**

Drawing Number
L1.00



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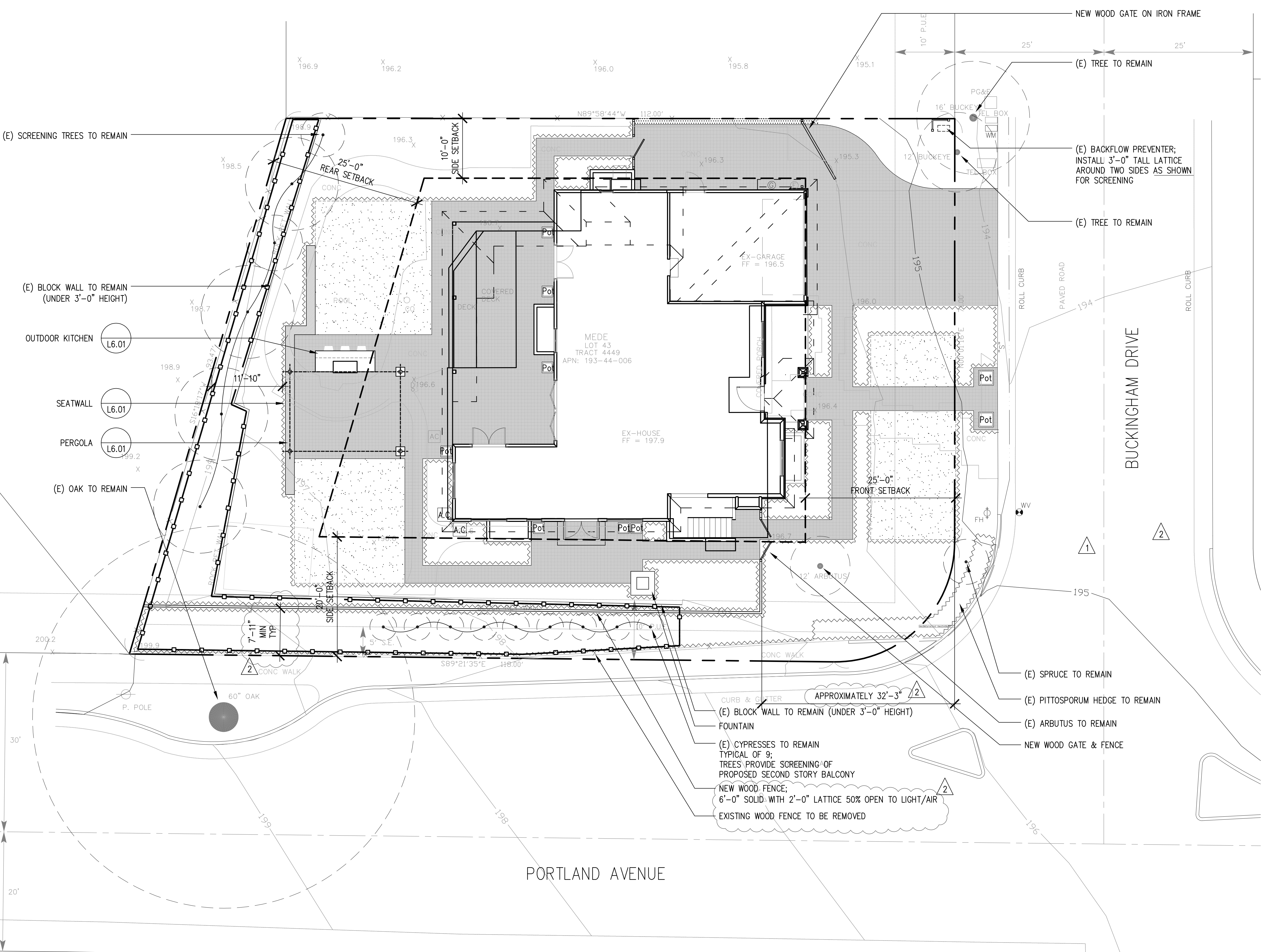
Drawing Title
LAYOUT PLAN

Drawing Number

L1.01

LEGEND

- (E) EXISTING
- SIM SIMILAR
- TYP TYPICAL
- tbd TO BE DETERMINED
- SCNCE LIGHT, TYPICAL OF x SHROUDED; FACING DOWN; (PERGOLA); fixture tbd by owner
- LOW VOLTAGE STEP/WALL LIGHT, TYPICAL OF x; FX LUMINAIRE CP_ZD_2LED_CU
- LOW VOLTAGE UPLIGHT LIGHT, TYPICAL OF x; FX LUMINAIRE CC_ZD_3LED_AB
- ALIGN
- NEW WOOD FENCE (6'-0" HEIGHT)
- EXISTING WOOD FENCE TO REMAIN
- TREE PROTECTION FENCING (AROUND EXISTING PLANTING TO REMAIN)
- GAS/ELECTRIC RUN; DEDICATED LINES FROM METERS
- SETBACK
- PROPERTY LINE
- PAVERS - APPROX. 3110 SF
MANUFACTURER: CALSTONE STYLE: QUARRY STONE
COLOR: TBD; PATTERN: TBD
- SEAT WALL
- DECORATIVE ROCK MATERIAL TBD
- PLANTING AREA
- SOD LAWN - 1268 SF
- STEEL HEADER
- NEW TREE
- EXISTING TREE
- FREE-STANDING PRECAST POT PROVIDE DRIP IRRIGATION & DRAINAGE



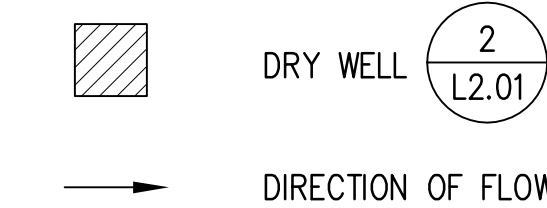
1 LAYOUT PLAN
1/8" = 1'-0"

PVC DRAIN PIPE SCHEDULE

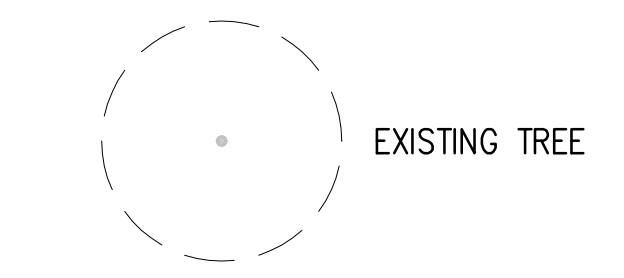
| SECTION # | DIAMETER (INCHES) | LENTGH (FEET) | SLOPE (FT/FT) |
|-----------|-------------------|---------------|---------------|
| 1 | 4 | 23 | 0.01 |
| 2 | 4 | 20.5 | 0.01 |
| 3 | 4 | 25 | 0.01 |
| 4 | 4 | 23.25 | 0.01 |
| 5 | 4 | 42 | 0.01 |
| 6 | 4 | 16 | 0.01 |
| 7 | 4 | 11 | 0.01 |
| 8 | 4 | 36 | 0.01 |
| 9 | 4 | 14.75 | 0.01 |
| 10 | 4 | 16.5 | 0.032 |
| 11 | 4 | 25.75 | 0.01 |
| 12 | 4 | 19.25 | 0.01 |
| 13 | 4 | 12.5 | 0.01 |
| 14 | 4 | 16 | 0.01 |
| 15 | 4 | 6.25 | 0.10 |
| 16 | 4 | 22.5 | 0.01 |
| 17 | 4 | 27.25 | 0.01 |
| 18 | 4 | 18.5 | 0.018 |
| 19 | 4 | 6 | 0.01 |
| 20 | 4 | 49.75 | 0.01 |
| 21 | 4 | 8.25 | 0.19 |
| 22 | 4 | 17.5 | 0.01 |

LEGEND

- (E) EXISTING
- TW/BW TOP OF WALL/BOTTOM OF WALL
- TS/BS TOP OF STEP/BOTTOM OF STEP
- TC/BC TOP OF CURB/BOTTOM OF CURB
- HP HIGH POINT
- FG FINISH GRADE
- FG (xx) EXISTING FINISH GRADE TO REMAIN
- AREA DRAIN



- (E) CONTOUR
- NEW CONTOUR
- RIDGE LINE
- CHANNEL DRAIN
- FRENCH DRAIN
- SUBSURFACE PVC DRAIN PIPE
- SWALE



ABAYA-MEDE RESIDENCE
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 cnelson@CNASLA.com

Consultants



SCALE 1/8" = 1'-0" or as noted (details)

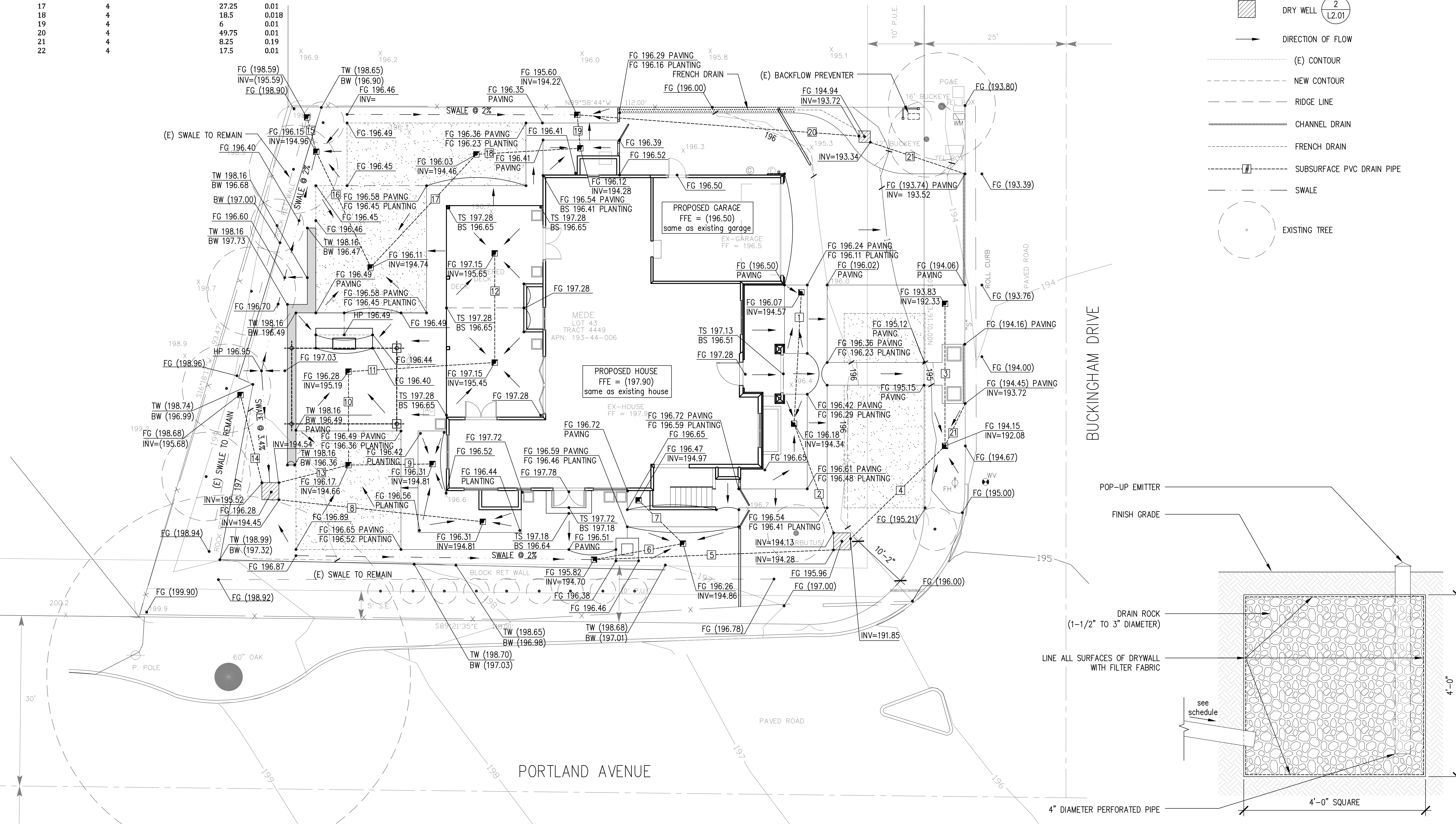
Revisions

PLAN REVIEW COMMENTS
 MARCH 10, 2017

Date
 01.04.17
 Phase
 Design Development
 Job Number
 #Mede_1116-1

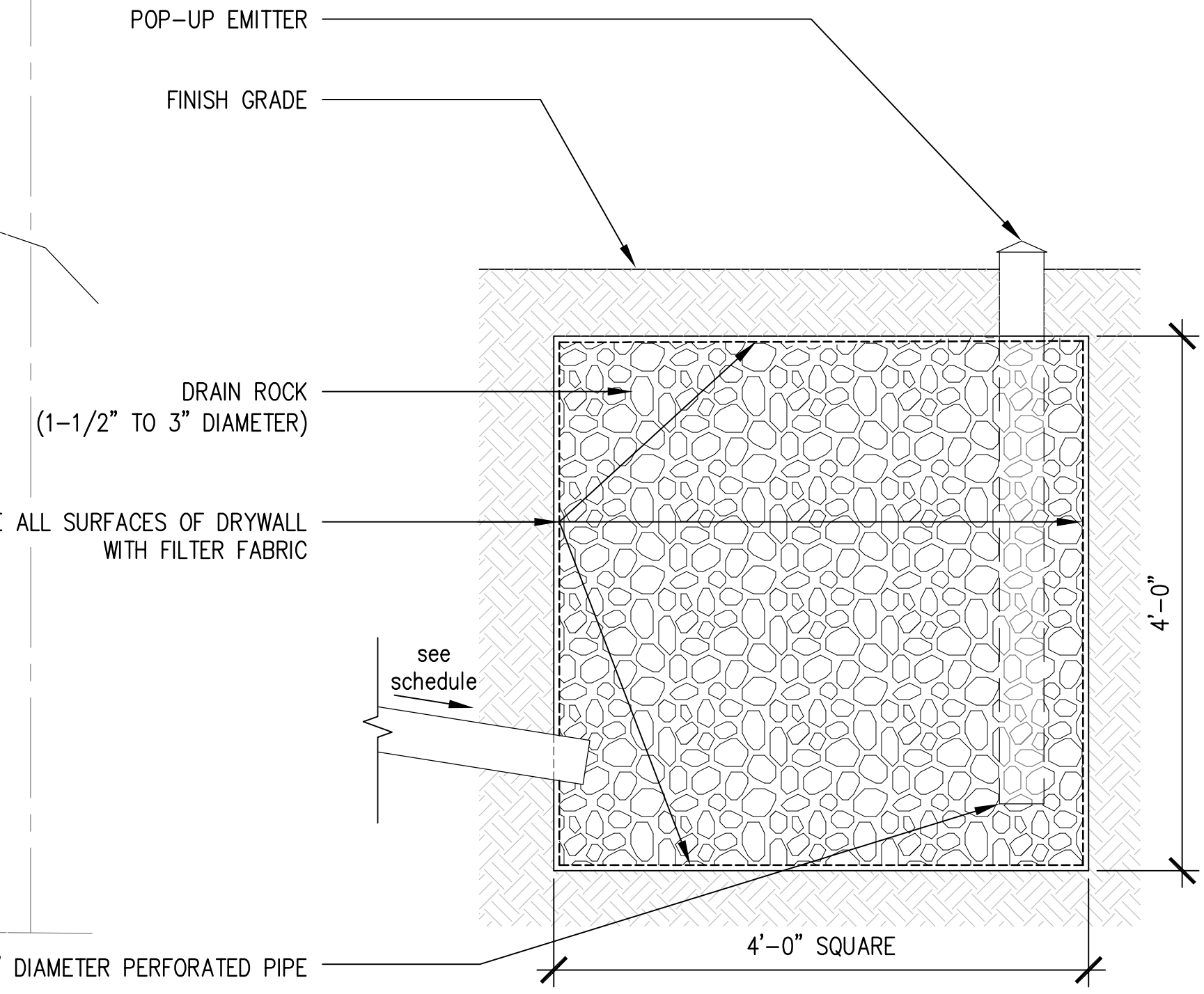
Drawing Title
GRADING & DRAINAGE PLAN

Drawing Number
L2.01



1 GRADING & DRAINAGE PLAN
 1/8" = 1'-0"

2 DRYWELL SECTION
 N.T.S.

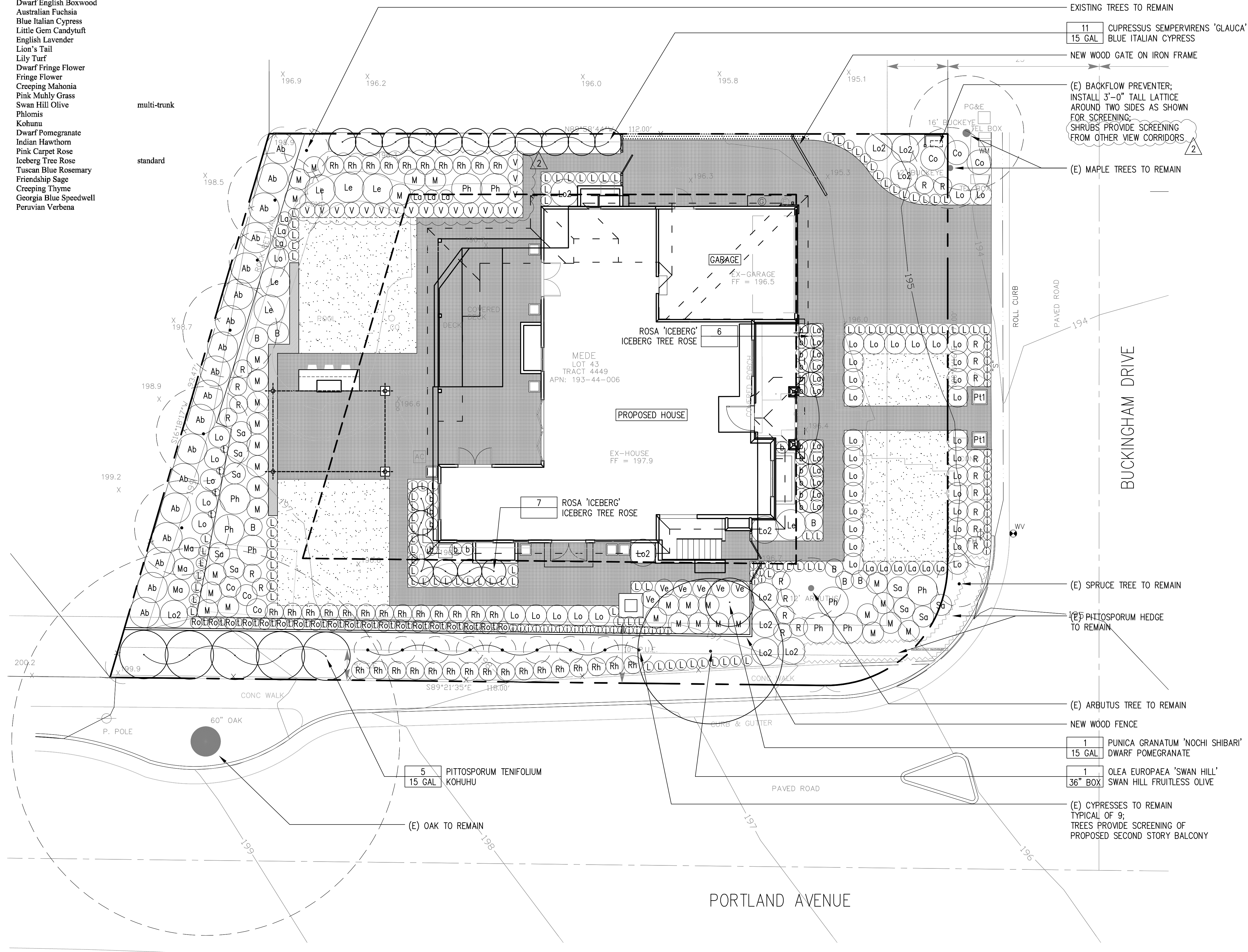


| Sym # | Size | Latin Name | Common Name | Comments |
|-------|---------|------------|--|------------------------|
| Ab | 18 | 5 gal | Abelia x grandiflora | Abelia |
| B | 7 | 1 gal | Ballota pseudodictamnus | False Dittany |
| b | 19 | 1 gal | Buxus 'Suffruticosa' | Dwarf English Boxwood |
| Co | 6 | 5 gal | Correa 'Dusky Bells' | Australian Fuchsia |
| 11 | 15 gal | | Cupressus sempervirens 'Glauca' | Blue Italian Cypress |
| i | 49 | 1 gal | Iberis sempervirens 'Little Gem' | Little Gem Candytuft |
| La | 24 | 1 gal | Lavandula angustifolia 'Hidcote Blue' | English Lavender |
| Le | 6 | 1 gal | Leonotis leonurus | Lion's Tail |
| L | 106 | 1 gal | Liriope muscari 'Big Blue' | Lily Turf |
| Lo2 | 41 | 2 gal | Loropetalum chinensis 'Peake' | Dwarf Fringe Flower |
| Lo2 | 11 | 5 gal | Loropetalum chinensis 'Purple Diamond' | Fringe Flower |
| Ma | 3 | 5 gal | Mahonia repans | Creeping Mahonia |
| M | 31 | 2 gal | Mulhenbergia capillaris 'Lenca' | Pink Muhly Grass |
| 1 | 36" box | | Olea europaea 'Swan Hill' | Swan Hill Olive |
| Ph | 9 | 5 gal | Phlomis lanata | Phlomis |
| 5 | 15 gal | | Pittosporum tenifolium | Kohuhu |
| 1 | 15 gal | | Punica granatum 'Nochi Shibari' | Dwarf Pomegranate |
| Rh | 39 | 1 gal | Rhaphiolepis indica 'Ballerina' | Indian Hawthorn |
| R | 22 | 1 gal | Rosa x 'Nostratum' | Pink Carpet Rose |
| 13 | 5 gal | | Rosa 'Iceberg' | Iceberg Tree Rose |
| Ro | 19 | 5 gal | Rosmarinus officinalis 'Tuscan Blue' | Tuscan Blue Rosemary |
| Sa | 9 | 1 gal | Salvia x Amistad | Friendship Sage |
| t | 22 | 1 gal | Thymus serpyllum 'Magic Carpet' | Creeping Thyme |
| Ve | 6 | 1 gal | Veronica umbrosa 'Georgia Blue' | Georgia Blue Speedwell |
| V | 18 | 1 gal | Verbena peruviana | Peruvian Verbena |

LEGEND

- (E) EXISTING
- SIM SIMILAR
- TYP TYPICAL
- tbd TO BE DETERMINED
- SCONCE LIGHT, TYPICAL OF x SHROUDED; FACING DOWN; (PERGOLA); fixture tbd by owner
- LOW VOLTAGE STEP/WALL LIGHT, TYPICAL OF x; FX LUMINAIRE CP_ZD_2LED_CU
- LOW VOLTAGE UPLIGHT LIGHT, TYPICAL OF x; FX LUMINAIRE CC_ZD_3LED_AB

- ALIGN
- NEW WOOD FENCE (6'-0" HEIGHT)
- EXISTING WOOD FENCE TO REMAIN
- TREE PROTECTION FENCING (AROUND EXISTING PLANTING TO REMAIN)
- GAS/ELECTRICAL RUN; DEDICATED LINES FROM METERS
- SETBACK
- PROPERTY LINE
- PAVERS - APPROX. 3110 SF MANUFACTURER: CALSTONE STYLE: QUARRY STONE COLOR: TBD; PATTERN: TBD
- SEAT WALL
- DECORATIVE ROCK MATERIAL TBD
- PLANTING AREA
- SOD LAWN - 1268 SF
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- NEW TREE
- EXISTING TREE
- Pot FREE-STANDING PRECAST POT PROVIDE DRIP IRRIGATION & DRAINAGE



1 PLANTING PLAN
1/8" = 1'-0"

ABAYA-MEDE RESIDENCE
LANDSCAPE DESIGN
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APN: 193-44-006

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SCALE 1/8" = 1'-0" or as noted (details)

Revisions

- PLAN REVIEW COMMENTS JANUARY 19, 2018
- PLAN REVIEW COMMENTS MARCH 10, 2017

Date: 01.04.17
Phase: Design Development
Job Number: #Mede_1116-1

Drawing Title

PLANTING PLAN

Drawing Number

L4.01

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



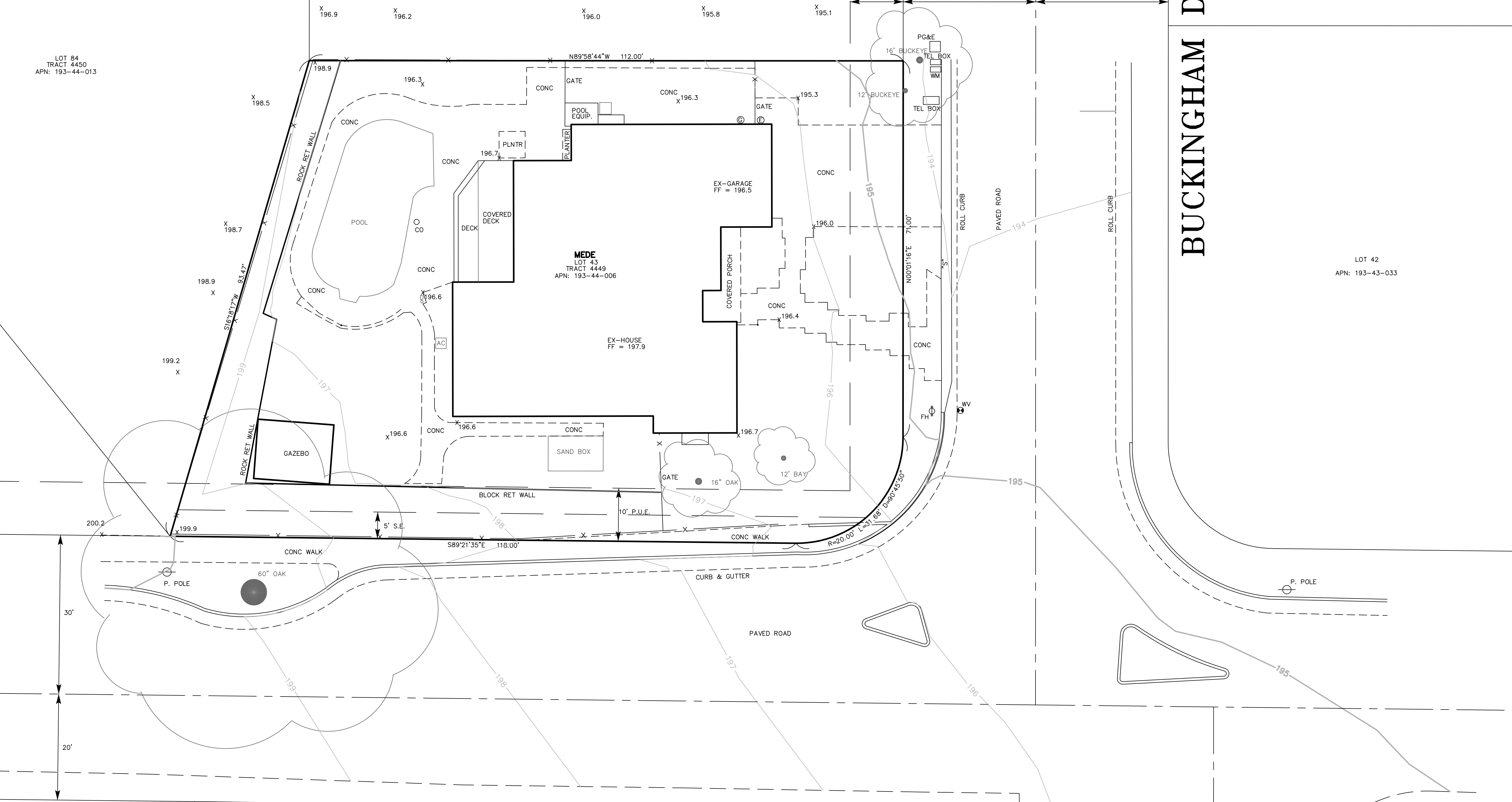
LOT 84
TRACT 4450
APN: 193-44-013

LOT 85
TRACT 4450
APN: 193-44-012

LOT 44
APN: 193-44-005

LOT 41
APN: 193-43-034

LOT 42
APN: 193-43-033



PORTLAND AVENUE

BUCKINGHAM DRIVE

APN: 193-39-038



CARNES & ASSOCIATES
9505 SUGAR BABE DRIVE
GILROY, CALIFORNIA 95020
408-847-2013

TOPOGRAPHIC MAP
DAVID MEDE & LYZETTE ABAYA-MEDE
LOT 43, TRACT 4449
CITY OF LOS ALTOS, CALIF

| No. | DATE | REVISION |
|-----|---------|--|
| 1 | 9-21-17 | ADDED SPOT ELEV'S ON NEIGHBORING PROPERTIES & CONTIGUOUS IN-SHEET. |

| | | |
|-------|-----------------|----------|
| SHEET | DATE : | 3-16-15 |
| 1 | SCALE : | 1" = 10' |
| OF | DRAWN BY : | D.E. |
| 1 | PROJ. MANAGER : | G.C. |

Job No. 1628
DWG. MEDETOP0