

# CAO RESIDENCE

## NEW SINGLE FAMILY RESIDENCE



### 1390 HOLLY AVENUE, LOS ALTOS, CA



1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983  
F : (408) 404 - 0144

CAO RESIDENCE  
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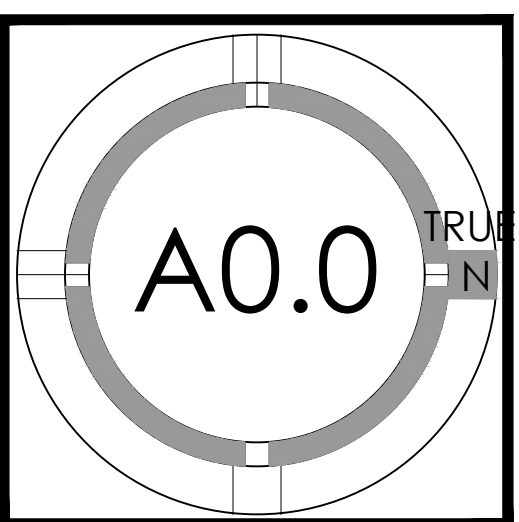
1390 HOLLY AVENUE, LOS ALTOS, CA

CAO SHU



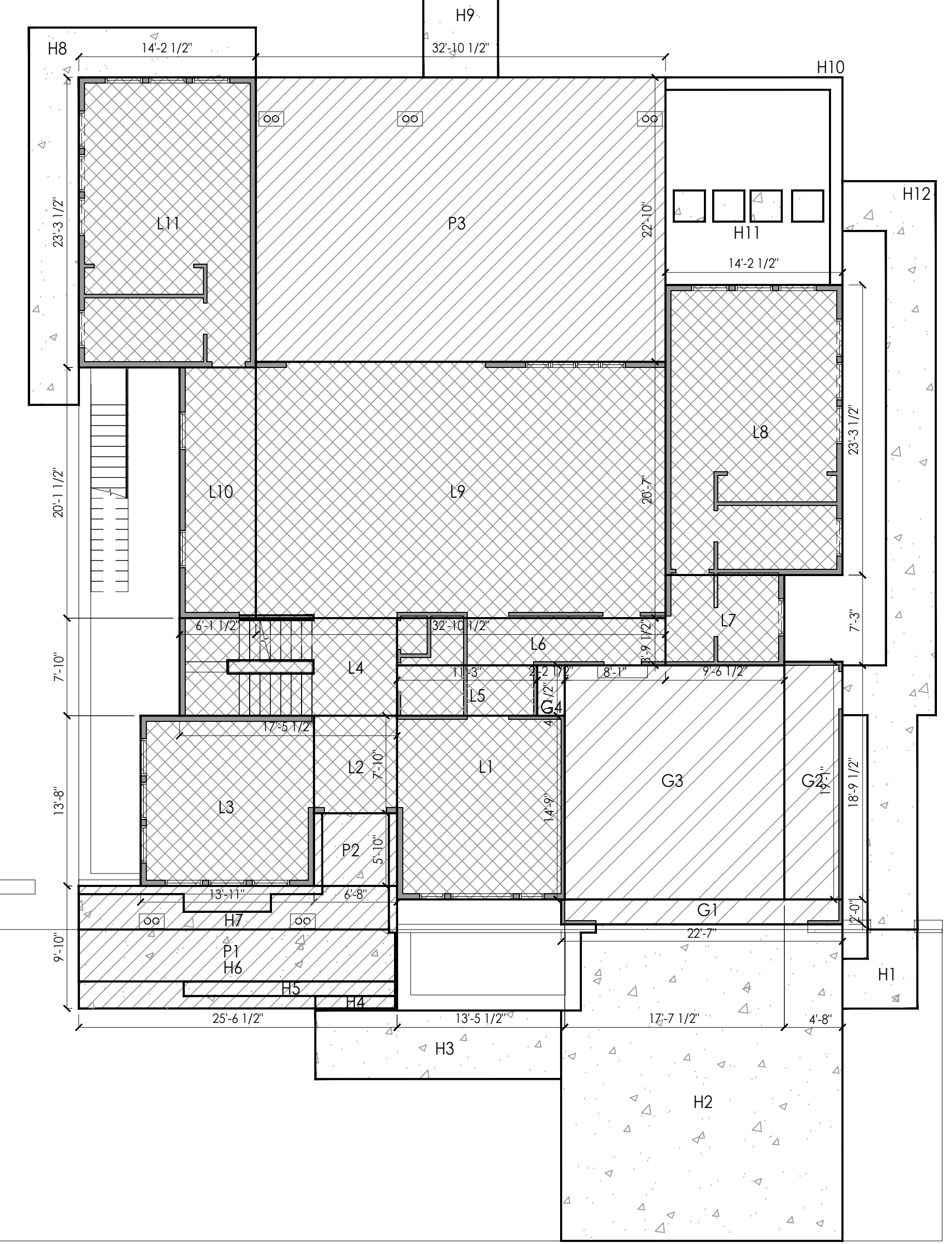
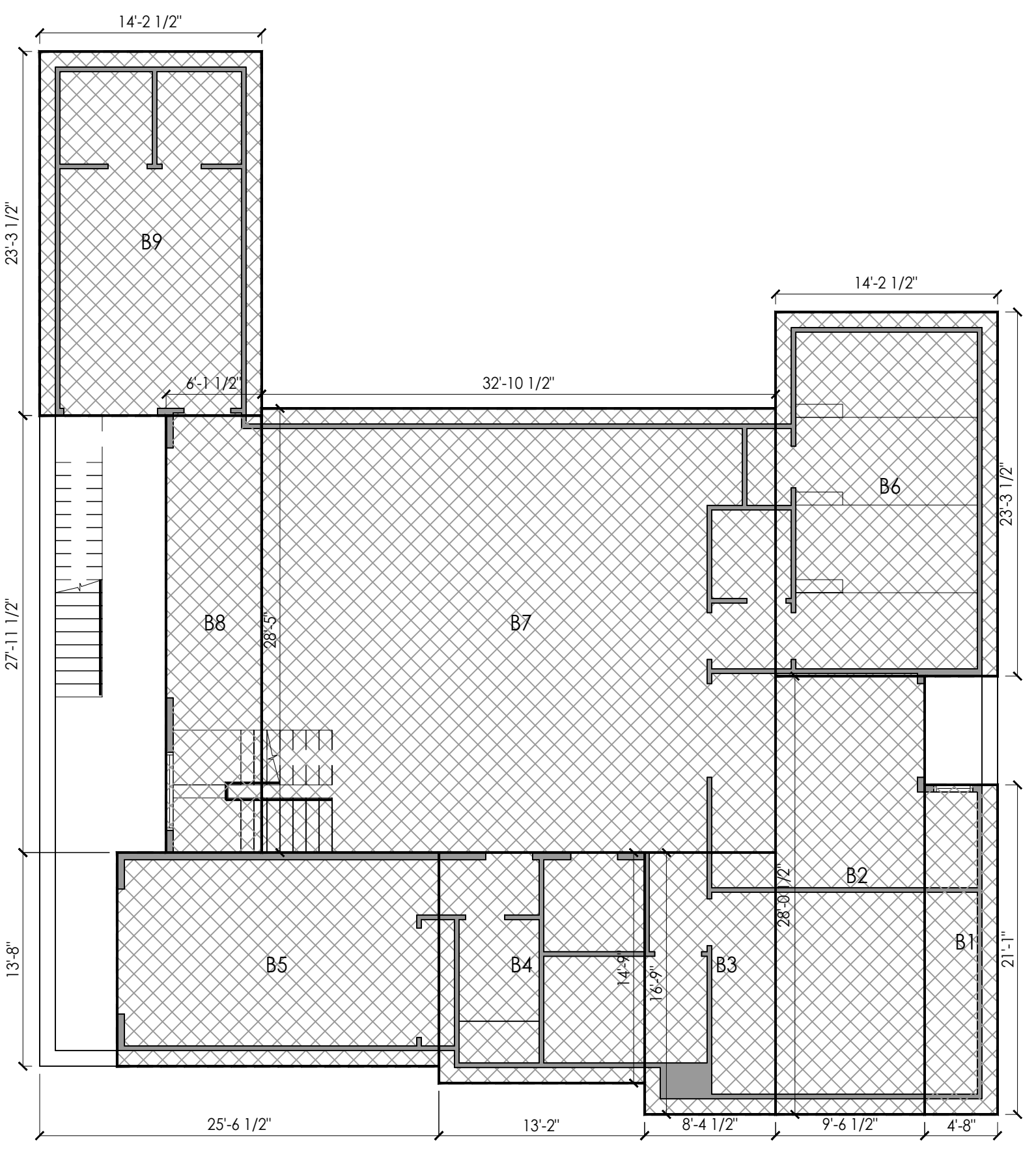
PROJECT NO.	DESCRIPTION	DATE	REVISION
17-008	PLANNING PERMIT SUBMITTAL	09.30.2017	IV
	PLANNING PERMIT RESUBMITTAL	12.04.2017	IV

COVER SHEET



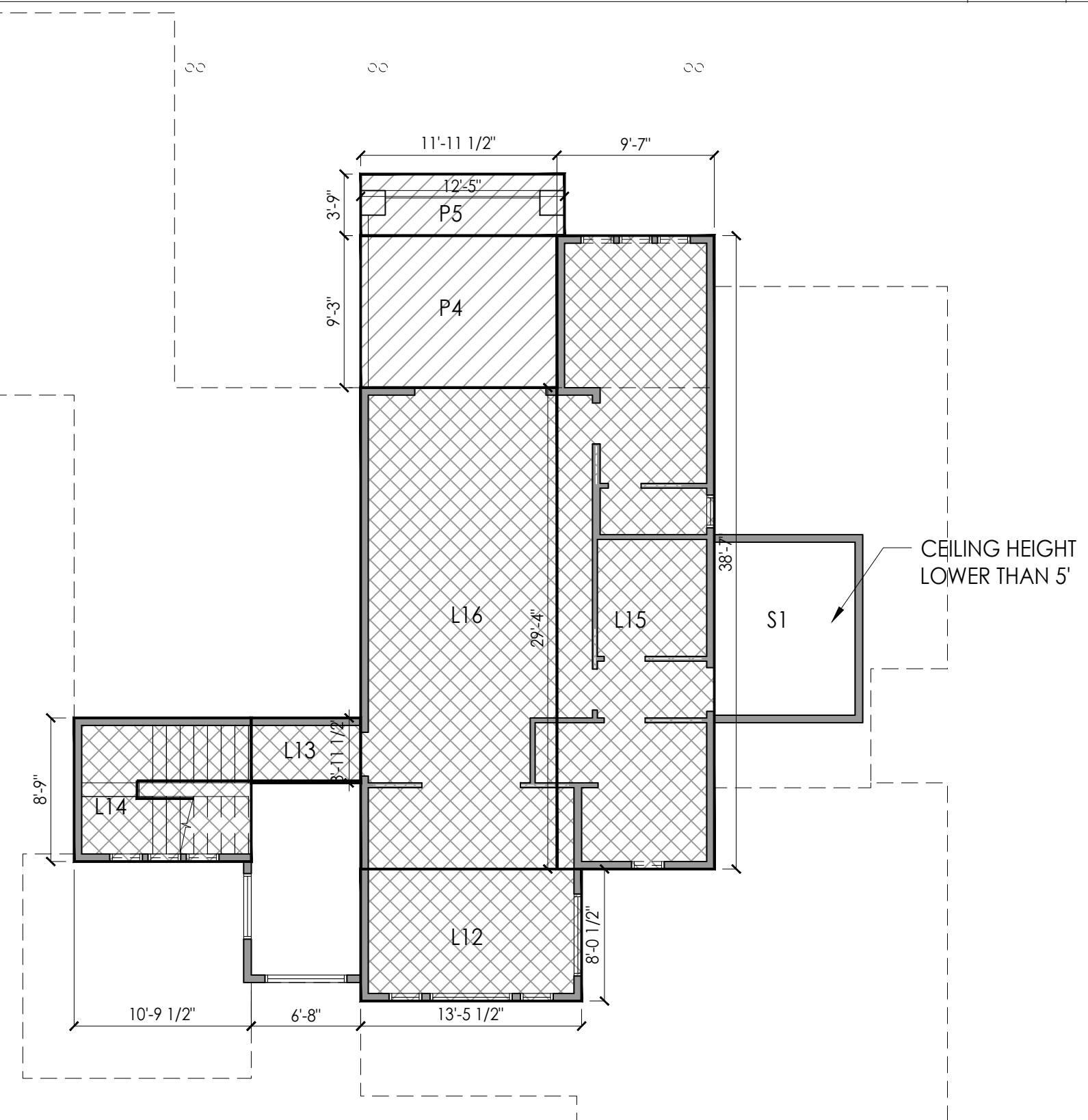
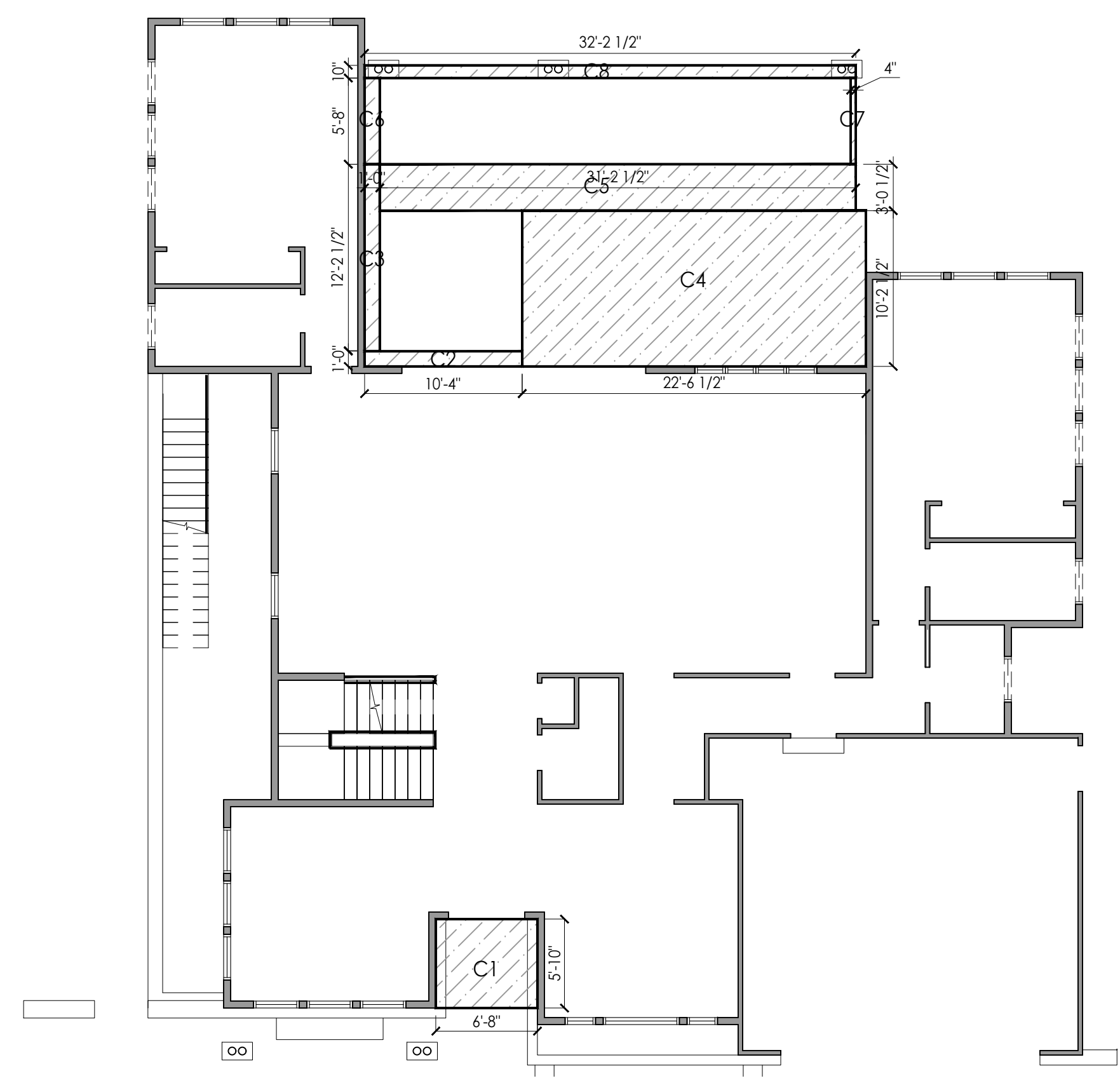
LOCATION MAP	SCOPE OF WORK	DEFERRED SUBMITTALS	SHEET INDEX	PROJECT TEAM																																																																																																
	<p>DEMOLISH AN EXISTING ONE STORY RESIDENCE AND REPLACE WITH A NEW 5934.6 S.F. TWO STORY SINGLE FAMILY RESIDENCE WITH BASEMENT WITH TOTALING 5 BEDROOMS, 5 BATHS, AND 2 POWDERS AND ATTACHED GARAGE AREA OF 474.4 S.F.</p>	<ol style="list-style-type: none"> <li>FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS--NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"</li> <li>STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL--NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D</li> </ol>	<p><b>GENERAL</b></p> <ul style="list-style-type: none"> <li>A0.0 COVER SHEET</li> <li>A0.2 FLOOR AREA CALCULATIONS</li> <li>A0.3a EXTERIOR PERSPECTIVES</li> <li>A0.3b EXTERIOR PERSPECTIVES</li> <li>A0.4 DAYLIGHT PLANE</li> <li>A0.5 STREETScape</li> <li>A0.6 NEIGHBORHOOD CONTEXT</li> </ul> <p><b>ARBORIST</b></p> <ul style="list-style-type: none"> <li>T-1 TREE PROTECTION PLAN</li> <li>T-2 TREE PROTECTION PLAN</li> </ul> <p><b>CIVIL</b></p> <ul style="list-style-type: none"> <li>C.0 TOPOGRAPHIC SURVEY</li> <li>C.1 GRADING &amp; DRAINAGE &amp; EROSION CONTROL PLAN DETAILS</li> <li>C.2</li> </ul> <p><b>ARCHITECTURAL</b></p> <ul style="list-style-type: none"> <li>A1.0 SITE PLAN &amp; DEMO SITE PLAN</li> <li>A2.1a BASEMENT</li> <li>A2.1b 1ST FLOOR PLAN</li> <li>A2.1c 2ND FLOOR PLAN</li> <li>A2.2a LOWER ROOF PLAN</li> <li>A2.2b UPPER ROOF PLAN</li> <li>A3.0 EXTERIOR ELEVATIONS</li> <li>A3.1 EXTERIOR ELEVATIONS</li> <li>A3.5 EXISTING ELEVATIONS</li> <li>A5.0 BUILDING SECTIONS</li> <li>A8.0 DETAILS</li> </ul> <p><b>LANDSCAPE</b></p> <ul style="list-style-type: none"> <li>L-1 LANDSCAPE CONCEPT</li> <li>L-2 PLANTING SELECTION</li> <li>L-3 LANDSCAPE IMAGERY</li> </ul>	<p><b>OWNER</b></p> <p>Shu Cao 1390 Holly Avenue Los Altos, CA email: caoshu@gmail.com</p> <p><b>ARCHITECT</b></p> <p>Studio S Squared Architecture, Inc. 1000 S Winchester Blvd San Jose, CA 95128 attn: Eugene H. Sakai, AIA, LEED AP ph: 408 998 0983 ; 408 404 0144 email: ESakai@StudioS2arch.com</p> <p><b>CIVIL ENGINEER</b></p> <p>WEC &amp; Associates attn: Ed Wu email: ed@weceng.com</p> <p><b>LANDSCAPE ARCHITECT</b></p> <p>T.H. Norton Landscape Architecture attn: Tom Norton ph: 925 849 6085 email: tom@thnorton.com</p> <p><b>ARBORIST</b></p> <p>Kevin Kielty Certified Arborist attn: Kevin Kielty ph: 650 515 9783 email: kkarbor0476@yahoo.com</p>																																																																																																
	<p><b>PROJECT SUMMARY</b></p> <table border="1"> <tr> <td>ASSESSOR'S PARCEL NO:</td> <td>193-42-033</td> </tr> <tr> <td>ZONING:</td> <td>R-1-10</td> </tr> <tr> <td>JURISDICTION:</td> <td>City of Los Altos</td> </tr> <tr> <td>TYPE OF CONSTRUCTION:</td> <td>TYPE V-B, SPRINKLERED (NFPA13D)</td> </tr> <tr> <td>BUILDING OCC. GROUPS:</td> <td>R-3/U (SINGLE FAMILY RESIDENTIAL)</td> </tr> </table> <p><b>LOT CALCULATIONS</b></p> <table border="1"> <tr> <td>NET LOT AREA:</td> <td>10,458.0</td> </tr> <tr> <td>FRONT YARD HARDSCAPE AREA:</td> <td>836.1</td> </tr> <tr> <td>TOTAL AREA AT FRONT YARD</td> <td>1,936.5</td> </tr> <tr> <td>HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%</td> <td>43.18%</td> </tr> <tr> <td><b>LANDSCAPING BREAKDOWN:</b></td> <td></td> </tr> <tr> <td>TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):</td> <td>4,908.20</td> </tr> <tr> <td>EXISTING SOFTSCAPE (UNDISTURBED) AREA:</td> <td>0.0</td> </tr> <tr> <td>NEW SOFTSCAPE AREA:</td> <td>5,549.8</td> </tr> <tr> <td>SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA</td> <td>10,458.00</td> </tr> </table> <p><b>ZONING COMPLIANCE</b></p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING (±)</th> <th>PROPOSED</th> <th>ALLOWED/REQUIRED</th> </tr> </thead> <tbody> <tr> <td><b>LOT COVERAGE:</b></td> <td></td> <td></td> <td></td> </tr> <tr> <td>LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT</td> <td>2,285.4 SQUARE FEET</td> <td>3,131.4 SQUARE FEET</td> <td>3,137.4 SQUARE FEET</td> </tr> <tr> <td></td> <td>22%</td> <td>29.94%</td> <td>30.00%</td> </tr> <tr> <td><b>FLOOR AREA:</b></td> <td></td> <td></td> <td></td> </tr> <tr> <td>MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS</td> <td>1,990.6 SQUARE FEET</td> <td>3,660.1 SQUARE FEET</td> <td>3,660.3 SQUARE FEET</td> </tr> <tr> <td></td> <td>19%</td> <td>35.00%</td> <td>35.00%</td> </tr> <tr> <td><b>SETBACKS:</b></td> <td></td> <td></td> <td></td> </tr> <tr> <td>FRONT (1ST/2ND)</td> <td>25'-0"</td> <td>25'-5"/33'-2 1/2"</td> <td>25'-0"/25'-0"</td> </tr> <tr> <td>REAR (1ST/2ND)</td> <td>49'-4 1/2"</td> <td>41'-7"/55'-2"</td> <td>25'-0"/25'-0"</td> </tr> <tr> <td>LEFT SIDE (1ST/2ND)</td> <td>9'-11 1/2"</td> <td>8'-2"/16'-3"</td> <td>7'-9" (10% LOT W)/15'-3"</td> </tr> <tr> <td>RIGHT SIDE (1ST/2ND)</td> <td>11'-1 1/2"</td> <td>8'-0"/22'-2 1/2"</td> <td>7'-9" (10% LOT W)/15'-3"</td> </tr> <tr> <td><b>HEIGHT:</b></td> <td>±14'-0"</td> <td>±25'-7"</td> <td>27'-0"</td> </tr> </tbody> </table> <p><b>SQUARE FOOTAGE BREAKDOWN</b></p> <table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>CHANGE IN</th> <th>TOTAL PROPOSED</th> </tr> </thead> <tbody> <tr> <td><b>HABITABLE LIVING AREA:</b></td> <td>1,521.6 SQUARE FEET</td> <td>4,413.0 SQUARE FEET</td> <td>5,934.6 SQUARE FEET</td> </tr> <tr> <td>INCLUDES HABITABLE BASEMENT AREAS</td> <td></td> <td></td> <td></td> </tr> <tr> <td><b>NON- HABITABLE AREA:</b></td> <td>469.0 SQUARE FEET</td> <td>5.4 SQUARE FEET</td> <td>474.4 SQUARE FEET</td> </tr> <tr> <td>DOES NOT INCLUDE COVERED PORCHES</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>				ASSESSOR'S PARCEL NO:	193-42-033	ZONING:	R-1-10	JURISDICTION:	City of Los Altos	TYPE OF CONSTRUCTION:	TYPE V-B, SPRINKLERED (NFPA13D)	BUILDING OCC. GROUPS:	R-3/U (SINGLE FAMILY RESIDENTIAL)	NET LOT AREA:	10,458.0	FRONT YARD HARDSCAPE AREA:	836.1	TOTAL AREA AT FRONT YARD	1,936.5	HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%	43.18%	<b>LANDSCAPING BREAKDOWN:</b>		TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	4,908.20	EXISTING SOFTSCAPE (UNDISTURBED) AREA:	0.0	NEW SOFTSCAPE AREA:	5,549.8	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA	10,458.00		EXISTING (±)	PROPOSED	ALLOWED/REQUIRED	<b>LOT COVERAGE:</b>				LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT	2,285.4 SQUARE FEET	3,131.4 SQUARE FEET	3,137.4 SQUARE FEET		22%	29.94%	30.00%	<b>FLOOR AREA:</b>				MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1,990.6 SQUARE FEET	3,660.1 SQUARE FEET	3,660.3 SQUARE FEET		19%	35.00%	35.00%	<b>SETBACKS:</b>				FRONT (1ST/2ND)	25'-0"	25'-5"/33'-2 1/2"	25'-0"/25'-0"	REAR (1ST/2ND)	49'-4 1/2"	41'-7"/55'-2"	25'-0"/25'-0"	LEFT SIDE (1ST/2ND)	9'-11 1/2"	8'-2"/16'-3"	7'-9" (10% LOT W)/15'-3"	RIGHT SIDE (1ST/2ND)	11'-1 1/2"	8'-0"/22'-2 1/2"	7'-9" (10% LOT W)/15'-3"	<b>HEIGHT:</b>	±14'-0"	±25'-7"	27'-0"		EXISTING	CHANGE IN	TOTAL PROPOSED	<b>HABITABLE LIVING AREA:</b>	1,521.6 SQUARE FEET	4,413.0 SQUARE FEET	5,934.6 SQUARE FEET	INCLUDES HABITABLE BASEMENT AREAS				<b>NON- HABITABLE AREA:</b>	469.0 SQUARE FEET	5.4 SQUARE FEET	474.4 SQUARE FEET
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<p><b>ASSESSOR'S PARCEL MAP</b></p>	<p><b>DEFERRED SUBMITTALS</b></p> <p>THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:</p> <ol style="list-style-type: none"> <li>WINDOW/DOOR PACKAGE</li> <li>CABINET SHOP DRAWINGS AND FINISH SAMPLES</li> <li>MECHANICAL DUCTING PLAN</li> <li>STAIR AND RAIL SHOP DRAWINGS</li> <li>MISC. STEEL SHOP DRAWINGS</li> </ol> <p>NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.</p> <p><b>REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE</b></p> <ol style="list-style-type: none"> <li>LICENSE NUMBER</li> <li>INSURANCE AND WORKER'S COMP POLICIES</li> <li>CONSTRUCTION STAGING PLAN</li> <li>CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2</li> </ol> <p><b>APPLICABLE CODES</b></p> <p>APPLICABLE CODES (with City of Los Altos Amendments)</p> <ul style="list-style-type: none"> <li>2016 CALIFORNIA ADMINISTRATIVE CODE, CAC</li> <li>2016 CALIFORNIA BUILDING CODE, CBC</li> <li>2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC</li> <li>2016 CALIFORNIA MECHANICAL CODE, CMC</li> <li>2016 CALIFORNIA PLUMBING CODE, CPC</li> <li>2016 CALIFORNIA ENERGY CODE, CEnc</li> <li>2016 CALIFORNIA HISTORICAL CODE, CEC</li> <li>2016 CALIFORNIA FIRE CODE, CFC</li> <li>2016 CALIFORNIA EXISTING BUILDING CODE</li> <li>2016 CALIFORNIA GREEN BUILDING STANDARDS</li> <li>2016 CALIFORNIA REFERENCED STANDARDS</li> </ul>																																																																																																			





1 2 4 8 12 feet **BASEMENT FLOOR AREA** 1/8" 1

1 2 4 8 12 feet **1ST FLOOR AREA** 1/8" 2



1 2 4 8 12 feet **COVERED PORCH AREA** 1/8" 4

1 2 4 8 12 feet **2ND FLOOR AREA** 1/8" 3

Tabulation--CAO-SHU Residence

Section	Dimensions(X x Y)	Area (#f)
<b>New First Floor Living Area</b>		
L1	13'-5 1/2" x 14'-9"	198.5
L2	6'-8" x 7'-10"	52.2
L3	13'-11" x 13'-8"	190.2
L4	17'-5 1/2" x 7'-10"	136.8
L5	11'-3" x 4'-0 1/2"	45.5
L6	21'-6 1/2" x 3'-9 1/2"	81.7
L7	9'-6 1/2" x 7'-3"	69.2
L8	14'-2 1/2" x 23'-3 1/2"	330.9
L9	32'-10 1/2" x 20'-7"	676.8
L10	6'-1 1/2" x 20'-1 1/2"	123.2
L11	14'-2 1/2" x 23'-3 1/2"	330.9
<b>FL Total</b>		<b>2,235.9</b>

<b>New Second Floor Living Area</b>		
L12	13'-5 1/2" x 8'-0 1/2"	108.2
L13	6'-8" x 3'-11 1/2"	26.4
L14	10'-9 1/2" x 8'-9"	94.4
L15	9'-7" x 38'-7"	370.0
L16	11'-1 1/2" x 29'-4"	350.8
<b>SL Total</b>		<b>949.8</b>

<b>New Garage Area</b>		
G1	22'-7" x 2'-0"	45.2
G2	4'-8" x 19'-1"	89.1
G3	17'-7 1/2" x 18'-9 1/2"	331.2
G4	2'-2 1/2" x 4'-0 1/2"	8.9
<b>G Total</b>		<b>474.4</b>

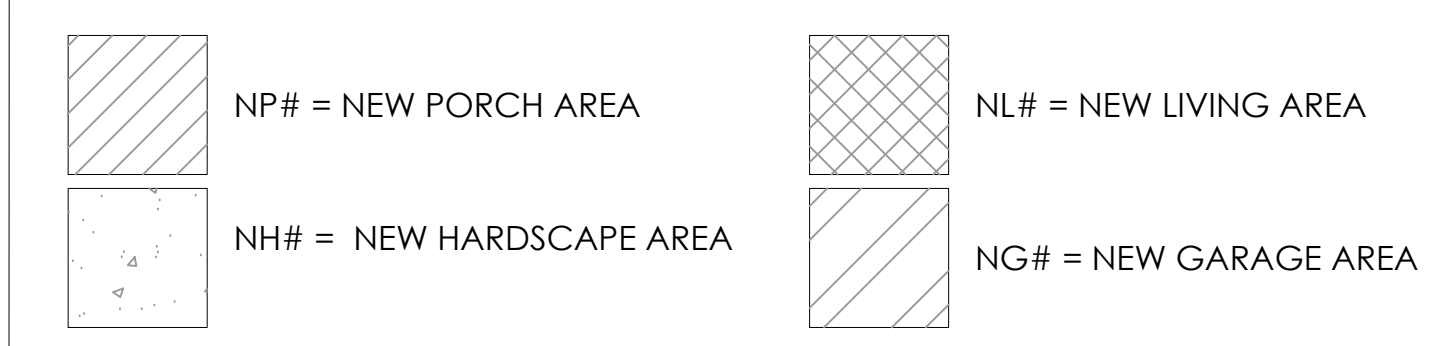
<b>New Porch/Patio/Balcony Area</b>		
P1	25'-6 1/2" x 9'-10"	251.3
P2	6'-8" x 5'-10"	38.9
P3	32'-10 1/2" x 22'-10"	750.8
P4	11'-11 1/2" x 9'-3"	110.8
P5	12'-5" x 3'-9"	46.6
<b>P Total</b>		<b>1,198.4</b>

<b>Basement Area (Not Counting Towards FAR)</b>		
B1	4'-8" x 21'-1"	98.4
B2	9'-6 1/2" x 28'-0 1/2"	267.5
B3	8'-4 1/2" x 16'-9"	140.3
B4	13'-2" x 14'-9"	194.2
B5	25'-6 1/2" x 13'-8"	281.3
B6	14'-2 1/2" x 23'-3 1/2"	330.9
B7	32'-10 1/2" x 28'-5"	934.3
B8	6'-1 1/2" x 27'-11 1/2"	171.1
B9	14'-2 1/2" x 23'-3 1/2"	330.9
<b>B Total</b>		<b>2,748.9</b>

<b>New Covered Porch Area</b>		
C1	6'-8" x 5'-10"	38.9
C2	10'-4" x 1'-0"	10.3
C3	1'-0" x 12'-2 1/2"	12.3
C4	22'-6 1/2" x 10'-2 1/2"	230.3
C5	31'-2 1/2" x 3'-0 1/2"	95.0
C6	1'-0" x 5'-8"	5.6
C7	0'-4" x 5'-8"	1.9
C8	32'-2 1/2" x 0'-10"	26.8
<b>C Total</b>		<b>421.1</b>

<b>New Hardscape Area</b>		
H1		33.4
H2		562.2
H3		108.5
H4		6.4
H5		19.8
H6		105.8
H7		95.6
H8		178.0
H9		198.5
H10		29.9
H11		25.0
H12		268.2
<b>H Total</b>		<b>1,631.3</b>

LA	Lot Area	10,458.0
NL=B+FL+SL	Total New Living Area	5,934.6
G	Total New Garage Area	474.4
L=FL+SL	Total 1st and 2nd Floor Living Area	3,185.7
FAR=L+G	Total New Residence Floor Area Ratio Max.	3,660.1
FAR/LA	FAR Percentage	35.00% <35% (OK)
LC=FL+G+C	Lot Coverage Max.	3,137.4
LC/LA	Proposed Lot Coverage	3,131.4
NH=H+P-P4-P5	Lot Coverage Percentage	29.9% <30% (OK)
TH=NH+FL	New Hardscape Area	2,672.3
FS	Total Hardscape Area	4,908.2
SH=(H1:H6)	Front Yard Setback Area	1,936.5
R=SH/FS	Front Yard Hardscape Area Ratio	836.1
		43.2% <50% (OK)



**FLOOR AREA LEGEND**



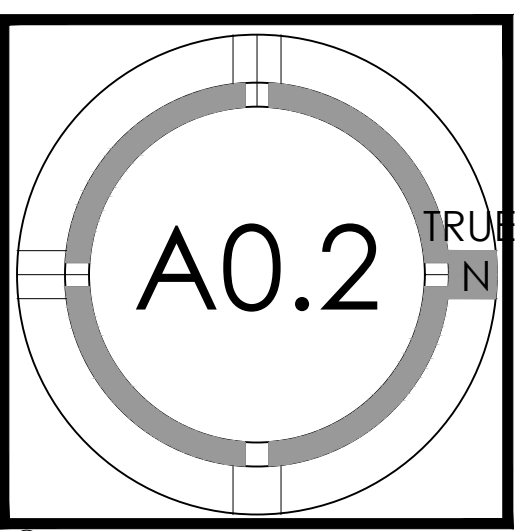
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**FLOOR AREA CALCULATIONS**







PERSPECTIVE EXTERIOR FRONT ENTRY - 4



PERSPECTIVE EXTERIOR FRONT RIGHT - 1



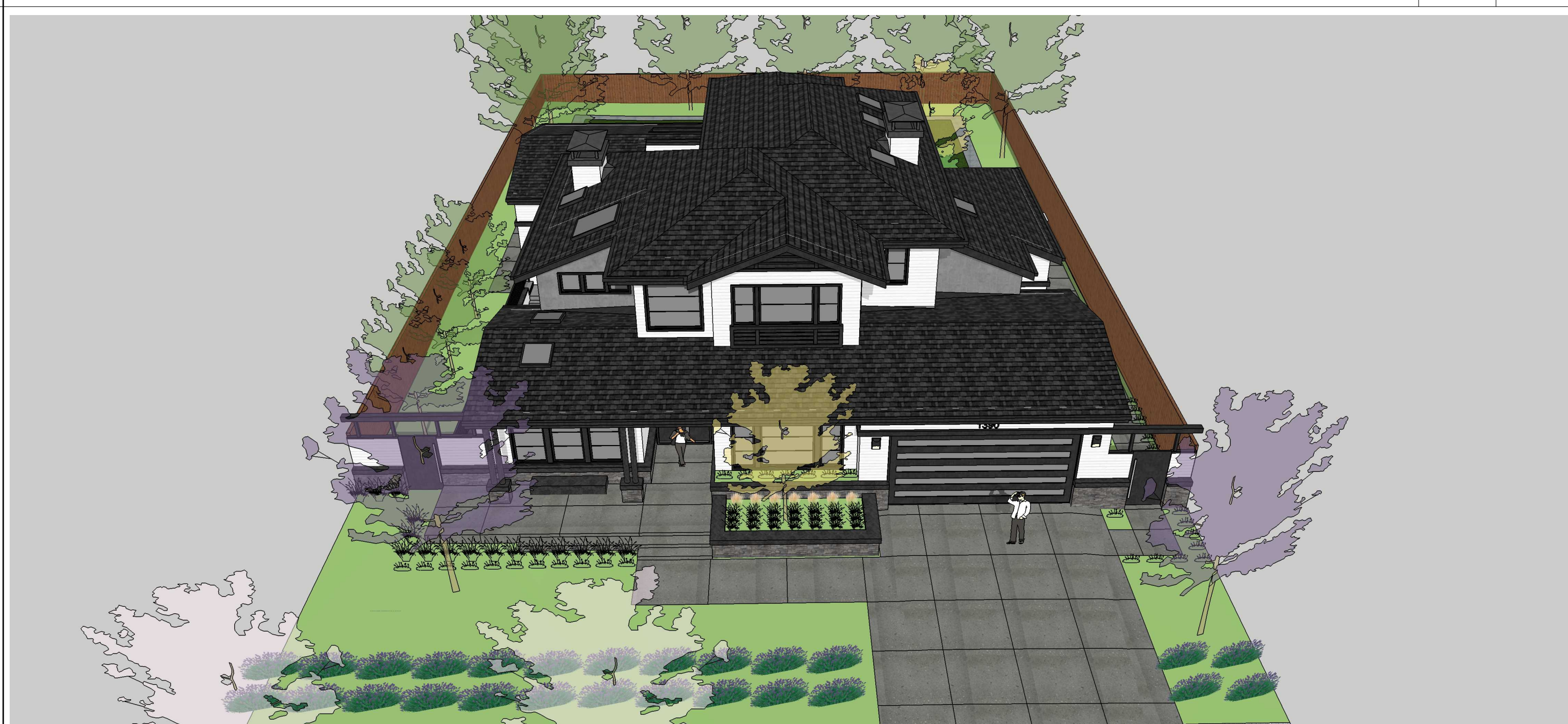
PERSPECTIVE EXTERIOR RIGHT SIDE - 5



PERSPECTIVE EXTERIOR FRONT LEFT - 2



PERSPECTIVE EXTERIOR LEFT SIDE - 6



PERSPECTIVE EXTERIOR FRONT HIGH - 3



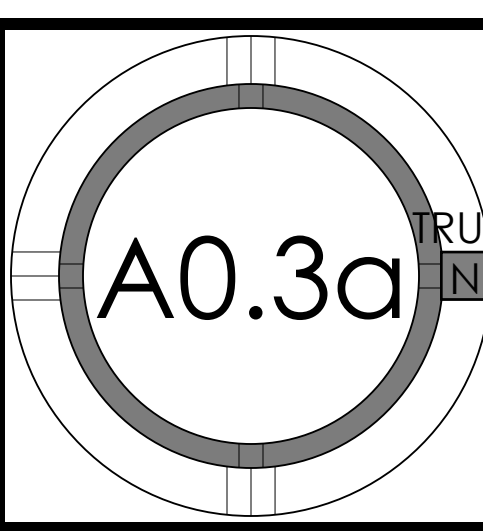
STUDIO 5 SQUARED  
ARCHITECTURE  
1000 S. Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983  
F : (408) 404 - 0144

CAO RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1390 HOLLY AVENUE, LOS ALTOS, CA  
CAO SHU



PROJECT NO.	REGION	DATE	DESCRIPTION	DRAWN BY
17-008		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

EXTERIOR  
PERSPECTIVES



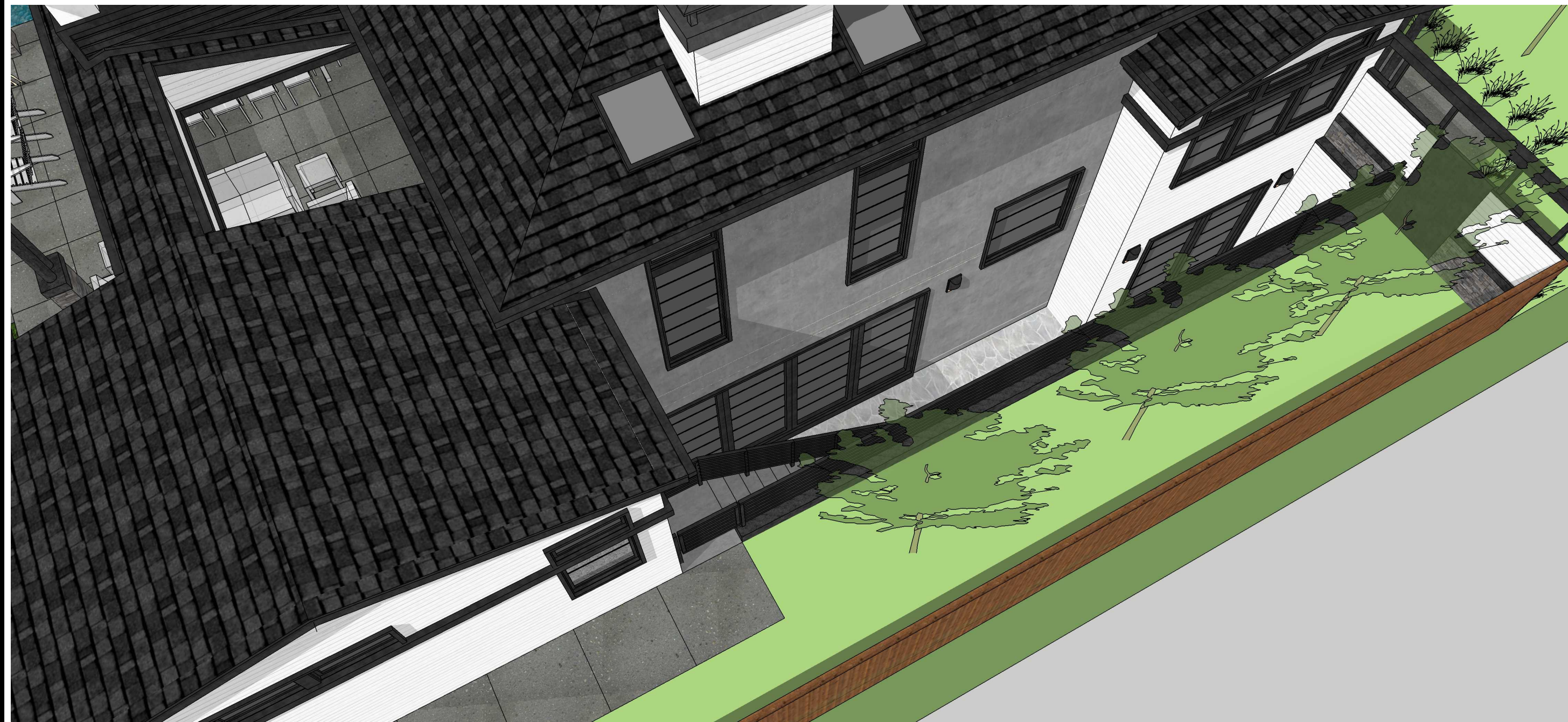




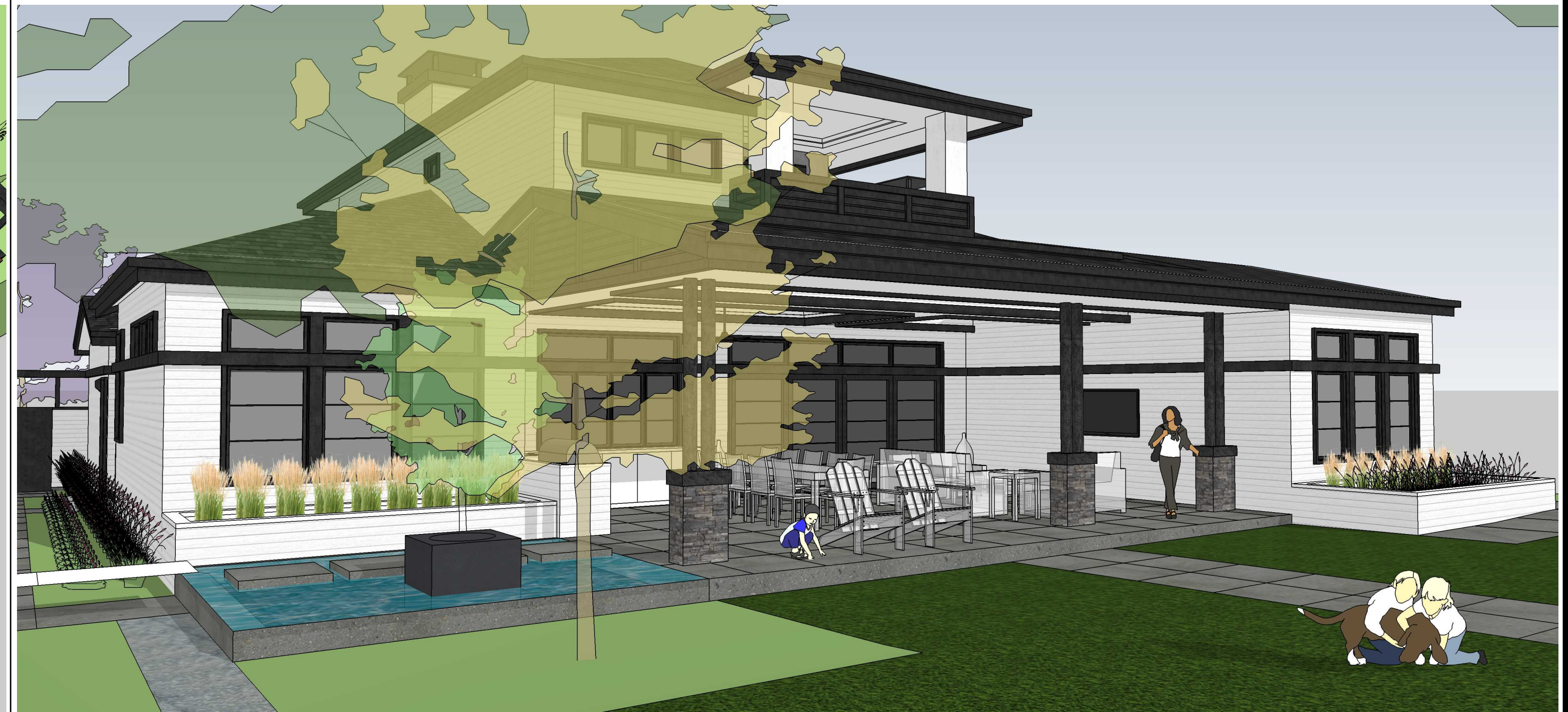
PERSPECTIVE EXTERIOR REAR PATIO - 4



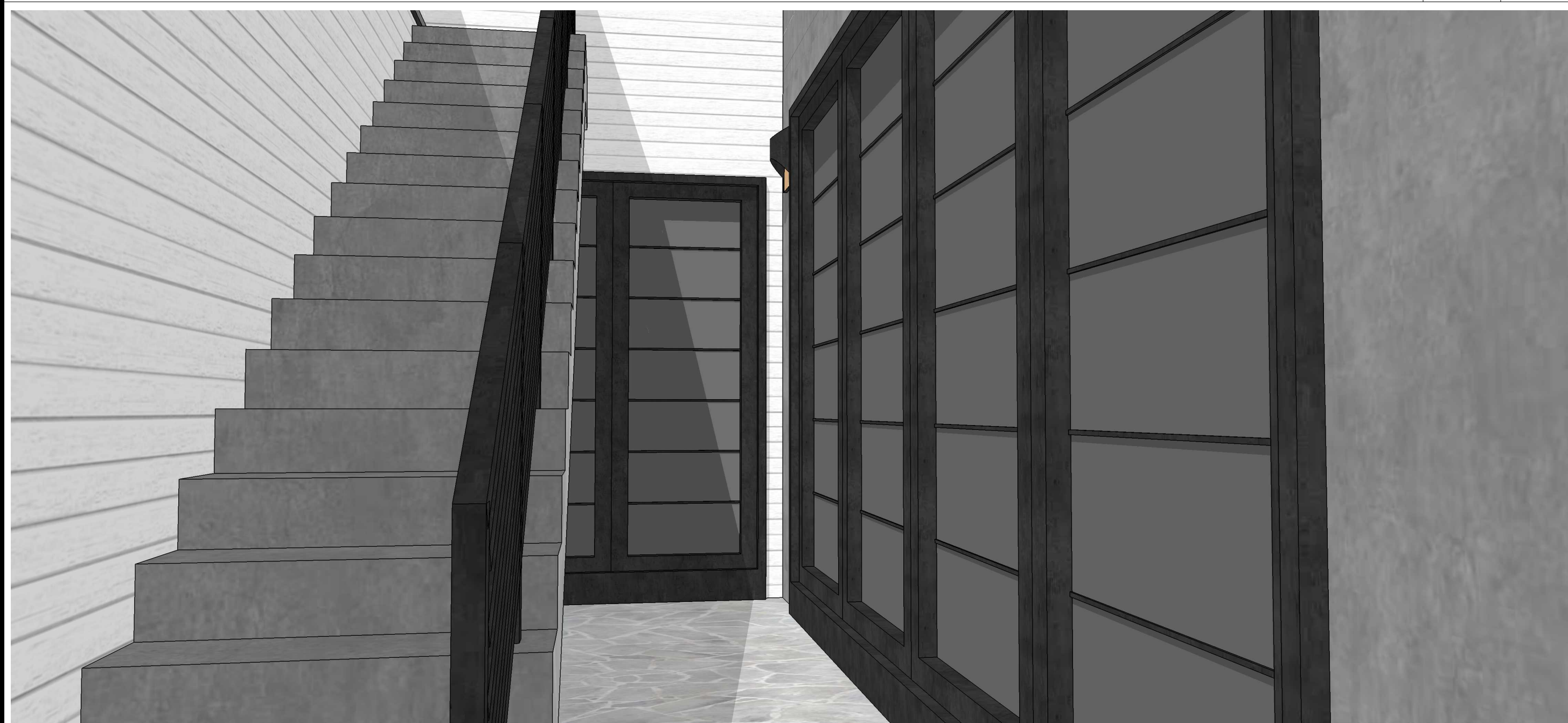
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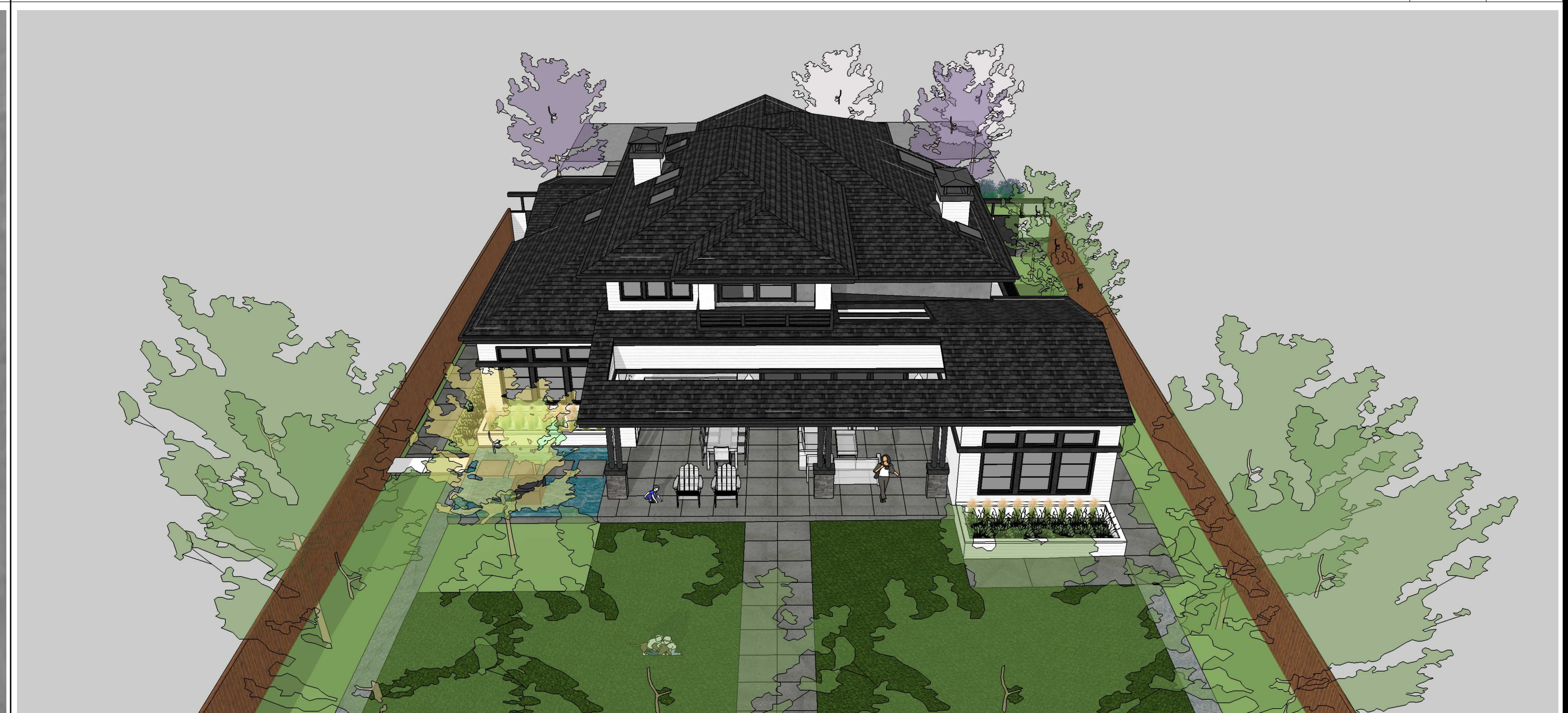
PERSPECTIVE EXTERIOR LIGHTWELL HIGH - 5



PERSPECTIVE EXTERIOR REAR RIGHT - 2



PERSPECTIVE EXTERIOR LIGHTWELL - CLOSE - 6



PERSPECTIVE EXTERIOR REAR HIGH - 3



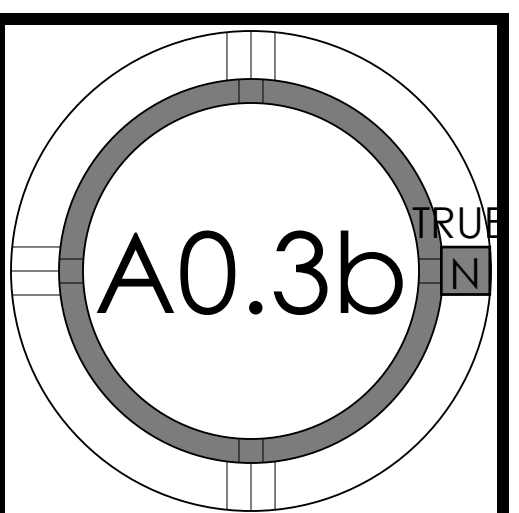
STUDIO 5 SQUARED  
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CAO RESIDENCE  
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CAO SHU

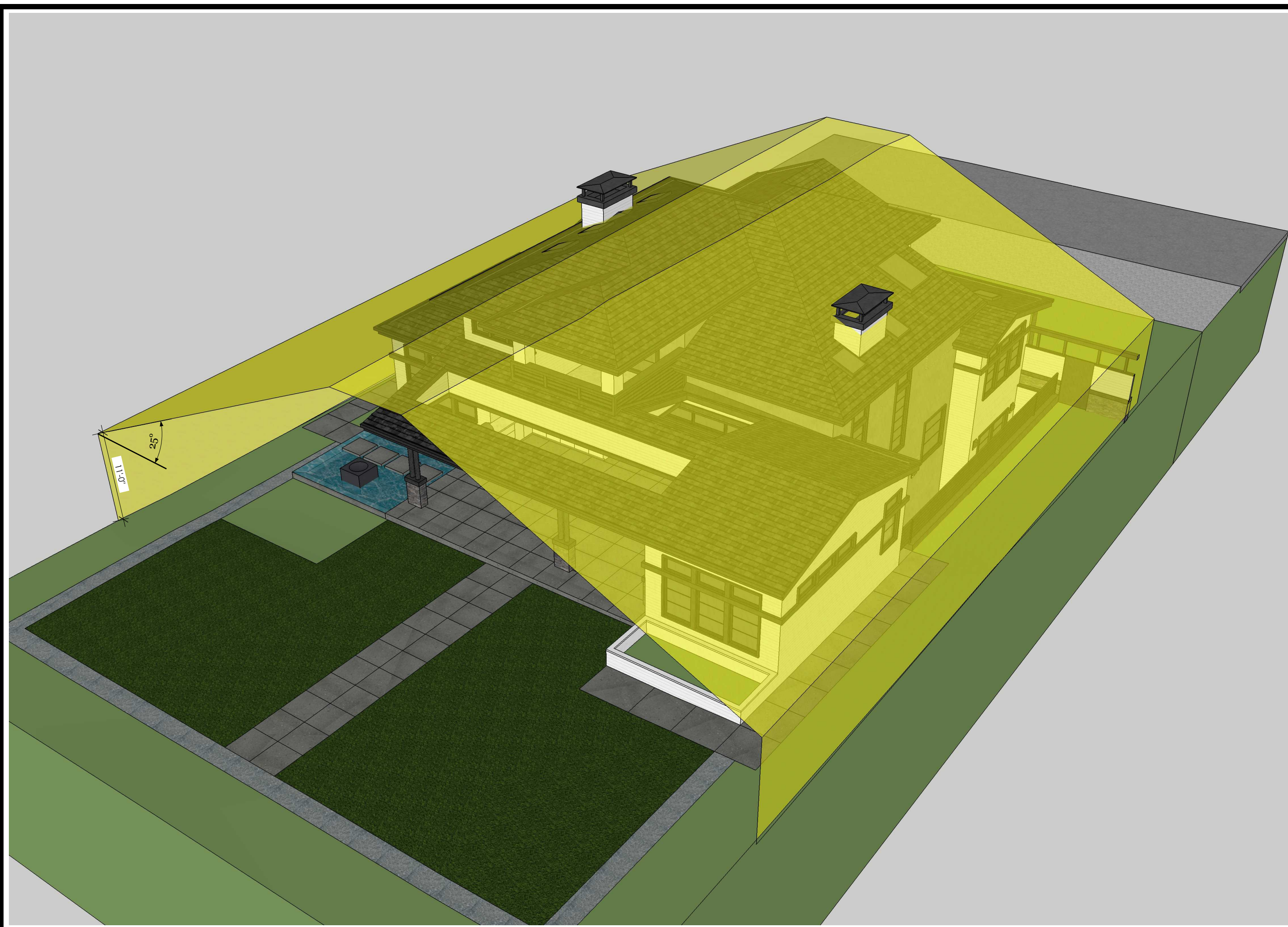


PROJECT NO.	17-008
REGION	
DATE	09.30.2017
DATE	12.04.2017
DESCRIPTION	PLANNING PERMIT SUBMITTAL
DESCRIPTION	PLANNING PERMIT RESUBMITTAL
DRAWN BY	IV
DRAWN BY	IV

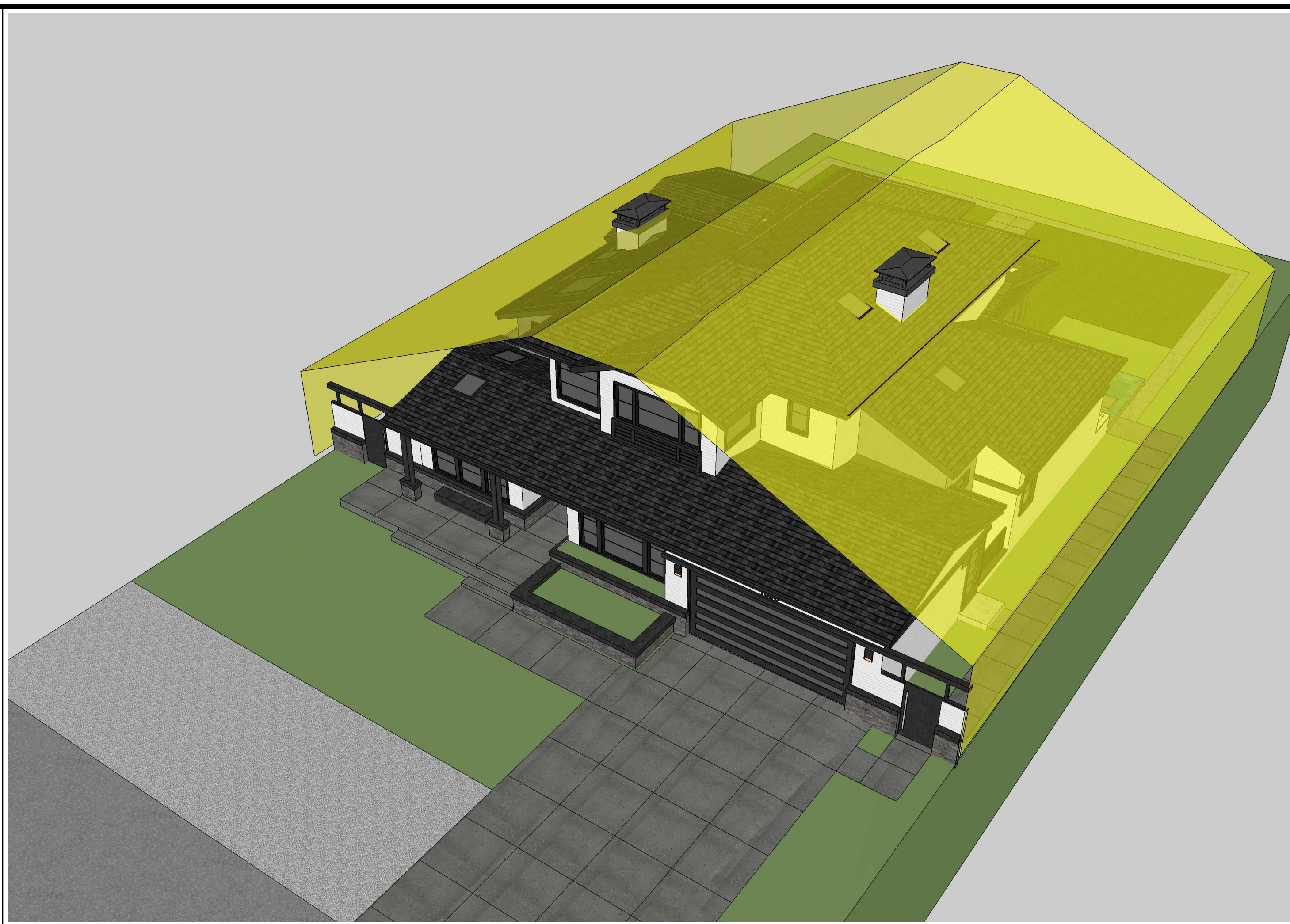
EXTERIOR  
PERSPECTIVES



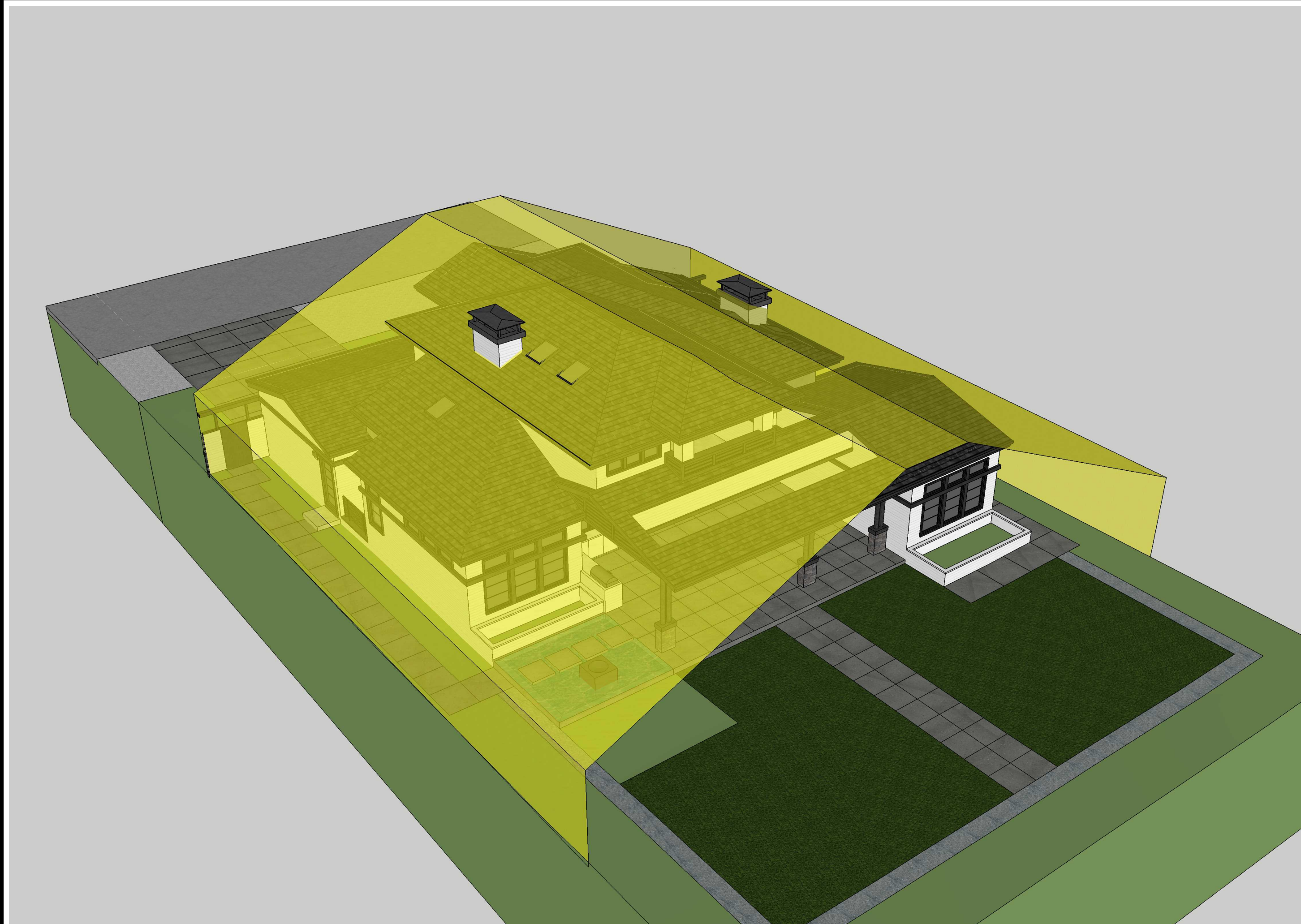




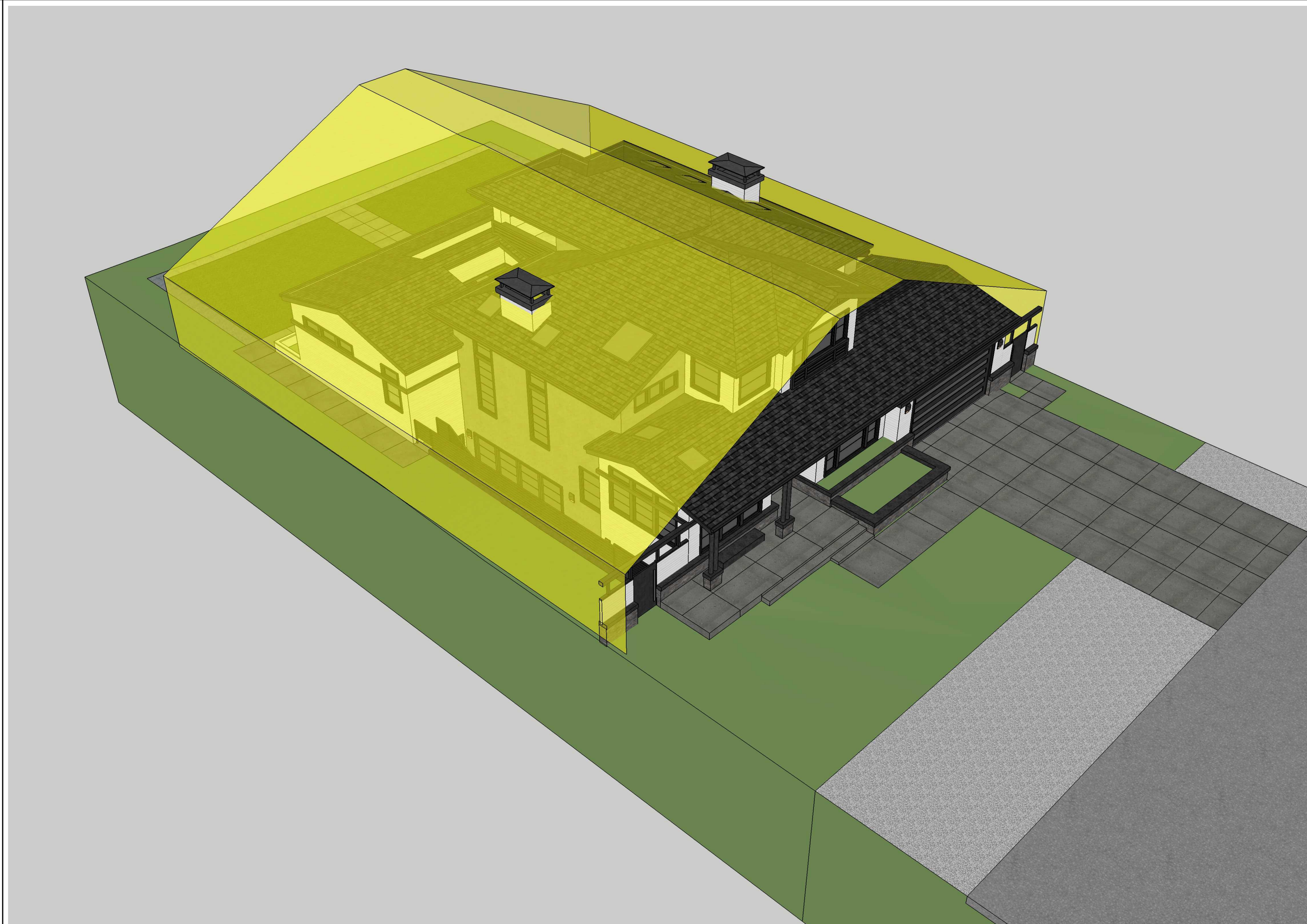
REAR LEFT HIGH VIEW - 3



FRONT RIGHT HIGH VIEW - 1



REAR RIGHT HIGH VIEW - 4



FRONT LEFT HIGH VIEW - 2



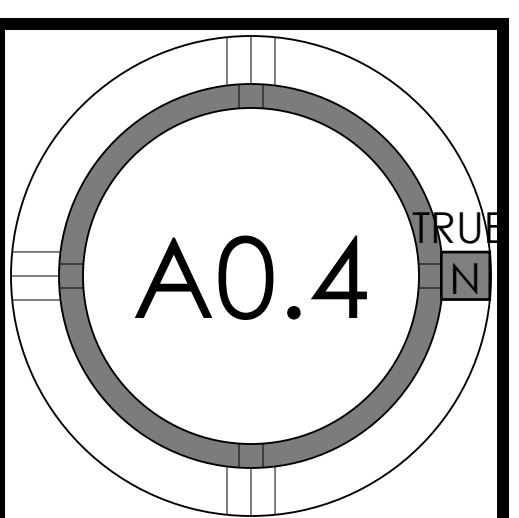
STUDIO S SQUARED  
ARCHITECTURE  
1000 S. Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983  
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CAO RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1390 HOLLY ANEVEUE, LOS ALTOS, CA  
CAO SHU



PROJECT NO.	REGION	DATE	DESCRIPTION	DRAWN BY
17-008		09.30.2017	PLANNING PERMIT SUBMITTAL	IV
		12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

DAYLIGHT  
PLANE







1385 MCKENZIE STREET



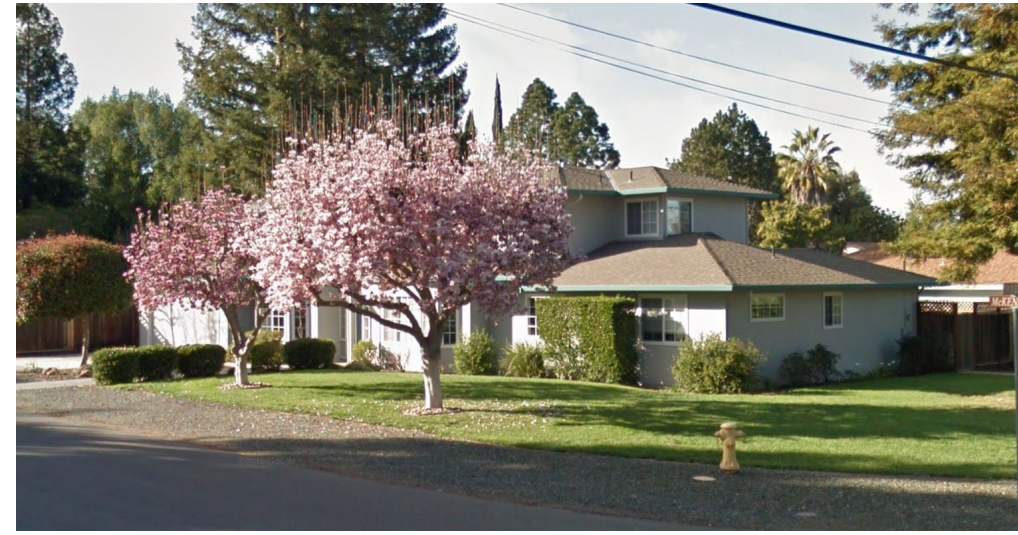
1375 MCKENZIE STREET



1637 MCKENZIE STREET



1400 HOLLY AVENUE - CORNER WITH MCKENZIE STREET



1395 MCKENZIE STREET - CORNER WITH HOLLY AVENUE



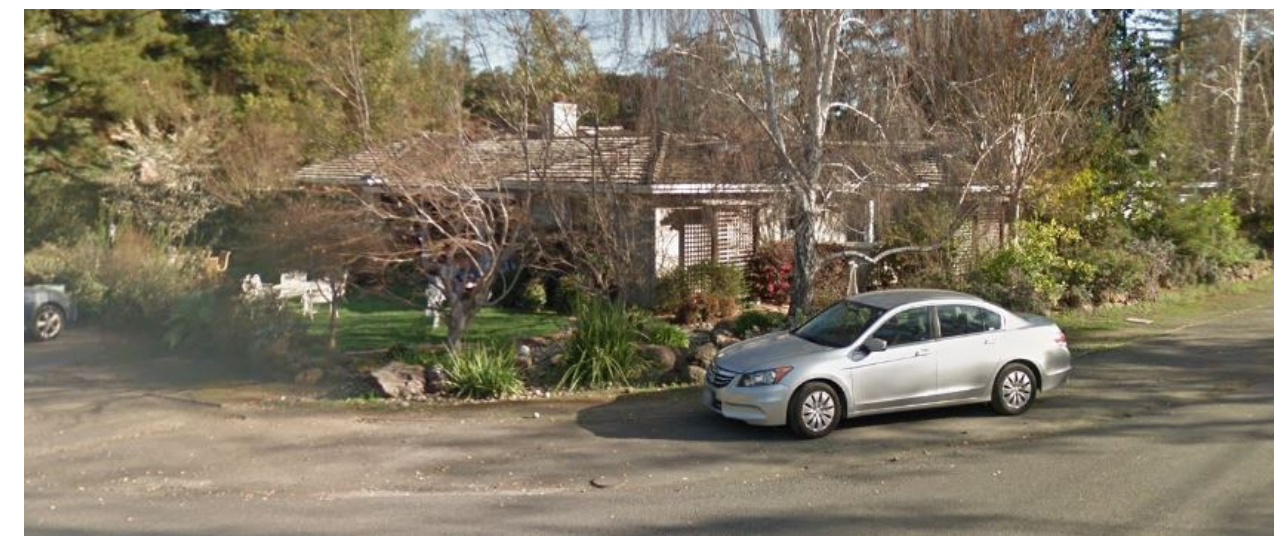
1390 HOLLY AVENUE - SUBJECT PROPERTY



1380 HOLLY AVENUE



1370 HOLLY AVENUE



1400 MCKENZIE STREET - CORNER WITH HOLLY AVENUE



1405 MCKENZIE STREET - CORNER WITH HOLLY AVENUE



1375 HOLLY AVENUE - SUBJECT PROPERTY



1365 HOLLY AVENUE - SUBJECT PROPERTY



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F : (408) 404 - 0144

CAO RESIDENCE  
NEW SINGLE FAMILY RESIDENCE

1390 HOLLY AVENUE, LOS ALTOS, CA

CAO SHU



STREETSCAPE IMAGES - 1

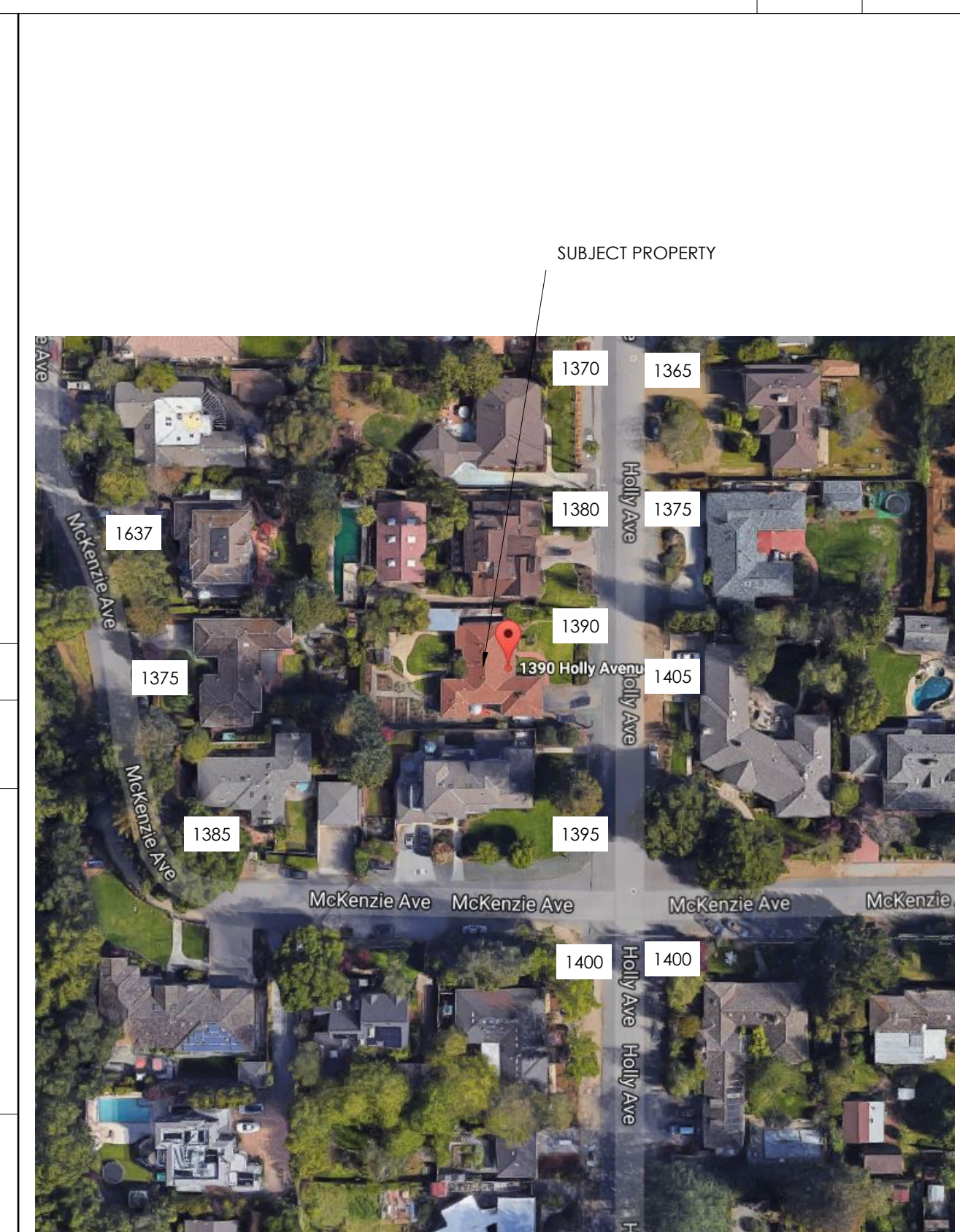


1395 MCKENZIE STREET - CORNER WITH HOLLY AVENUE

1390 HOLLY AVENUE SUBJECT PROPERTY

1380 HOLLY AVENUE

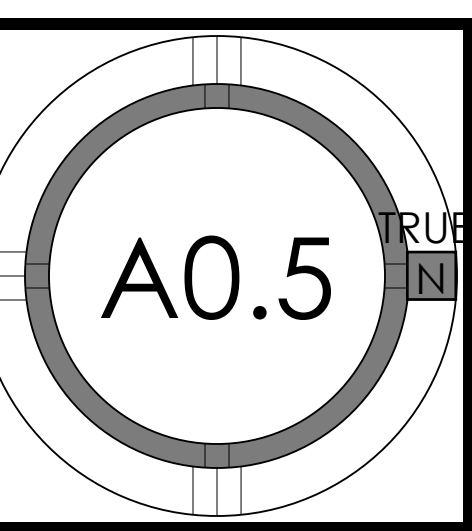
STREETSCAPE ELEVATION 1/8" 3



NEIGHBORS - 2

PROJECT NO.	REGION	DATE	DESCRIPTION	DRAWN BY
17-208		09-30-2017	PLANNING PERMIT SUBMITTAL	IV
		12-04-2017	PLANNING PERMIT RESUBMITTAL	IV

STREETSCAPE







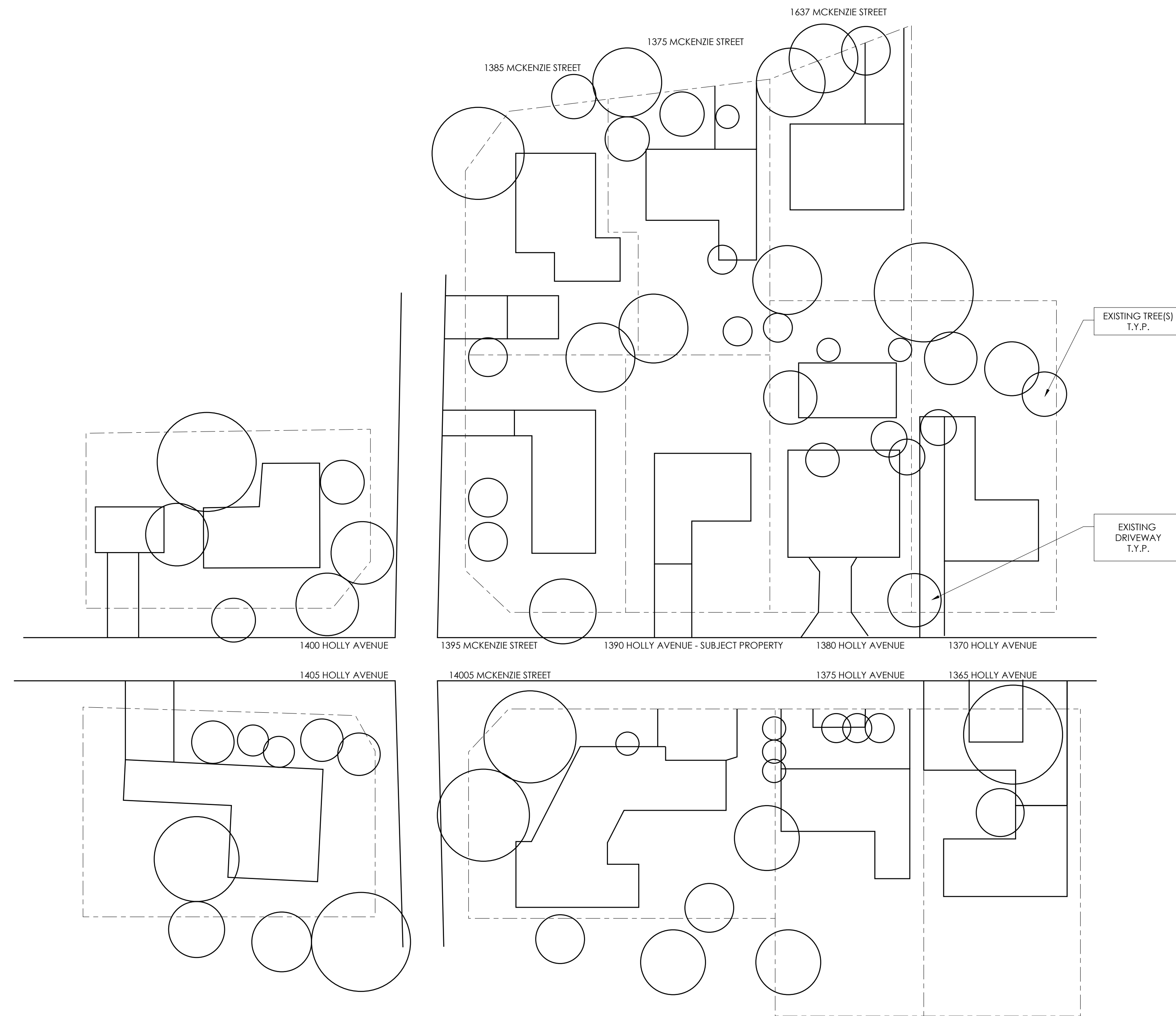
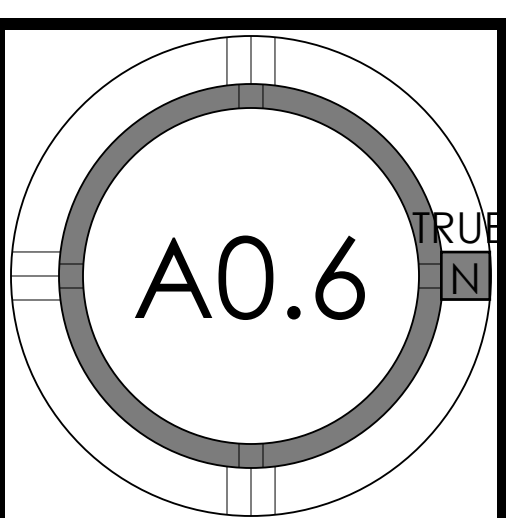
1000 S. Winchester Blvd  
 San Jose, CA 95128  
 P : (408) 998 - 0983  
 F : (408) 404 - 0144

**CAO RESIDENCE**  
 NEW SINGLE FAMILY RESIDENCE  
 1390 HOLLY AVENUE, LOS ALTOS, CA  
 CAO SHU



PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
17-208	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

NEIGHBORHOOD  
 CONTEXT



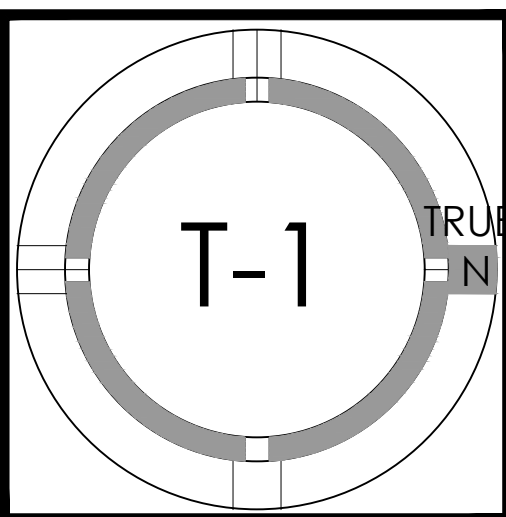
NOTE: OUTLINES OF THE NEIGHBORHOOD STRUCTURES, DRIVEWAYS AND TREES ARE DRAWN USING GOOGLE MAPS VIEWS

48 16 48  
 feet



PROJECT NO.	REVISION	DATE	DESCRIPTION
17-008			DRAWN BY
		09.30.2017	PLANNING PERMIT SUBMITTAL
		12.04.2017	PLANNING PERMIT RESUBMITTAL
			IV
			IV

TREE PROTECTION PLAN



# City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at [www.cityofpaloalto.org/trees/](http://www.cityofpaloalto.org/trees/).

### TREE DISCLOSURE STATEMENT

**CITY OF PALO ALTO**  
Planning Division, 250 Hamilton Avenue  
Palo Alto, CA 94301  
(650) 329-2441  
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

**PROPERTY ADDRESS: 1390 HOLLY AVENUE, LOS ALTOS, CA**

Are there Regulated trees on or adjacent to the property?  YES  NO (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

On the property  
 On adjacent property overhanging the project site  
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)\*

\*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees?  YES (Check where applicable)  NO

Protected Tree (s)  
 Designated Tree (s)  
 On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees?  YES  NO

If Yes, a Tree Protection Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, Tree Protection, as Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements\*\* completed?  YES  NO

\*\*Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area out to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/tree-forms.htm> (See also TTM, Section 2.15 for areas to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: \_\_\_\_\_ Print: \_\_\_\_\_ Date: 10/11/2017  
(Prop. Owner or Agent)

**FOR STAFF USE:**

Protective Fencing  
Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees.  YES  NO  
(NA if there are no protected trees, check here )

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached.  YES  NO  
(NA if there are no street trees, check here )

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees are trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.

Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\Draw\Arborist\Tree Protection Info\Tree Disclosure Statement Revised 08/06

**City of Palo Alto**  
250 Hamilton Avenue, Palo Alto, CA 94301

Search:  Advanced

Home > Planning & Community Environment

### Tree Technical Manual

To purchase the Tree Technical Manual

June, 2001 First Edition

View by section:

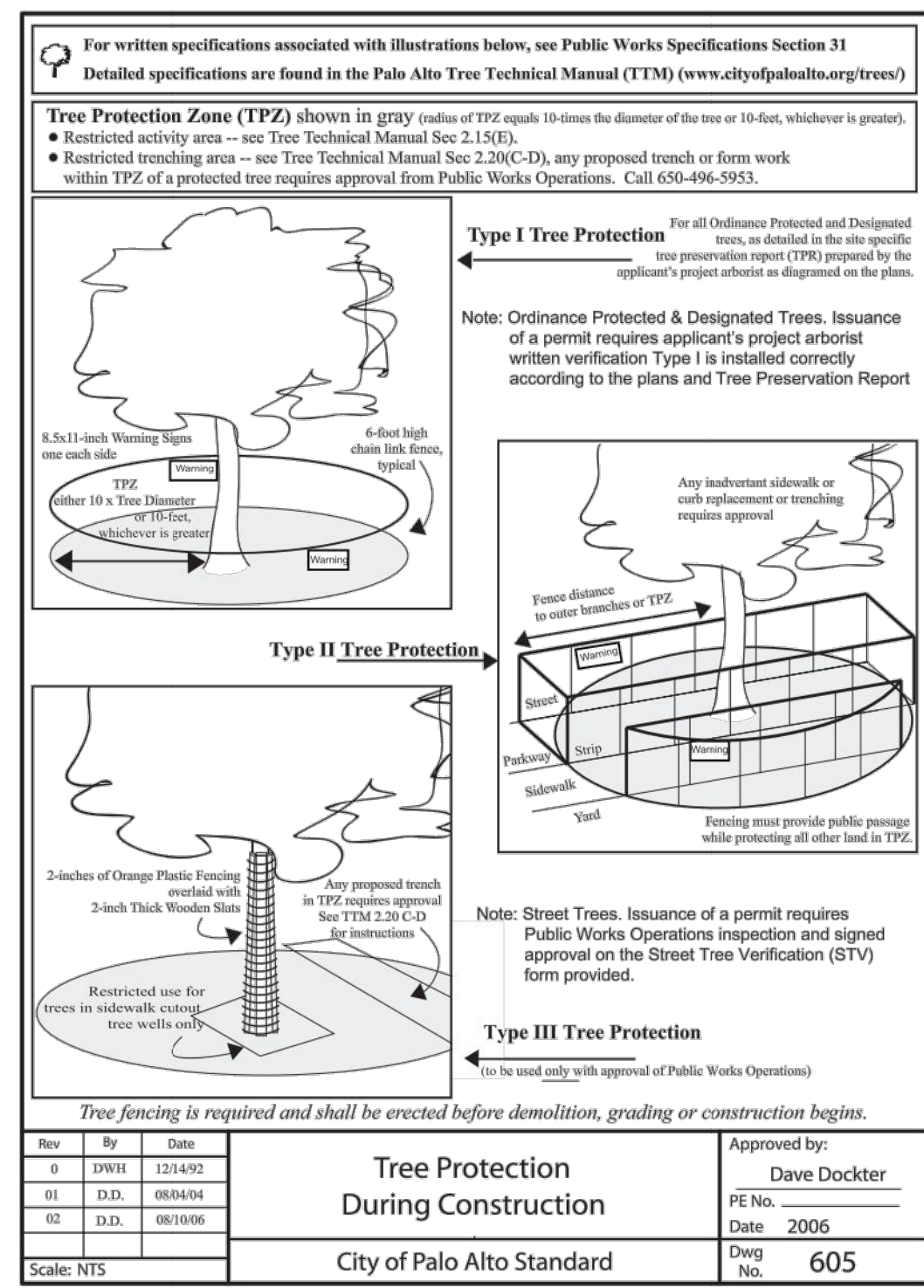
- Table of Contents (PDF, 67KB)
- Intent and Purpose (PDF, 1.05MB)
- Introduction - Use of Manual (PDF, 1.09MB)
- Section 3.0 - Definitions (PDF, 96KB)
- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 105KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 64KB)

View ALL sections:

- Tree Technical Manual - Full (PDF, 1.84MB)

**APPENDICES**

- A. Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations
- B. Tree City - USA
- C. ISA Hazard Evaluation Form
- D. List of Inherent Failure Patterns for Selected Species (Reference source)
- E. ISA Tree Pruning Guidelines (PDF, 1.89MB)
- F. Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)
- G. Pruning Performance Standards, ANSI A300-1995 (Reference source)
- H. Tree Planting Details, Diagram 504 & 505
- I. Tree Disclosure Statement
- J. Palo Alto Standard Tree Protection Instructions



### APPENDIX J PALO ALTO STREET TREE PROTECTION INSTRUCTIONS -SECTION 31-

31-1 General

a. Tree protection has three primary functions: 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail #05 - Illustration of situations described below.

b. Tree Technical Manual (TTM) Forms (<http://www.cityofpaloalto.org/trees/>)

- Trenching Restriction Zones (TTM, Section 2.20(C))
- Arborist Reporting Protocol (TTM, Section 6.31)
- Site Plan Requirements (TTM, Section 6.25)
- Tree Disclosure Statement (TTM, Appendix J)
- Street Tree Verification (STV) Form (<http://www.cityofpaloalto.org/tree-forms.htm>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require the use of the City Arborist.

d. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be installed on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet or no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning Signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

31-4 During construction

- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04(D) of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
  - No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
  - The ground under and around the tree canopy area shall not be altered.
  - Trees to be retained shall be irrigated, weeded and maintained as necessary to ensure survival.

END OF SECTION  
City of Palo Alto 2004 Standard Drawings and Specifications  
Street Tree Verification of Protection, PWL Section 31  
Revised 08/06

### Table 2-2 Palo Alto Tree Technical Manual

#### CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at [www.cityofpaloalto.org/environment/](http://www.cityofpaloalto.org/environment/)

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report Form with a photograph verifying that he has conducted a field inspection of the tree and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39)
- Pre-Construction Meeting. Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6992).
- Inspection of Rough Grading or Trenching. Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections. The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report Form shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17)
- Special activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection. For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

Approved by: Dave Dockter  
FE No. \_\_\_\_\_  
Date: 2006  
Drop No. 605

### City of Palo Alto Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 94303 650-496-5953 FAX: 650-493-0289 treeprotection@CityOfPaloAlto.org

#### Verification of Street Tree Protection

Applicant Instructions: Complete upper portion of this form. Mail or FAX this form along with signed Tree Disclosure Statement to Public Works Dept. Public Works Tree Staff will inspect and notify applicant.

APPLICATION DATE: \_\_\_\_\_

ADDRESS/LOCATION OF STREET TREES TO BE PROTECTED: \_\_\_\_\_

APPLICANT'S NAME: \_\_\_\_\_

APPLICANT'S ADDRESS: \_\_\_\_\_

APPLICANT'S TELEPHONE & FAX NUMBERS: \_\_\_\_\_

This section to be filled out by City Tree Staff

1. The Street Trees at the above address(es) are adequately protected. The type of protection used is: \_\_\_\_\_

\* If NO, go to #2 below

Inspected by: \_\_\_\_\_

Date of inspection: \_\_\_\_\_

2. The Street Trees at the above address are NOT adequately protected. The following modifications are required: \_\_\_\_\_

Indicate how the required modifications were communicated to the applicant: \_\_\_\_\_

Subsequent inspection

Street trees at above address were found to be adequately protected:  YES  NO

\* If NO, indicate in "Notes" below the disposition of case.

Inspected by: \_\_\_\_\_

Date of inspection: \_\_\_\_\_

Notes: List City street trees by species, site, condition and type of tree protection installed. Also note if pictures were taken. Use back of sheet if necessary.

Return approved sheet to Applicant for demolition or building permit issuance.  
S:\PW\GIS\Tree\SS\TreeProtect

City of Palo Alto Tree Technical Manual ADDENDUM 11

#### Arborist Firm Data Here

Contractor: \_\_\_\_\_ #1 Job site superintendent  
Main Site Contact Information: Company: \_\_\_\_\_, Email: \_\_\_\_\_, Job site: \_\_\_\_\_, Office: \_\_\_\_\_, Cell: \_\_\_\_\_, Mail: \_\_\_\_\_  
Also present: \_\_\_\_\_

Inspection Date: \_\_\_\_\_ Site address: \_\_\_\_\_  
Inspection #: \_\_\_\_\_ Palo Alto, CA

Distribution: 1. City of Palo Alto, 2. Others

Attn: Dave Dockter  
Dave.dockter@cityofpaloalto.org  
650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
  - Pre-construction meeting requirement with sub-contractors
  - Inspect to verify that tree protection measures are in place
  - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
  - Tree Protection Fences (TPF) are: \_\_\_\_\_
  - Trenching has/will occur: \_\_\_\_\_
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
  - Tree Protection Fence (TPF) needs adjusting (tree #, x, y)
  - Root zone buffer material (wood chips) can be installed next
  - Schedule sewer trench, foundation dig work: \_\_\_\_\_
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,  
Project site arborist  
Consultant contact information (Include email, cell#, and mailing)  
Cc: \_\_\_\_\_

Enter Date: \_\_\_\_\_ CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

### ---WARNING---

## Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day\*

\*Palo Alto Municipal Code Section 8.10.110

City of Palo Alto Tree Protection Instructions are located at <http://www.city-palo-alto.ca.us/trees/technical-manual.html>

**SPECIAL INSPECTIONS PLANNING DEPARTMENT**

TREE PROTECTION INSPECTIONS MANDATORY

PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE.

BUILDING PERMIT DATE: \_\_\_\_\_

DATE OF 1<sup>ST</sup> TREE ACTIVITY REPORT: \_\_\_\_\_

CITY STAFF: \_\_\_\_\_

REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.090. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.

Apply Tree Protection Report on sheet(s) T-2

Use additional "T" sheets as needed

T-1

All other tree-related reports shall be added to the space provided on this sheet (adding as needed). Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet  
City of Palo Alto

T-1



# City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at [www.cityofpaloalto.org/trees/](http://www.cityofpaloalto.org/trees/).

**Kielty Arborist Services LLC**  
Certified Arborist WE#0476A  
P.O. Box 6187  
San Mateo, CA 94403  
650-515-9783

October 10, 2017

Studio S. Squared Architecture, Inc.  
Attn: Cao Shu  
1000 S. Winchester Blvd.  
San Jose, CA 95128

Site: 1390 Holly Avenue, Los Altos, CA

As requested on Monday, October 9, 2017, I visited the above site to inspect and comment on the trees. New home construction is proposed for this site and your concern as to the future health and safety of the trees on site has prompted this visit.

**Method:**  
All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on a to scale map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. The trees condition ratings are based on 50 percent vitality and 50 percent form, using the following scale.

- 1 - 29 Very Poor
- 30 - 49 Poor
- 50 - 69 Fair
- 70 - 89 Good
- 90 - 100 Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

1390 Holly/10/10/17 (2)

**Survey:**

Tree#	Species	DBH	CON	HT/SP	Comments
1	Apricot ( <i>Prunus armeniaca</i> )	11.6	40	5/20	Poor vigor, fair form, in decline, brown rot.
2*	Fig ( <i>Ficus carica</i> )	8est	50	20/20	Fair vigor, poor form, shared tree. Ivy on trunk.
3	Fruitless mulberry ( <i>Morus alba</i> )	18.9	45	30/35	Good vigor, poor form, pollarded, decay on trunk.
4*	Redwood ( <i>Sequoia sempervirens</i> )	40est	75	70/35	Good vigor, good form, 15 feet from property line corner.
5*	Redwood ( <i>Sequoia sempervirens</i> )	38est	70	70/35	Good vigor, good for, 5 feet from property line corner.
6	Black walnut ( <i>Juglans californica</i> )	26.1	65	30/40	Good vigor, fair form, heavily topped in past.
7	Avocado ( <i>Persea americana</i> )	12.7	50	25/35	Good vigor, poor-fair form, growing through fence.
8	Black walnut ( <i>Juglans californica</i> )	24.1	40	20/25	Fair vigor, poor form, heavily topped and headed, decay.

**Summary:**

The trees on and off the site are a mix of native walnuts and non-native trees. Several of the trees on the site have been poorly maintained and should be removed. Walnut #8 and fruitless mulberry #3 have been heavily topped and are decayed.

Walnut #6 and avocado #7 are in the rear corner of the property and can be retained. Redwoods #4 and #5 are near the southern corner of the property and should not be affected. Apricot #1 is in poor condition and should be removed. The following tree protection plan should be followed for any retained trees.

**Tree Protection Plan:**

Tree protection zones should be established and maintained throughout the entire length of the project. Fencing for the protection zones should be 6-foot-tall metal chain link type supported by 2-inch diameter metal poles pounded into the ground to a depth of no less than 2 feet. The support poles should be spaced no more than 10 feet apart on center. The location for the protection fencing should be placed at 10X the trees diameter where possible.

1390 Holly/10/10/17 (3)

Where not possible tree protection should be placed as close as possible to the proposed work while still allowing room for construction to safely continue. Signs should be placed on fencing signifying "Tree Protection Zone - Keep Out". No materials or equipment should be stored or cleaned inside the tree protection zones. Areas outside the fencing but still beneath the dripline of protected trees, where foot traffic is expected to be heavy, should be mulched with 4 to 6 inches of chipper chips. The following tree protection distances should be followed throughout the entire length of the project:

**Root Cutting**

Any roots to be cut should be monitored and documented. Large roots or large masses of roots to be cut should be inspected by the site arborist. The site arborist may recommend irrigation at that time. Cut all roots clean with a saw or loppers. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist by spraying the burlap multiple times a day.

**Trenching and Excavation**

Trenching for irrigation, electrical, drainage or any other reason, should be hand dug when beneath the dripline of desired trees. Hand digging and careful placement of pipes below or beside protected roots will dramatically reduce root loss, thus reducing trauma to desired trees. Trenches should be back filled as soon as possible using native materials and compacted to near original levels. Trenches to be left open with exposed roots shall be covered with burlap and kept moist. Plywood laid over the trench will help to protect roots below. The site arborist will be on site during any excavation within the driplines of protected trees.

**Irrigation**

Normal irrigation should be maintained throughout the entire length of the project. Irrigation should consist of surface flooding, with enough water to wet the entire root zone. If the root zone is traumatized this type of irrigation should be carried out two times per month during the warm dry season.

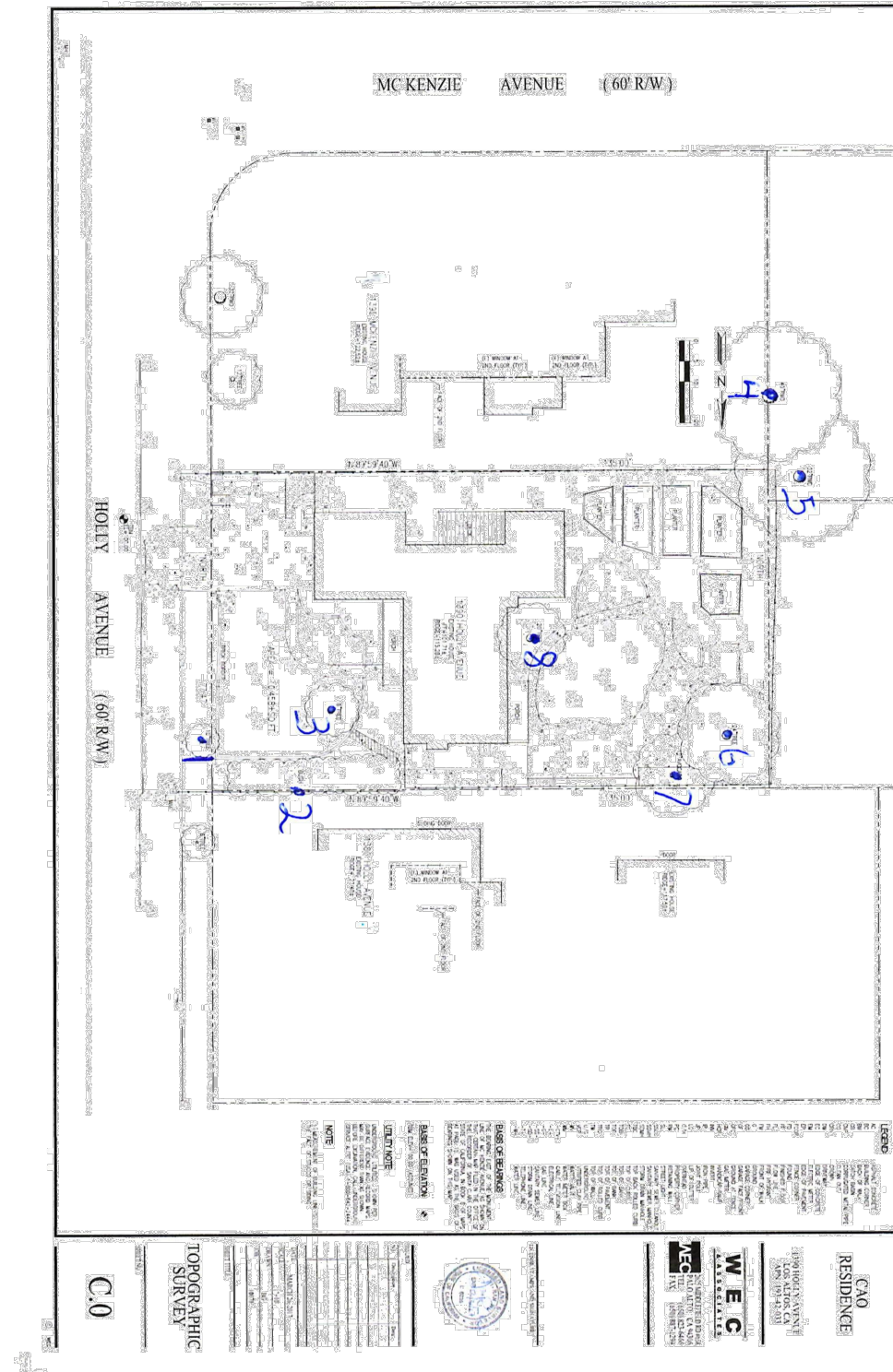
The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,

Kevin R. Kielty  
Certified Arborist WE#0476A

David P. Beckham  
Certified Arborist WE#10724A

Apply Tree Protection Report on sheet(s) T-2  
Use additional "T" sheets as needed



Project  
Data

T-2



All other tree-related reports shall be added to the space provided on this sheet (adding as needed). Include this sheet(s) on Project Sheet Index or Legend Page. A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet  
City of Palo Alto



T-2



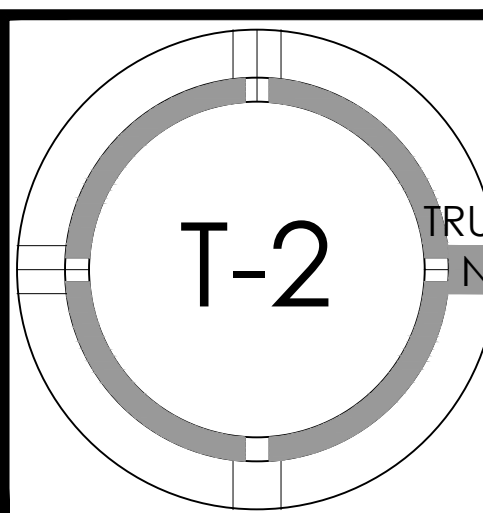
1000 S Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983  
F : (408) 404 - 0144

CAO RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1390 HOLLY AVENUE, LOS ALTOS, CA  
CAO SHU



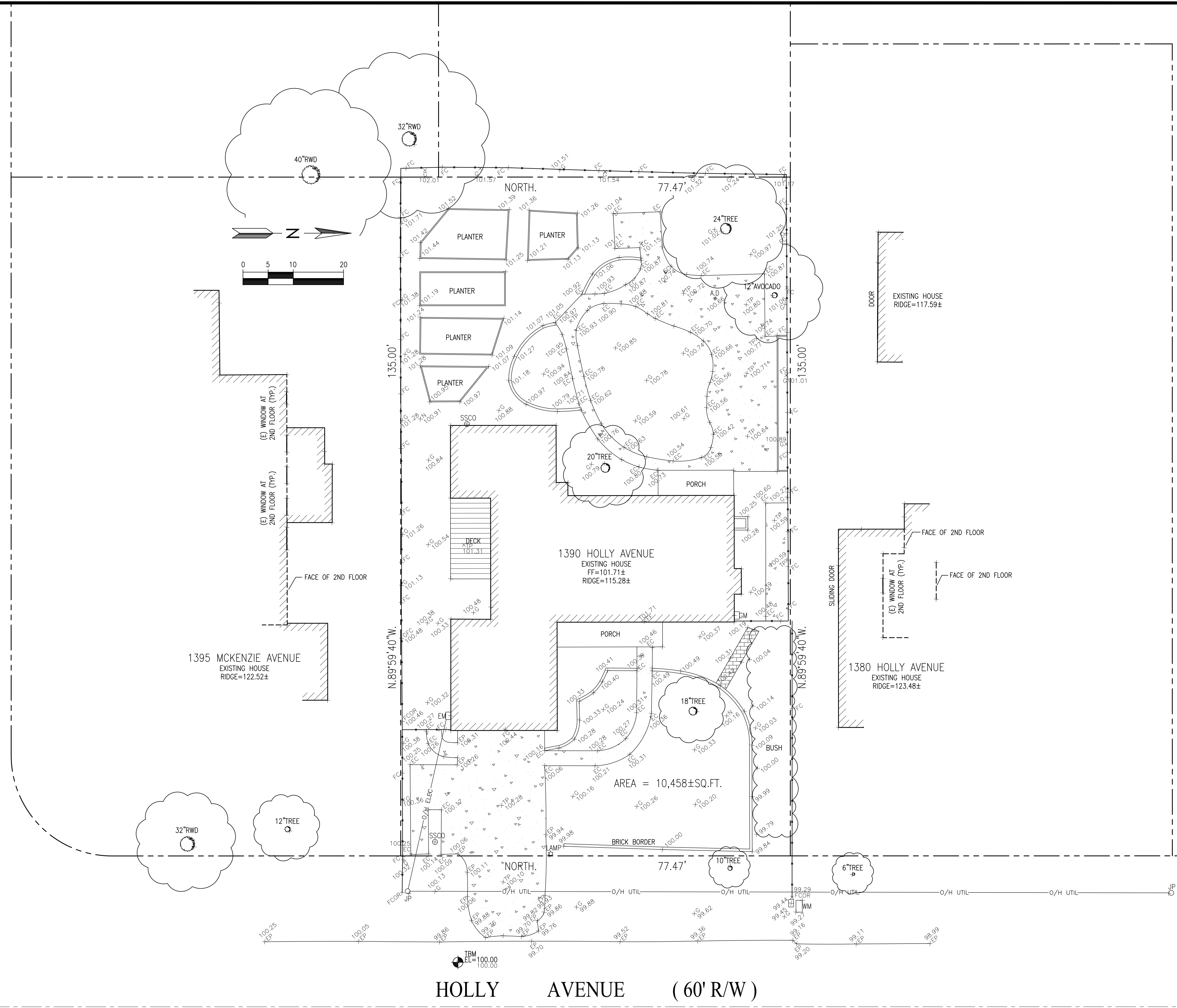
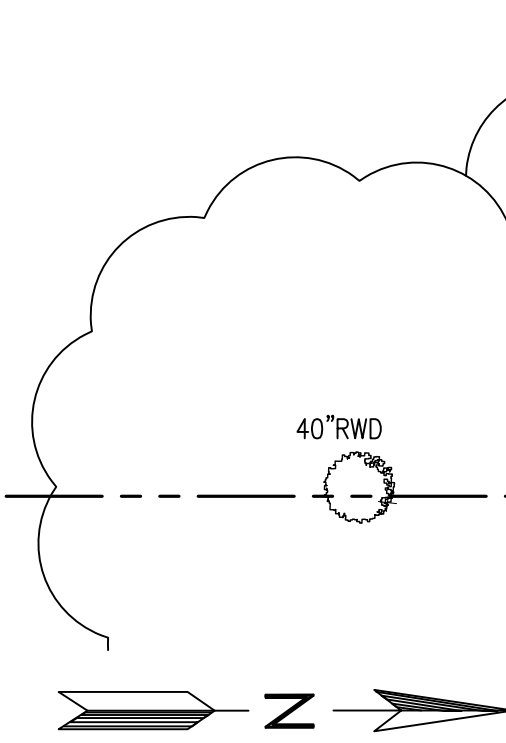
PROJECT NO.	DATE	DESCRIPTION	REVISION
17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

TREE  
PROTECTION  
PLAN





MC KENZIE AVENUE (60' R/W)



**LEGEND:**

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- LG OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOP OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

**BASIS OF BEARINGS:**

THE BEARING, EAST, OF THE MONUMENT LINE OF MC KENZIE AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 8 OF MAPS AT PAGE 15, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**

TBM ELEV=100.00 (ASSUMED)

**UTILITY NOTE:**

UNDERGROUND UTILITIES: SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**NOTE:**

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

**CAO RESIDENCE**

1390 HOLLY AVENUE  
LOS ALTOS, CA  
APN: 193-42-033



2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: MARCH 26, 2017  
SCALE: 1"=10'  
DRAWN: BG  
JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC SURVEY**

SHEET NO.

**C.0**



**GRADING AND DRAINAGE NOTES:**

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS AND SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444 PRIOR TO EXCAVATION.

2. THE SITE SHALL BE FINE GRADED TO PROVIDE A MINIMUM OF 5% SLOPE AWAY FROM THE BUILDING PERIMETER AND ADJACENT PROPERTY LINES. EXISTING DRAINAGE COMINGS FROM ADJACENT PROPERTIES SHALL BE MAINTAINED. IN NO CASE SHALL THE FINAL GRADING INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.

3. THE HOUSE AND GARAGE MUST HAVE DOWN SPOUTS THAT ARE DIRECTED TO SPLASH BLOCKS (2 FEET LONG) THAT DEFLECT THE WATER AWAY FROM BUILDING FOUNDATION BY SURFACE DRAINAGE. ALL DOWNSPOUT AND GUTTER SHALL BE GALV. SHEET METAL.

4. CONTRACTOR SHALL OBTAIN A STREET WORK PERMIT FROM PUBLIC WORKS ENGINEERING FOR ANY PROPOSED CONSTRUCTION WHICH WILL IMPACT THE USE OF THE SIDEWALK, STREET AND ALLEY OR ON THE PROPERTY IN WHICH THE CITY HOLDS AN INTEREST.

5. ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

6. IF GROUNDWATER OR RUNOFF WATER IS ENCOUNTERED AND REQUIRES REMOVAL FROM THE EXCAVATION AREA, ALL EXCAVATION AND/OR BUILDING ACTIVITIES MUST IMMEDIATELY STOP. THE PLAN FOR THE DEWATERING OF THE EXCAVATION MUST BE DESIGNED AND SUBMITTED FOR APPROVAL TO THE PUBLIC WORKS-ENGINEERING DIVISION. ONCE APPROVAL OF THE PLAN DESIGN HAS BEEN RECEIVED, IMPLEMENTATION OF THE PLAN IS REQUIRED PRIOR TO THE COMMENCEMENT OF THE EXCAVATION AND/OR BUILDING ACTIVITIES.

**EROSION CONTROL AND BEST MANAGEMENT PRACTICE:**

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.

2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.

3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.

4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.

5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.

6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY IS PERMITTED.

7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

**UTILITY NOTES:**

1. CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES.

CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL GRAVITY SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION. ALL WORK FOR GRAVITY SYSTEMS SHALL BEGIN AT THE 1. DOWNSTREAM CONNECTION POINT. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION. ELBOWS AND TEE SHOULD BE AVOIDED.

2. CLEANOUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS.

3. A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.

4. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE FIVE (5) FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED. A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.

**GEOTECHNICAL INVESTIGATION REPORT**

A GEOTECHNICAL INVESTIGATION REPORT HAS BEEN PREPARED BY JOEL BALDWIN, EARTH INVESTIGATIONS CONSULTANTS, P.O. BOX 795, PACIFICA, CA. 650-557-0262 (DATE: APRIL 29, 2014, JOB NO 2513.02.00)

EARTHWORK QUANTITIES:	
CUT(OUTSIDE BLDG FOOTPRINT)	350 C.Y.
CUT(INSIDE BLDG FOOTPRINT)	1450 C.Y.
FILL	355 C.Y.
BALANCE	1445 C.Y.

EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

**CUT AND FILL EST.**

3

SS	SANITARY SEWER	SL	STREET LIGHT
E	ELECTRIC	IRR	IRRIGATION
TV	TV/CABLE TV	X	FENCE
FS	FIRE SERVICE	JT	JOINT TRENCH
W	DOMESTIC WATER SERVICE	O/H	OVERHEAD WIRES
T	TELEPHONE	× 16.07	(E) SPOT ELEVATION
G	NATURAL GAS	× 16.07	(N) SPOT ELEVATION
FM	FORCE MAIN		
DS	SPLASH BLOCK, MIN. 2 FEET LONG DEFLECT THE WATER AWAY FROM BOTH BLDG.		
	DOWNSPOUT		

**LEGEND**

4

AB	AGGREGATE BASE	GB	GRADE BREAK
AC	ASPHALT CONCRETE	GM	GAS METER
AD	AREA DRAIN	GR	GRATE ELEVATION
BW	BOTTOM OF WALL	HP	HIGH POINT
CB	CATCH BASIN	INV	INVERT ELEVATION
CIP	CAST IRON PIPE	JT	JOINT TRENCH
CL	CENTER LINE	JP	JOINT POLE
CONC	CONCRETE	LD	LANDSCAPE DRAIN
CS	CRAWL SPACE ELEV.	LF	LINEAR FEET
DD	DECK DRAIN	(N)	NEW
DIP	DUCT IRON PIPE	PKG	PARKING
DS	DOWNSPOUT	POC	POINT OF CONNECTION
DWY	DRIVEWAY	RET	RETAINING WALL
(E)	EXISTING	RIM	RIM ELEVATION
EG	EXISTING GRADING	S	SLOPE
EM	ELECTRICAL METER	SD	STORM DRAIN LINE
EP	EDGE OF PAVEMENT	SDCO	STORM DRAIN CLEANOUT
FC	FACE OF CURB ELEV.	SDFM	STORM DRAIN FORCED MAIN
FD	FRENCH DRAIN	SS	SANITARY SEWER
FF	FINISH FLOOR ELEVATION	SSCO	SANITARY SEWER CLEANOUT
FG	FINISHED GROUND ELEV.	TW	TOP OF WALL ELEVATION
FL	FLOW LINE ELEVATION	TYP	TYPICAL
FM	FORCE MAIN LINE	W	DOMESTIC WATER LINE
FP	FINISHED PAVEMENT	WM	WATER METER
FS	FINISH SURFACE ELEV		
FW	FIRE WATER LINE		

**ABBREVIATION**

5

- 1] FLOW REDUCTION BOX, RIM=100.3 INV=97.8 SEE DETAIL 3/C.2
- 2] SUMP PUMP, SEE DETAIL 9/C.2, GR=89.40 PUMP ON=88.40 PUMP OFF=86.40, SEE 6/C.2
- 3] STABILIZE DISCHARGE AREA W/ DRAIN ROCK (2'X4') FOR EROSION CONTROL
- 4] MAINTAIN STABILIZED CONSTRUCTION ENTRANCE AREA. SEE DETAIL 2/C.2
- 5] MAINTAIN FIBER ROLL AROUND ENTIRE PROPERTY LINES FOR EROSION CONTROL. SEE DETAIL 1/C.2
- 6] DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 7] INFILTRATION DEVICE, 6'X8', 3' DEEP, SEE 7/C.1
- 8] PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 9] PERF. DRAIN PIPE AROUND BASEMENT WALL. SEE STRUCTURAL PLAN FOR DRAIN PIPE PLACEMENT. CONNECT TO LIGHTWALL SUMP PUMP

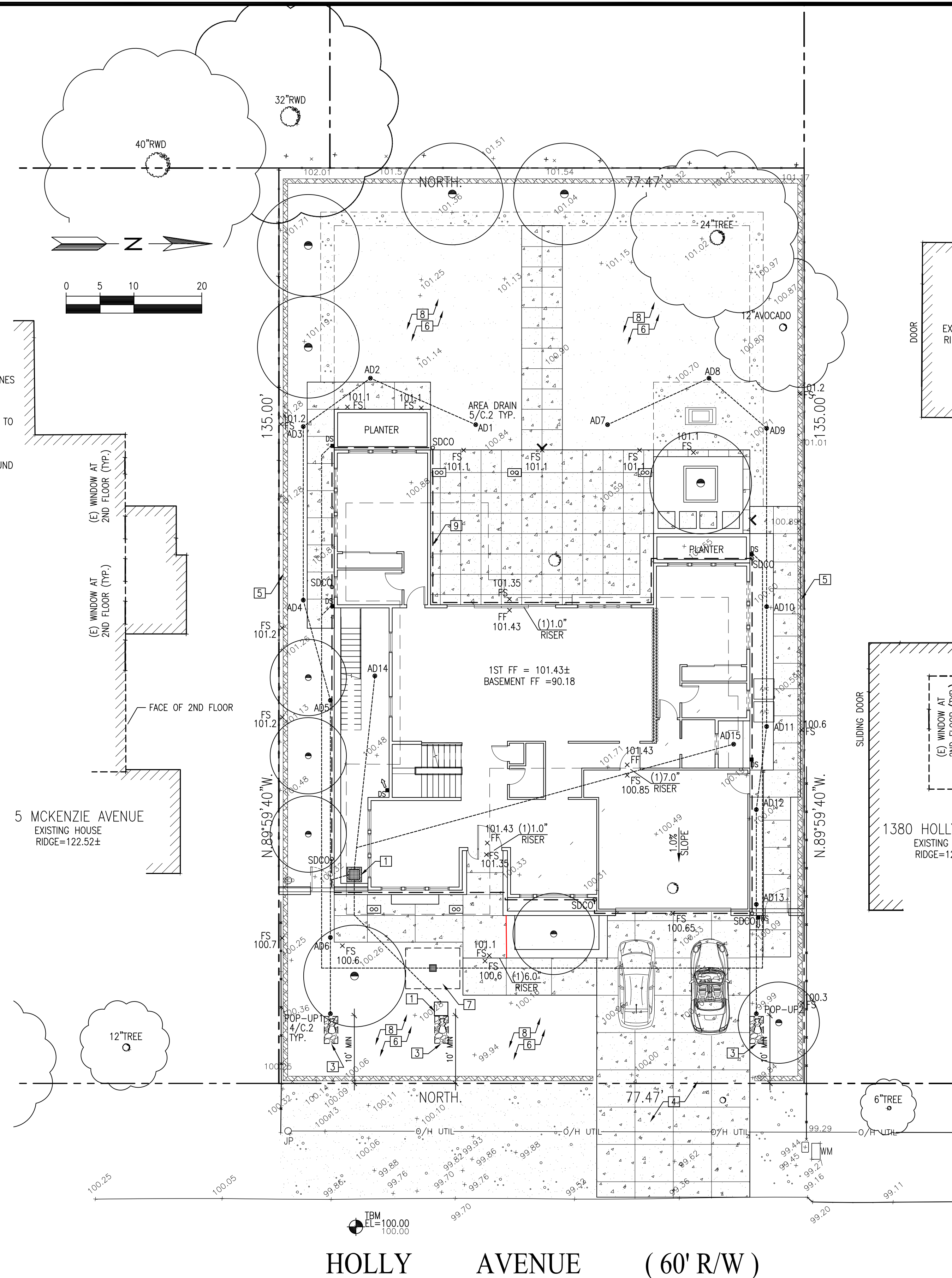
PROPERTY LINE	---
PERF PVC SD LINE	- - - - -
SOLID PVC SD LINE	_____
GRADE BREAK	- - - - -

NOTE: CONTRACTOR TO DETERMINE TOP OF BASEMENT RETAINING WALL (MIN 8" ABOVE PROPOSED OUTSIDE GRADE.) SEE STRUCTURAL PLAN FOR BASEMENT WALL DETAILS. COORDINATE WITH WATER PROOFING CONSULTANT

**DRAINAGE FEATURE TABLE**

FEATURE	RIM	INV
AD1	100.9	99.7
AD2	100.9	99.6
AD3	100.9	99.5
AD4	100.9	99.4
AD5	100.9	99.3
AD6	100.5	99.2
POP-UP1	100.3	98.8
AD7	100.9	99.7
AD8	100.9	99.6
AD9	100.9	99.5
AD10	100.7	99.4
AD11	100.6	99.3
AD12	100.3	99.2
AD13	100.3	99.1
POP-UP2	100.0	98.5
AD14	89.47	NOTE1
AD15	89.47	NOTE1

NOTE1: INV TO BE DETERMINED IN THE FIELD BASED ON WATER PROOFING CONTRACTOR RECOMMENDATION



**GENERAL NOTES**

2

**GRADING AND DRAINAGE PLAN & EROSION CONTROL PLAN** SCALE: 1"=10'

1

**CAO RESIDENCES**

1390 HOLLY AVENUE  
LOS ALTOS, CA  
APN: 193-42-033

**W E C & ASSOCIATES**

2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
FAX: (650) 887-1294

**LICENSE STAMPS AND SIGNATURE**



**ISSUED**

No.	Description	Date

DATE: SEPT 12, 2017

SCALE: AS SHOWN

DRAWN: J

JOB: 10078

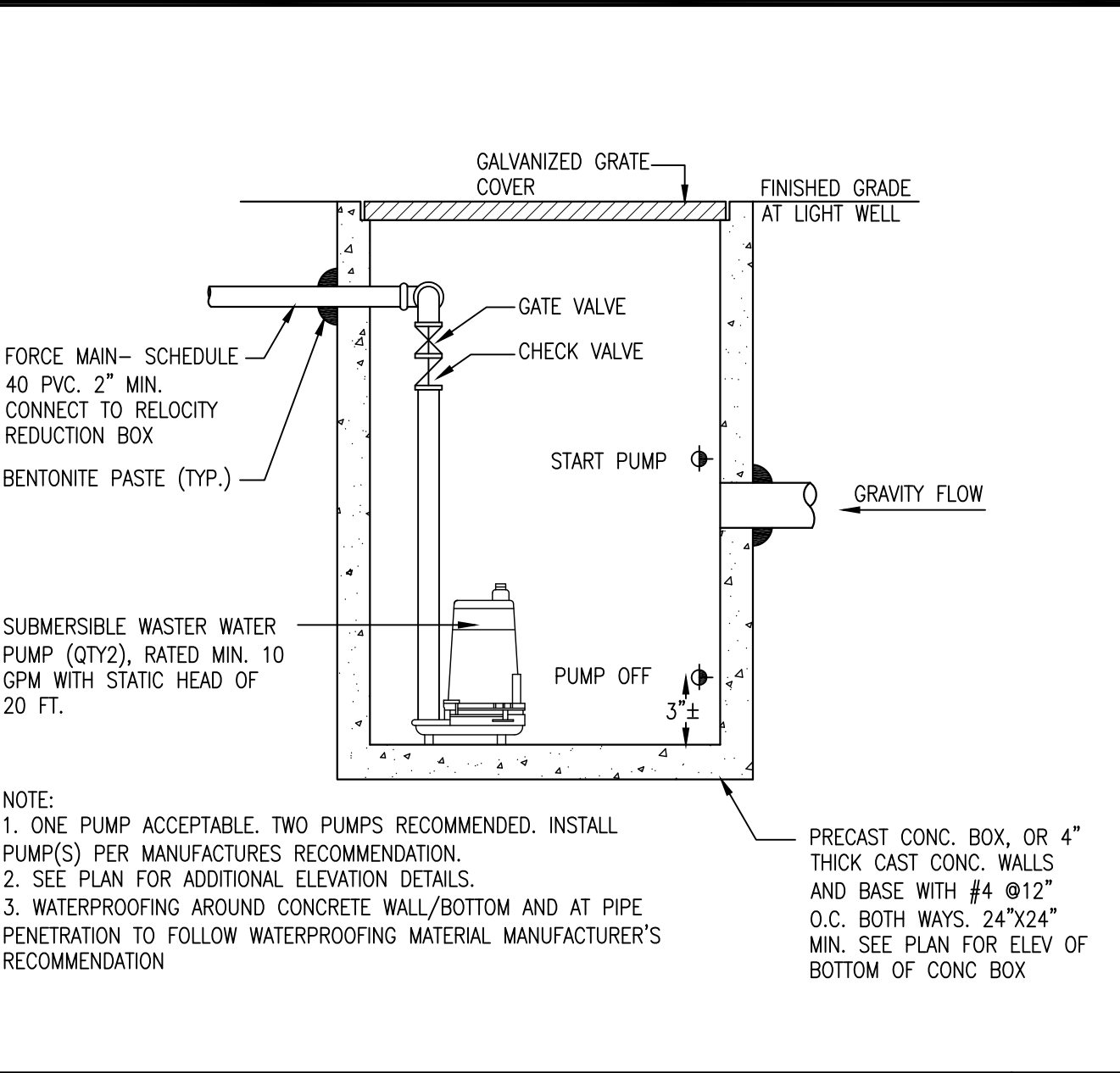
**SHEET TITLE:**

**GRADING AND DRAINAGE & EROSION CONTROL PLAN**

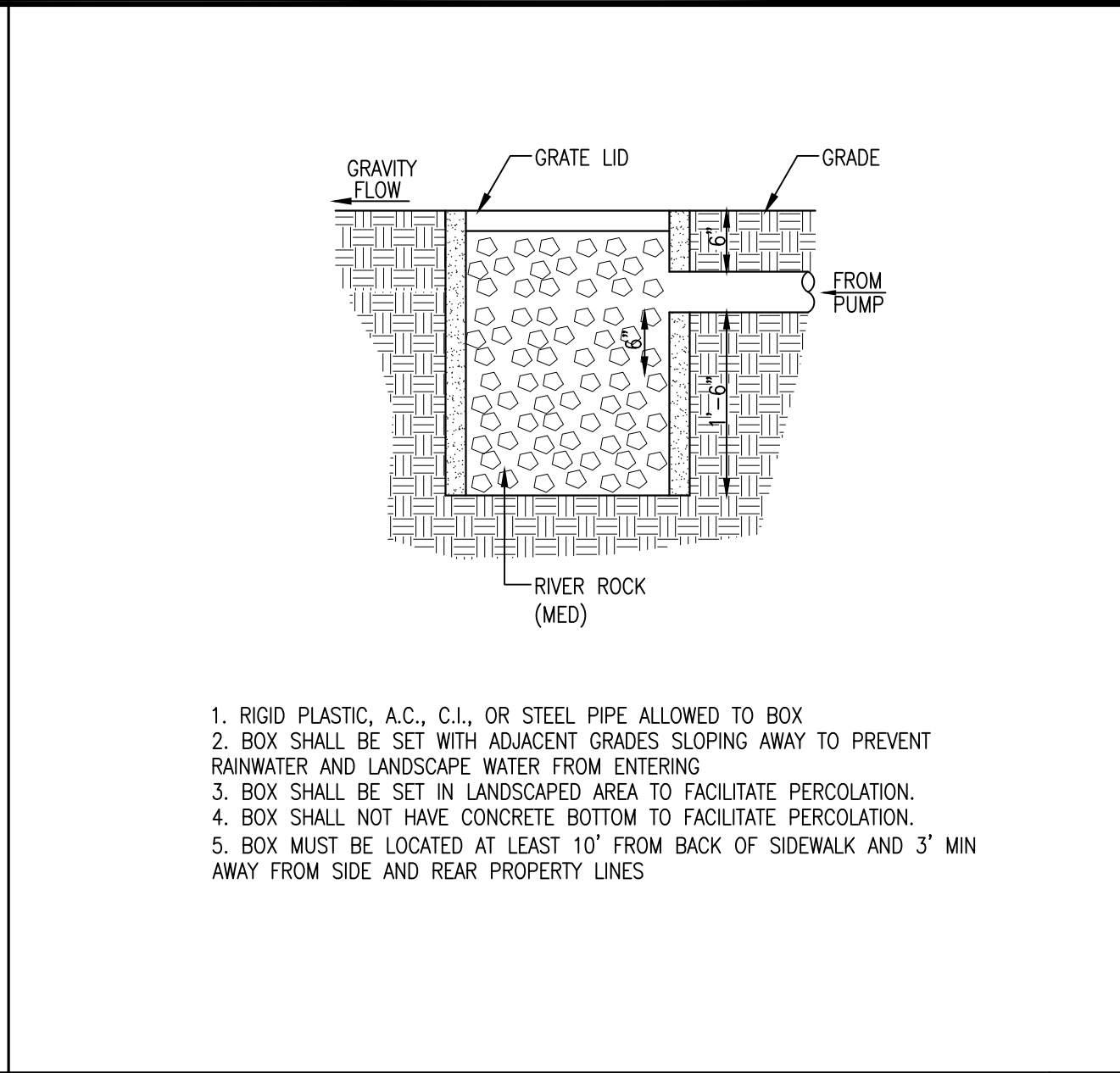
SHEET NO.

**C.1**

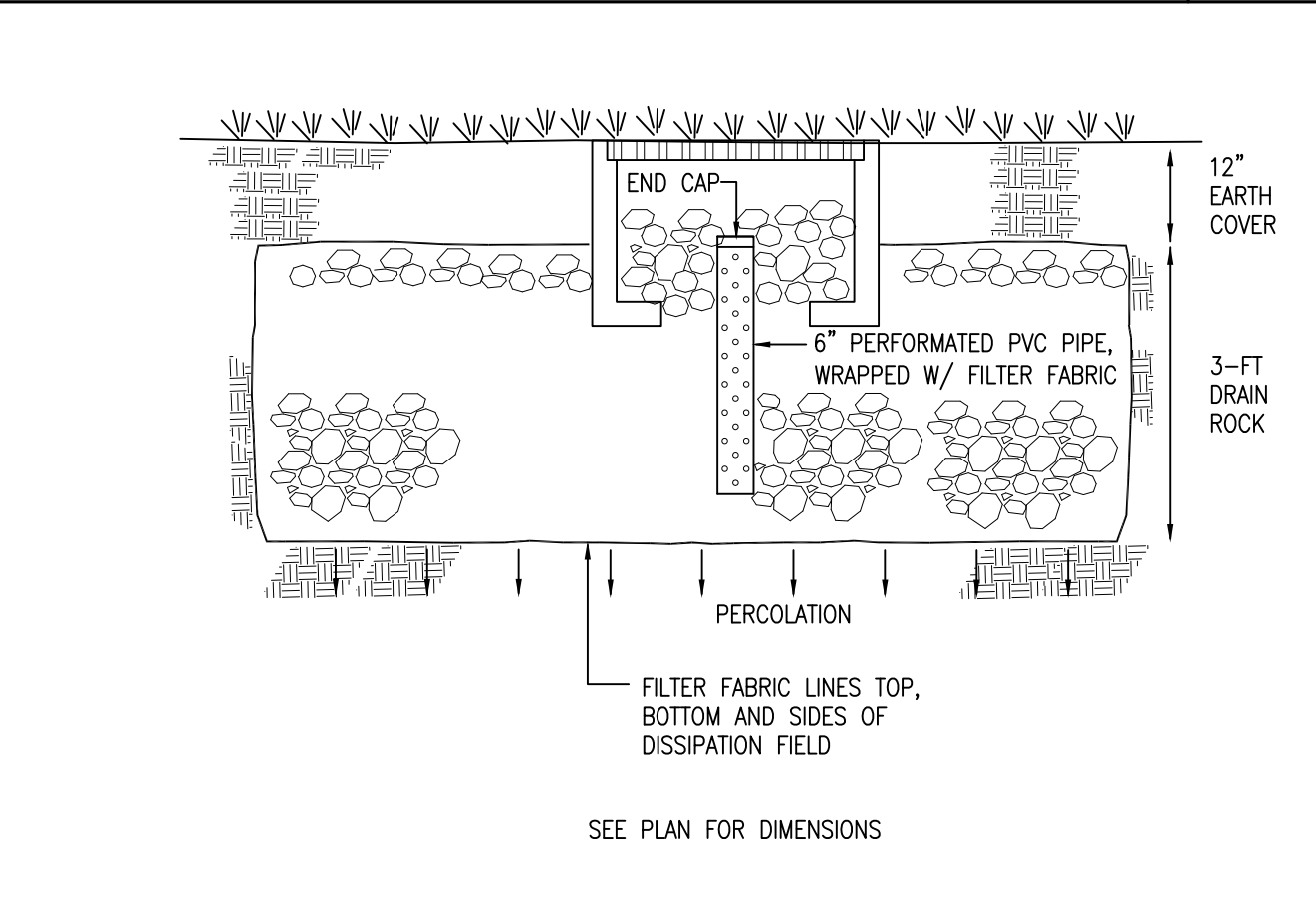




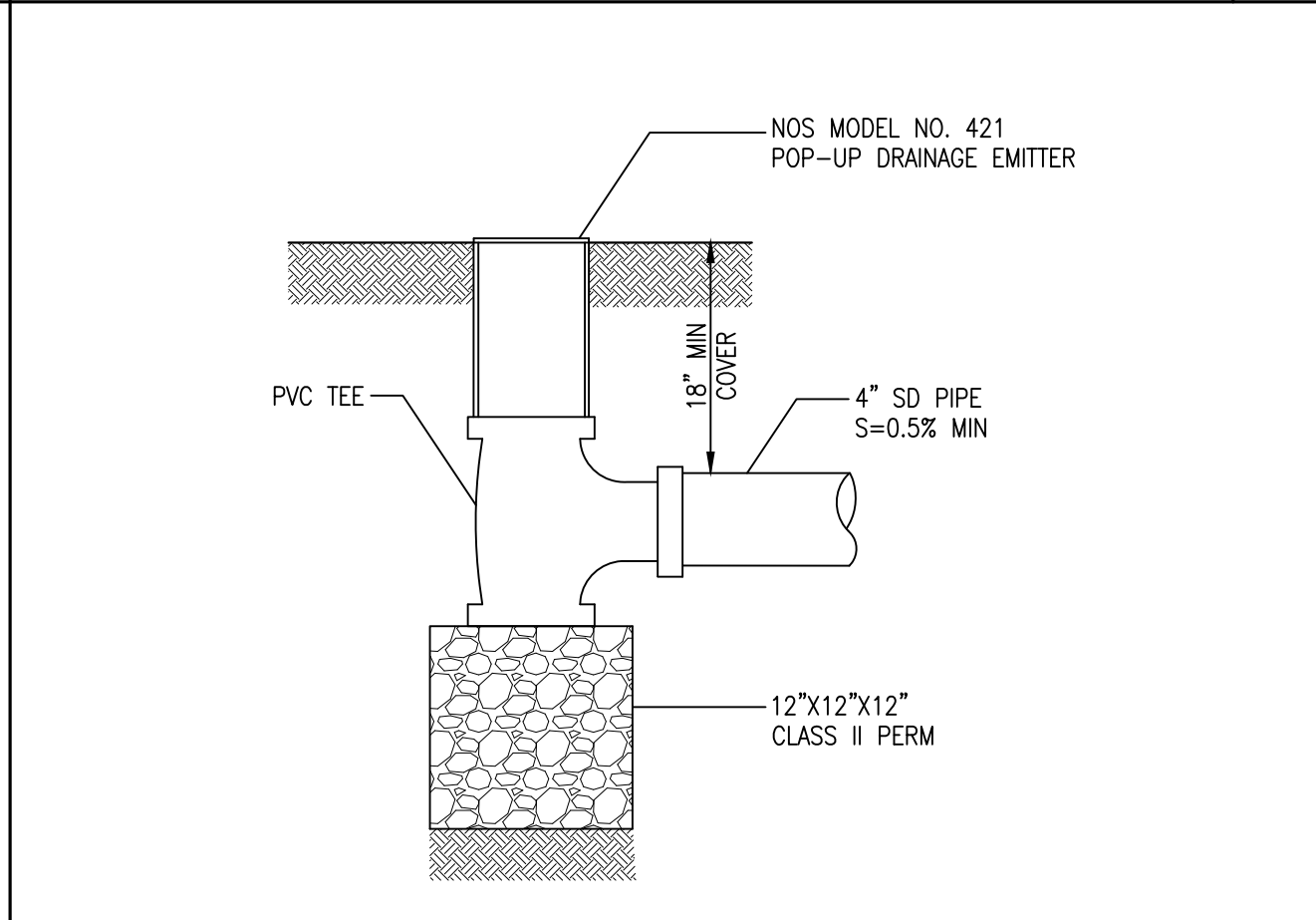
**LIGHTWELL DRAIN SUMP PUMP** N.T.S. 6



**FLOW REDUCTION BOX** N.T.S. 3



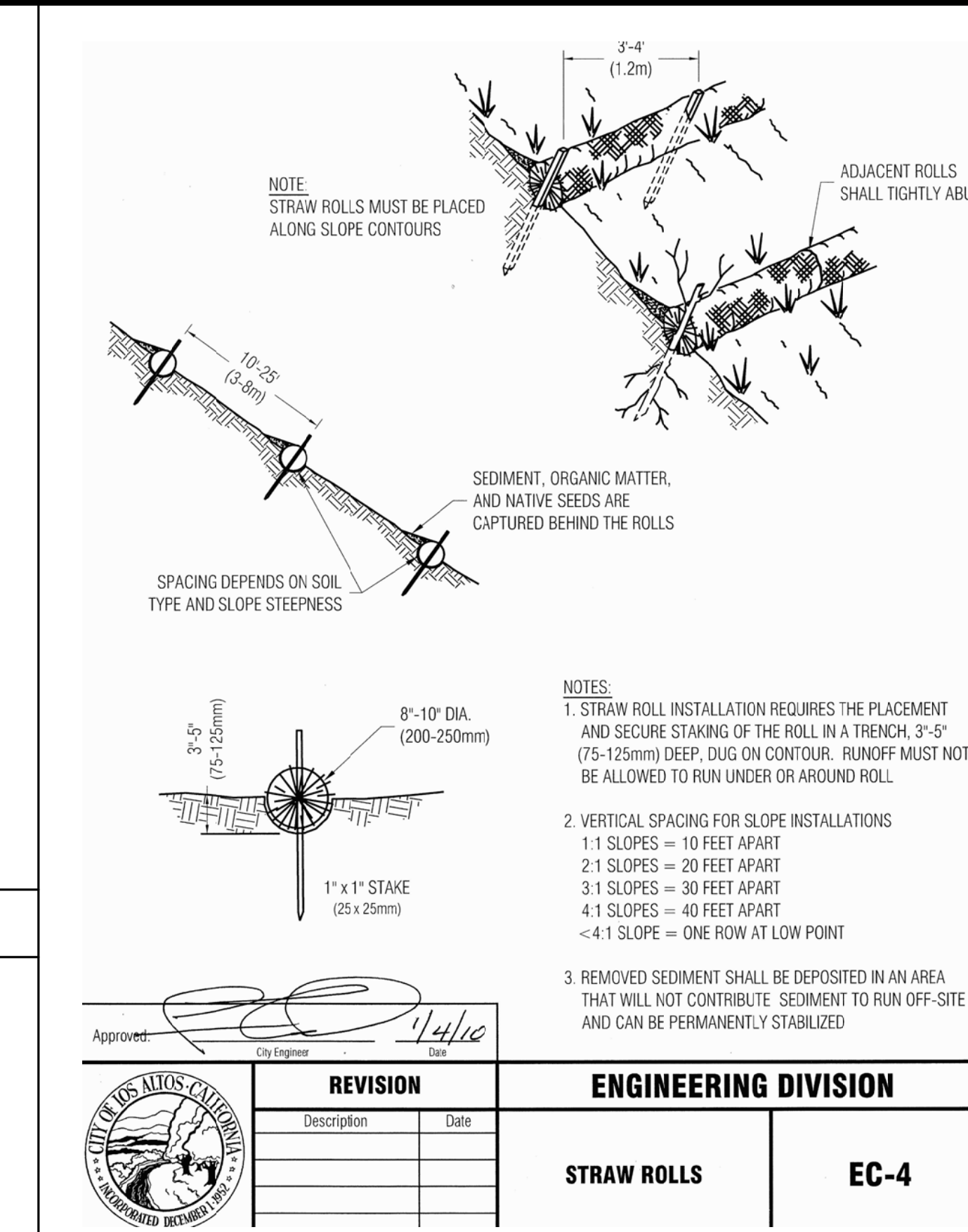
**INFILTRATION DEVICE** N.T.S. 7



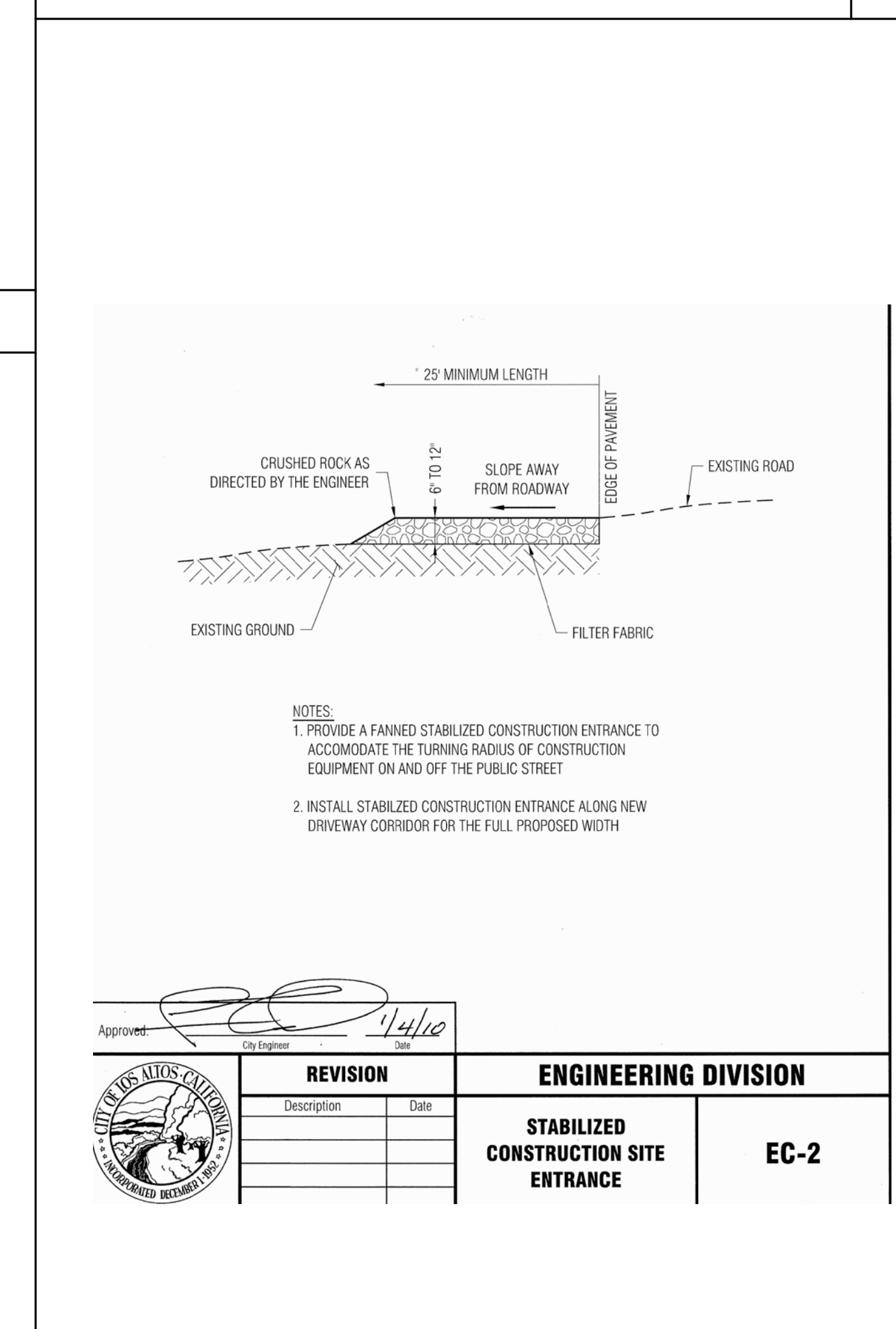
**POP-UP DRAIN DETAIL** N.T.S. 4



**AREA DRAIN DETAILS** N.T.S. 5



**FIBER ROLL DETAIL** 1



**STABILIZED CONSTRUCTION ENTRANCE** 2

Approved: 1/4/10  
City Engineer

REVISION		ENGINEERING DIVISION	
Description	Date	STRAW ROLLS	EC-4

ISSUED	
No.	Description

DATE: SEPT 12, 2017  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

SHEET TITLE:

Approved: 1/4/10  
City Engineer

REVISION		ENGINEERING DIVISION	
Description	Date	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2

DATE: SEPT 12, 2017  
SCALE: AS SHOWN  
DRAWN: J  
JOB: 10078

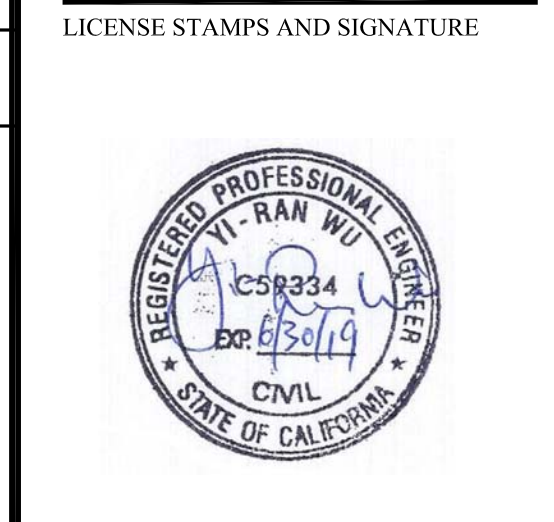
SHEET TITLE:

**CAO RESIDENCES**

1390 HOLLY AVENUE  
LOS ALTOS, CA  
APN: 193-42-033

**WEC & ASSOCIATES**

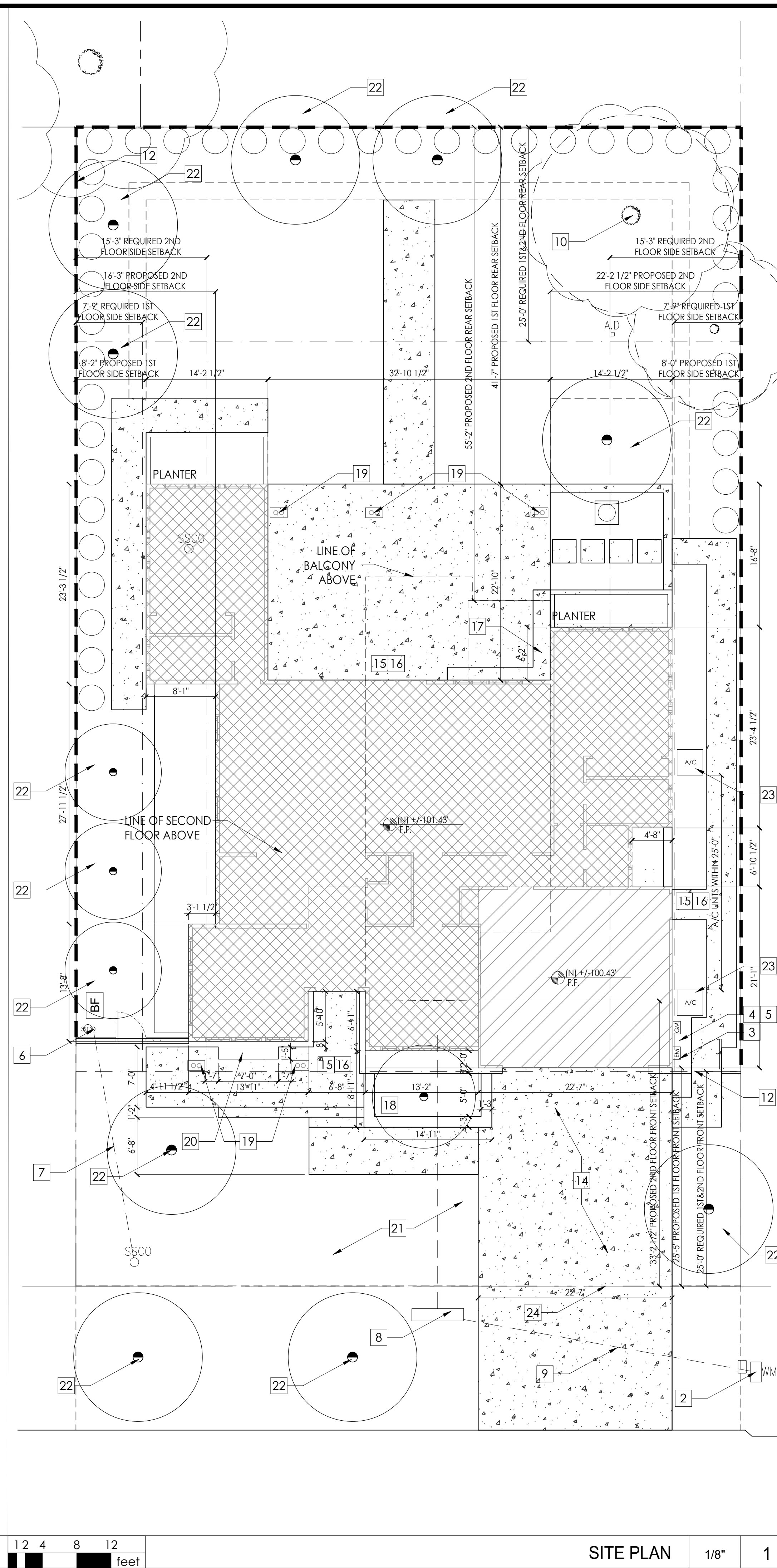
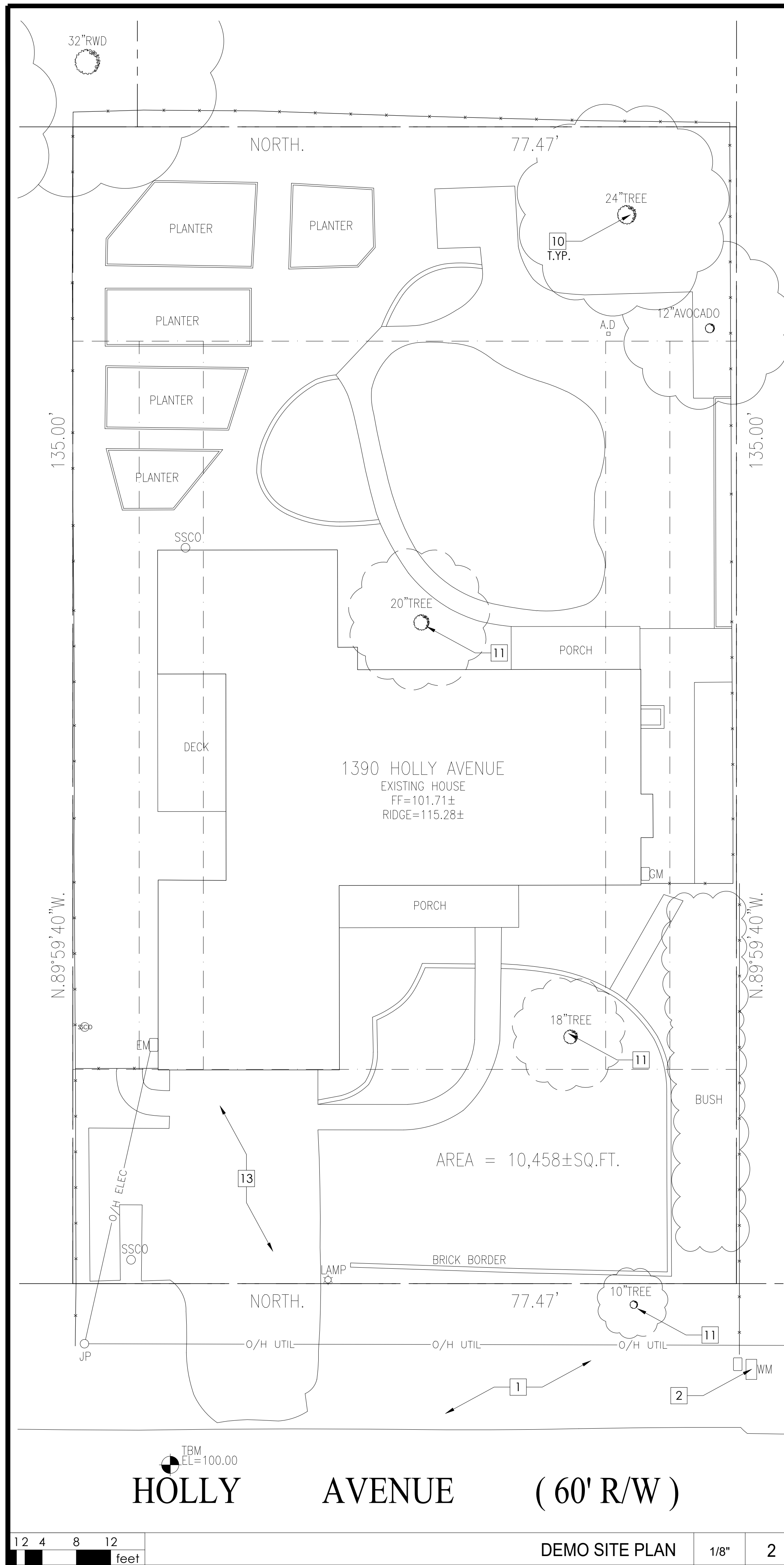
2625 MIDDLEFIELD RD #658  
PALO ALTO, CA 94306  
TEL: (650) 823-6466  
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**DETAILS**

SHEET NO. **C.2**





- # = NUMBER TO KEY NOTE BELOW
- EXISTING PUBLIC RIGHT OF WAY--ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO THE COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY
  - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY IF REQUIRED BY INCREASED FIXTURE LOAD
  - (N) GAS METER LOCATION
  - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH PG&E FOR UPGRADE (200AMPS) TO (E) ELECTRICAL SERVICE
  - UFER GROUND CONNECTION PER CEC 250-52
  - (N) 4" SEWER LATERAL--CONTRACTOR TO VERIFY LOCATION IN FIELD AND CONNECT TO (E) LINE SEWER CLEANOUT
  - (N) SANITARY SEWER LINE
  - (N) IRRIGATION BACK FLOW PREVENTER
  - (N) WATER SERVICE LINE
  - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
  - (E) TREE(S) TO BE RELOCATED ON SITE UNDER DIRECTION OF CERTIFIED ARBORIST
  - (N) FENCE AND GATE--VERIFY FINAL DESIGN AND FINISH WITH OWNER
  - (E) DRIVEWAY TO BE REMOVED
  - (N) DRIVEWAY, PAVERS OVER 8" BASE ROCK AND 2" SAND -- VERIFY PAVER DESIGN WITH OWNER
  - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
  - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
  - (N) OUTDOOR KITCHEN
  - NOT USED
  - (N) PORCH COLUMNS
  - (N) BENCH
  - (N) SOFTSCAPE--PROVIDE DRIP IRRIGATION
  - (N)/RELOCATED TREE LOCATION
  - (N) A/C UNIT CONDENSER PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED, VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE
  - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL

**SITE PLAN KEYNOTES**

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- NEW LIVING AREA
- NEW GARAGE AREA
- NEW HARDSCAPE--SEE LANDSCAPE PLAN FOR MORE INFO
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
  - (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.

**SITE PLAN LEGEND**



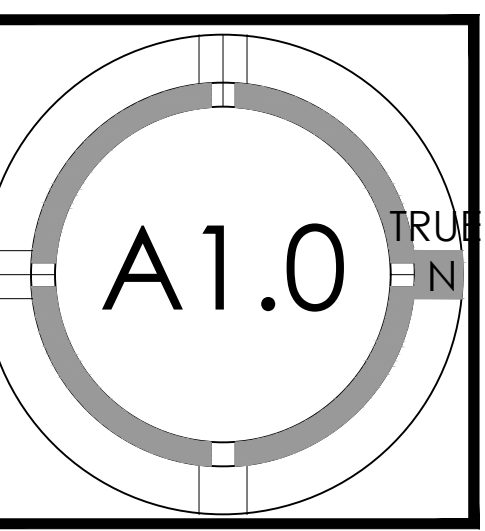
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San Jose, CA 95128  
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F : (408) 404 - 0144

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17-008	09.30.2017	PLANNING PERMIT SUBMITTAL	IV	
	12.04.2017	PLANNING PERMIT RESUBMITTAL	IV	

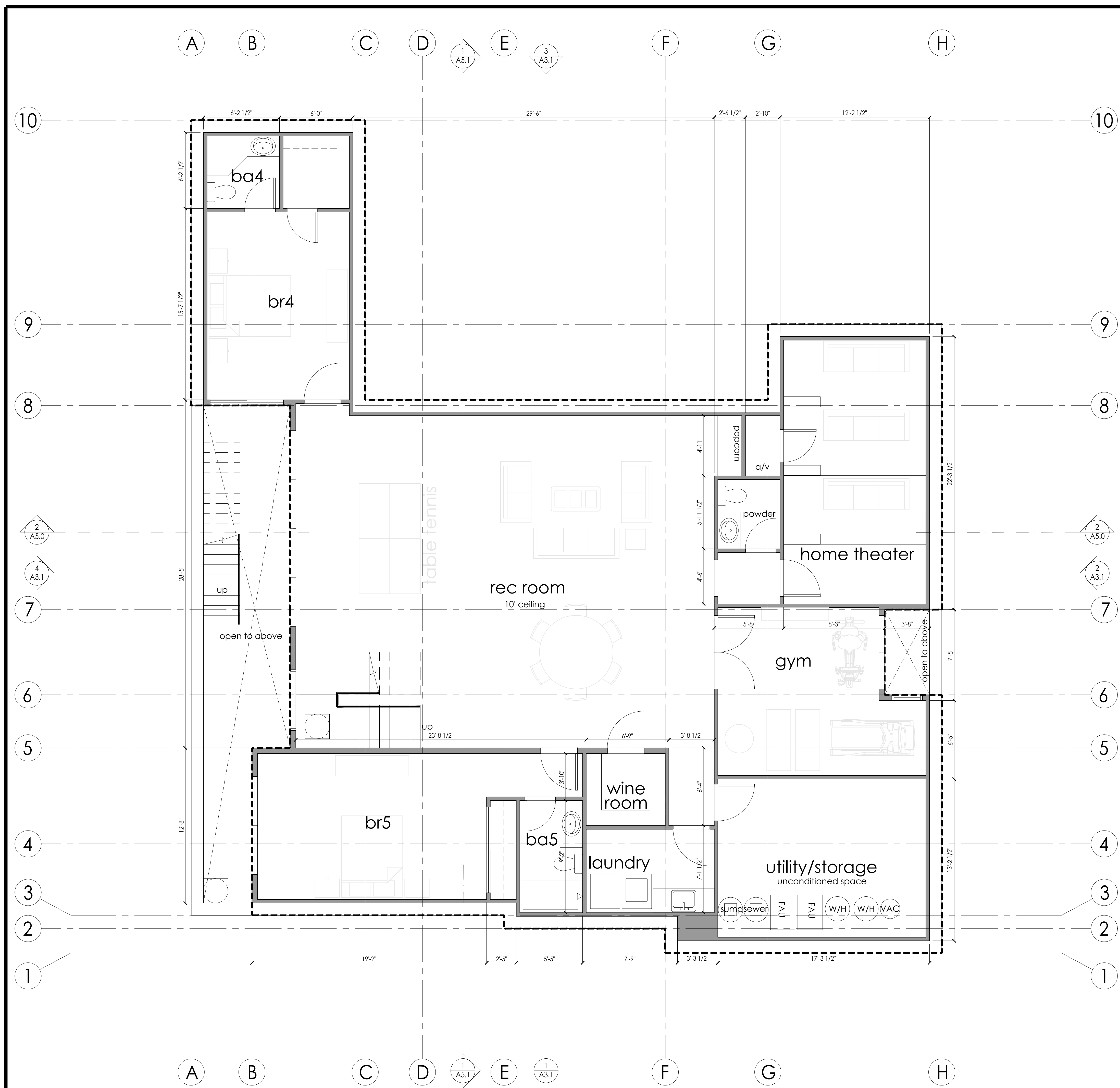
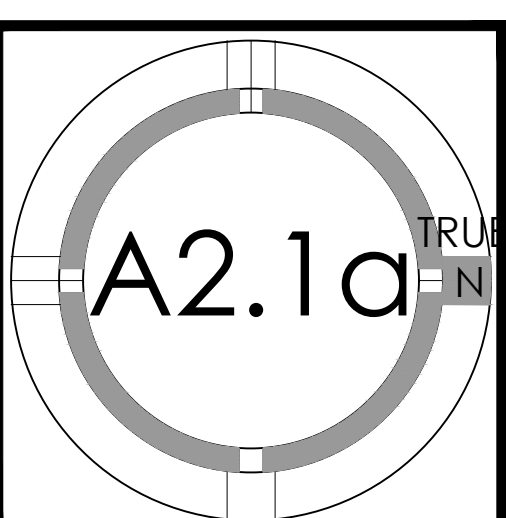
**SITE PLAN & DEMO SITE PLAN**






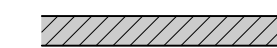

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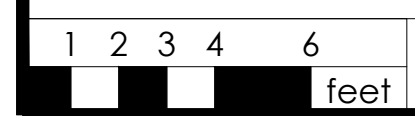
BASEMENT



#

FLOOR PLAN KEYNOTES

-  (N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.--SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2--INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
-  (N)/EXISTING WALL W/ 1 HOUR SEPARATION--5/8" TYPE 'X' GYP ON GARAGE SIDE FROM FOUNDATION TO ROOF SHEATHING
-  (N) STAGGERED STUD ACOUSTICAL WALL PER DETAIL [X/XXX]



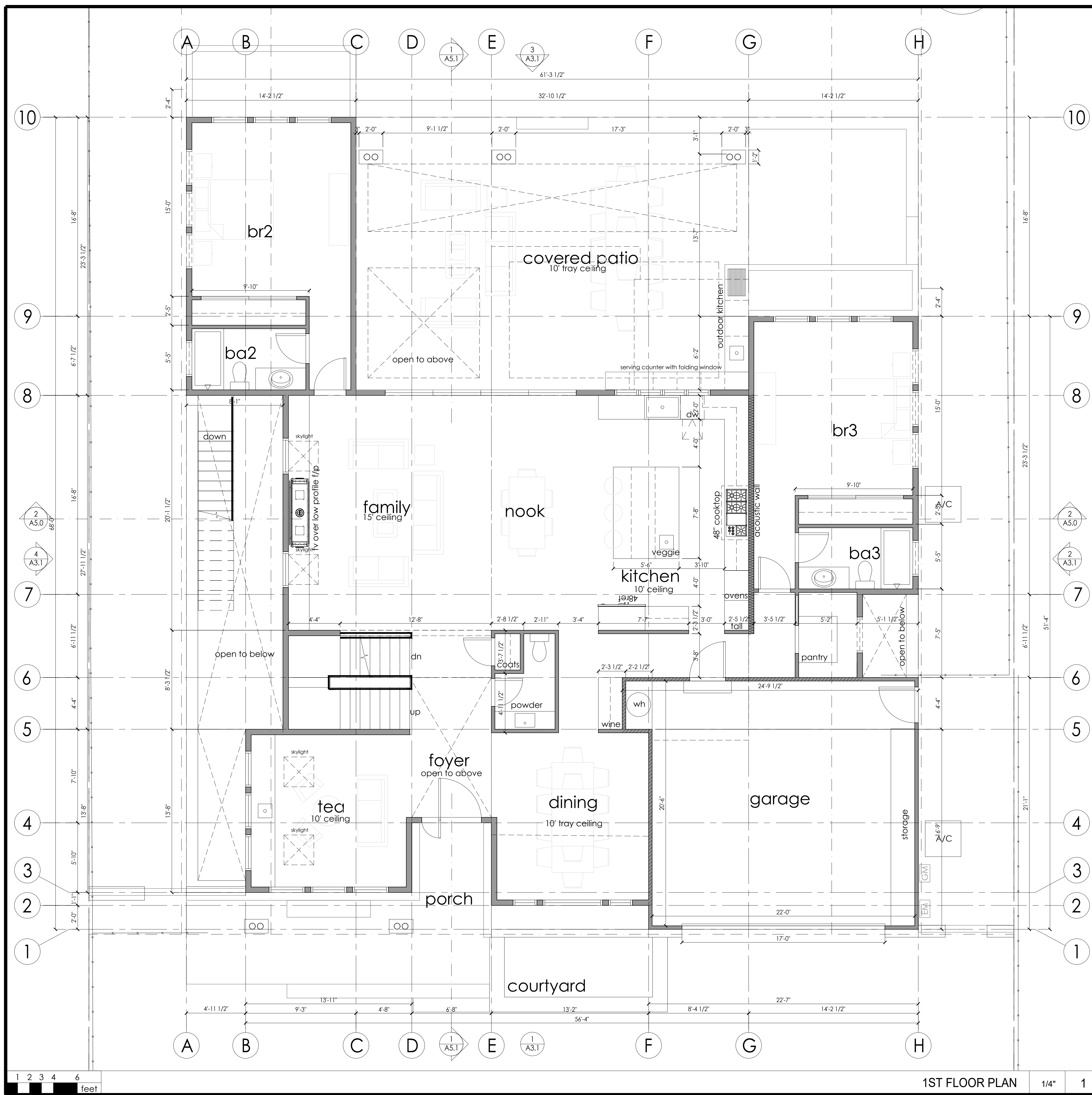
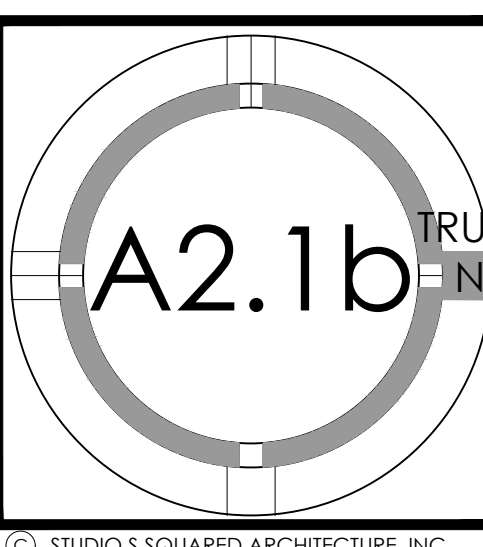
BASEMENT 1/4" 1

FLOOR PLAN LEGEND



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1ST  
FLOOR PLAN



#

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16"O.C.-SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2-INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD

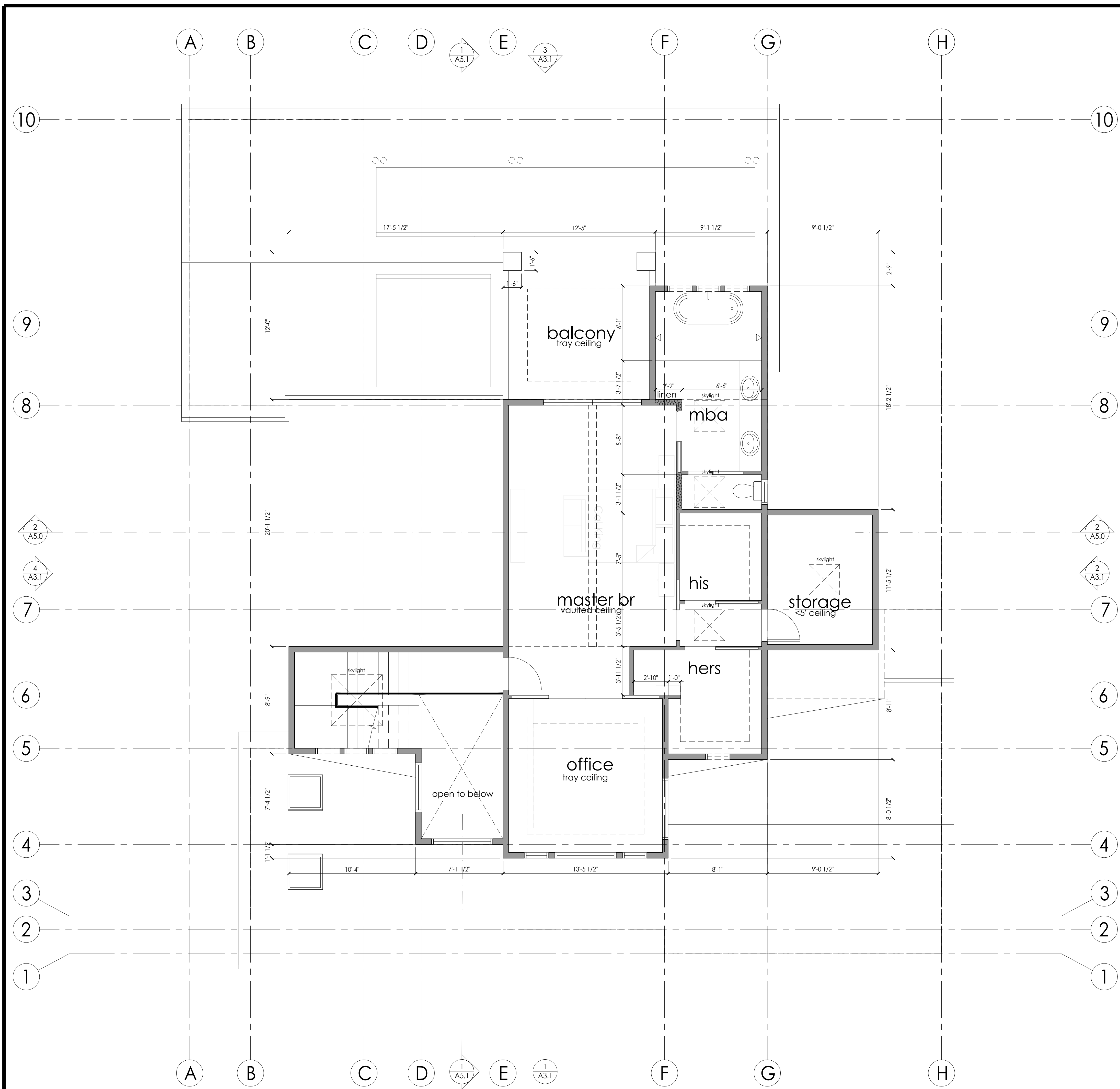
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(N) STAGGERED STUD ACOUSTICAL WALL PER DETAIL [X/XXX]

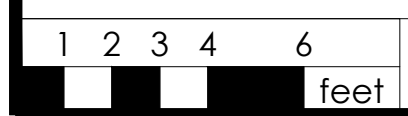
1ST FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND





FLOOR PLAN KEYNOTES		
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	(N) STAGGERED STUD ACOUSTICAL WALL PER DETAIL [X/XXX]	-



2ND FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -



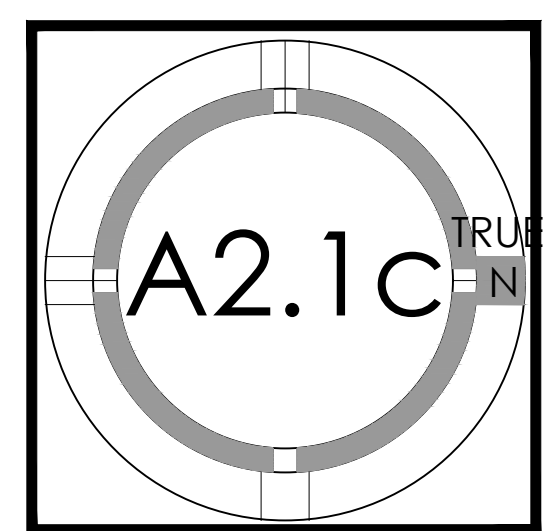
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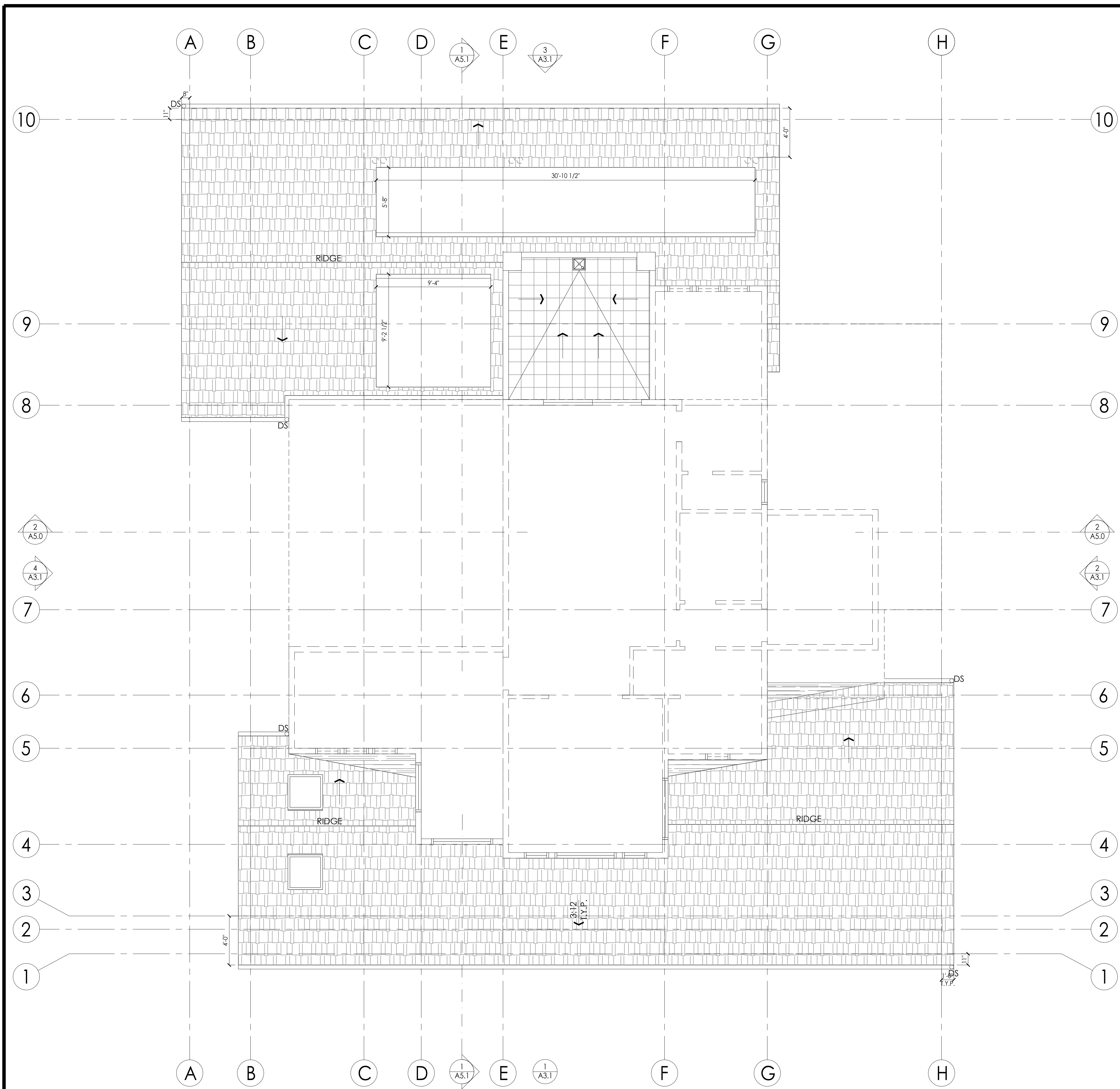


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2ND FLOOR PLAN



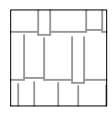

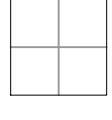

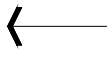
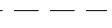




- (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
- PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
- RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2. RUN TO FALSE CHIMNEYS
- ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
- PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
- PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
- ALL (N) PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

- 
 ASPHALT COMPOSITION SHINGLES o/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS C--MANUF: CERTAINTEED; STYLE: PRESIDENTIAL SHAKE TL; COLOR: SHADOW GRAY; LIFE EXPECTANCY: 30 YEAR MINIMUM--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389
- 
 SINGLE PLY ROOFING, MIN CLASS "C"--MANUF: GAF OR EQUAL; STYLE: EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL 3/8" ROOFING GRAVEL o/ 6-OZ MIN. POLYMAT o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. WARRANTY INSTRUCTIONS.
- 
 TILE o/ THIN SET o/ MER-KRETE BFP 3-PART WATERPROOF AND CRACK ISOLATION MEMBRANE o/ MORTAR BED SLOPED MIN. 3/8:12--INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-2619--www.merkrete.com--VERIFY TILE SELECTION WITH OWNER, SEAL GROUT BETWEEN TILES
- 
 DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS [XXX/XXXX]--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS
- DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS
- 
 DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- 
 LINE OF BLDG. BELOW



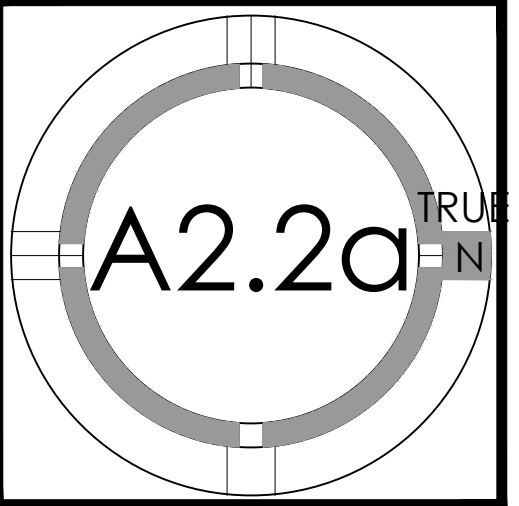
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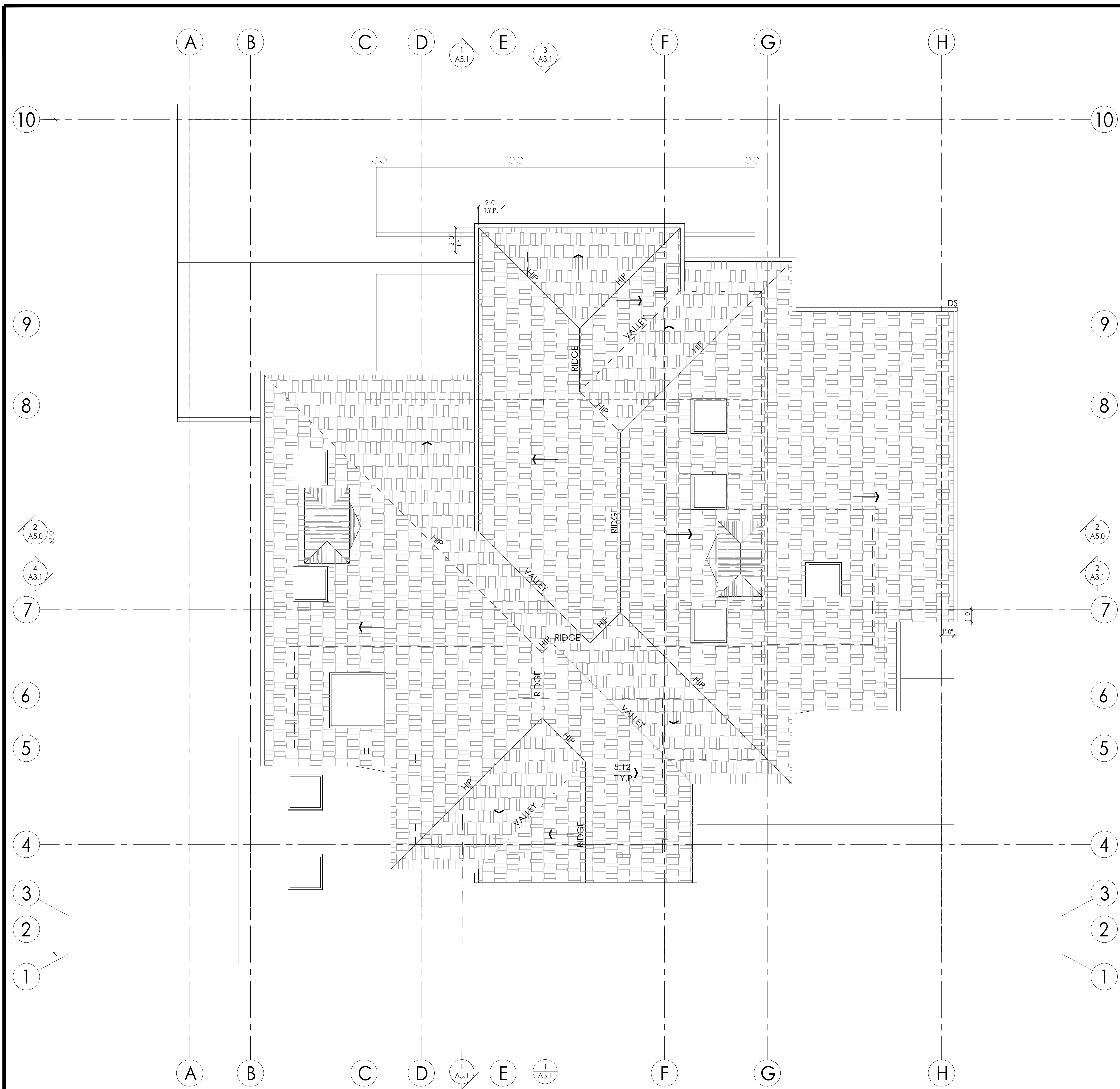


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LOWER ROOF PLAN







1. (N) ROOFING--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF. PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2. RUN TO FALSE CHIMNEYS
4. ROUTE PLUMBING VENTS WITHIN ATTIC SPACE SO THAT ROOF PENETRATIONS ARE BEHIND MAIN ROOF RIDGE AND ARE NOT VISIBLE FROM THE STREET
5. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
6. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN
7. ALL (N) PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
8. CONNECT ALL (N) DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

- ASPHALT COMPOSITION SHINGLES o/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS C--MANUF: CERTAINTEED; STYLE: PRESIDENTIAL SHAKE TL; COLOR: SHADOW GRAY; LIFE EXPECTANCY: 30 YEAR MINIMUM--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389
- SINGLE PLY ROOFING, MIN CLASS "C"--MANUF: GAF OR EQUAL; STYLE: EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8:12 SLOPE. INSTALL 3/8" ROOFING GRAVEL o/ 6-OZ MIN. POLYMAT o/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. WARRANTY INSTRUCTIONS.
- TILE o/ THIN SET o/ MER-KRETE BFP 3-PART WATERPROOF AND CRACK ISOLATION MEMBRANE o/ MORTAR BED SLOPED MIN. 3/8:12--INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-2619--www.merkrete.com--VERIFY TILE SELECTION WITH OWNER, SEAL GROUT BETWEEN TILES
- DENOTES FLAT ROOF DRAIN CONNECTED TO HARDPIPED 2" RAIN WATER LEADER AND 2" ROOF OVERFLOW. OVERFLOW TO BE CONNECTED TO ESCUTCHEON--SEE DETAILS [XXX/XXX]--ENSURE ROOFING OVERLAPS ROOF DRAIN PER BOTH DRAIN AND ROOF MANUF. DIRECTIONS
- DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS
- DENOTES DIRECTION OF SLOPE--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL
- LINE OF BLDG. BELOW

LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



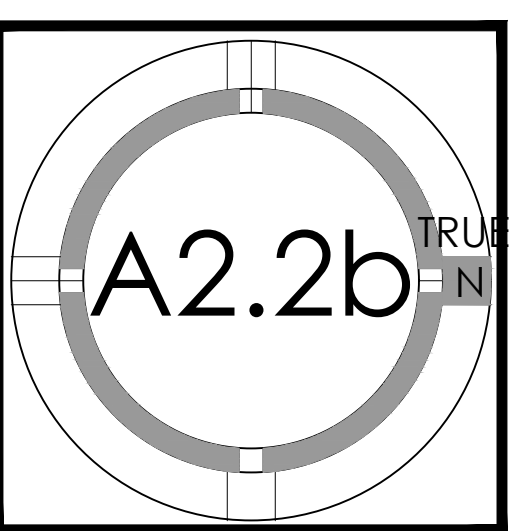
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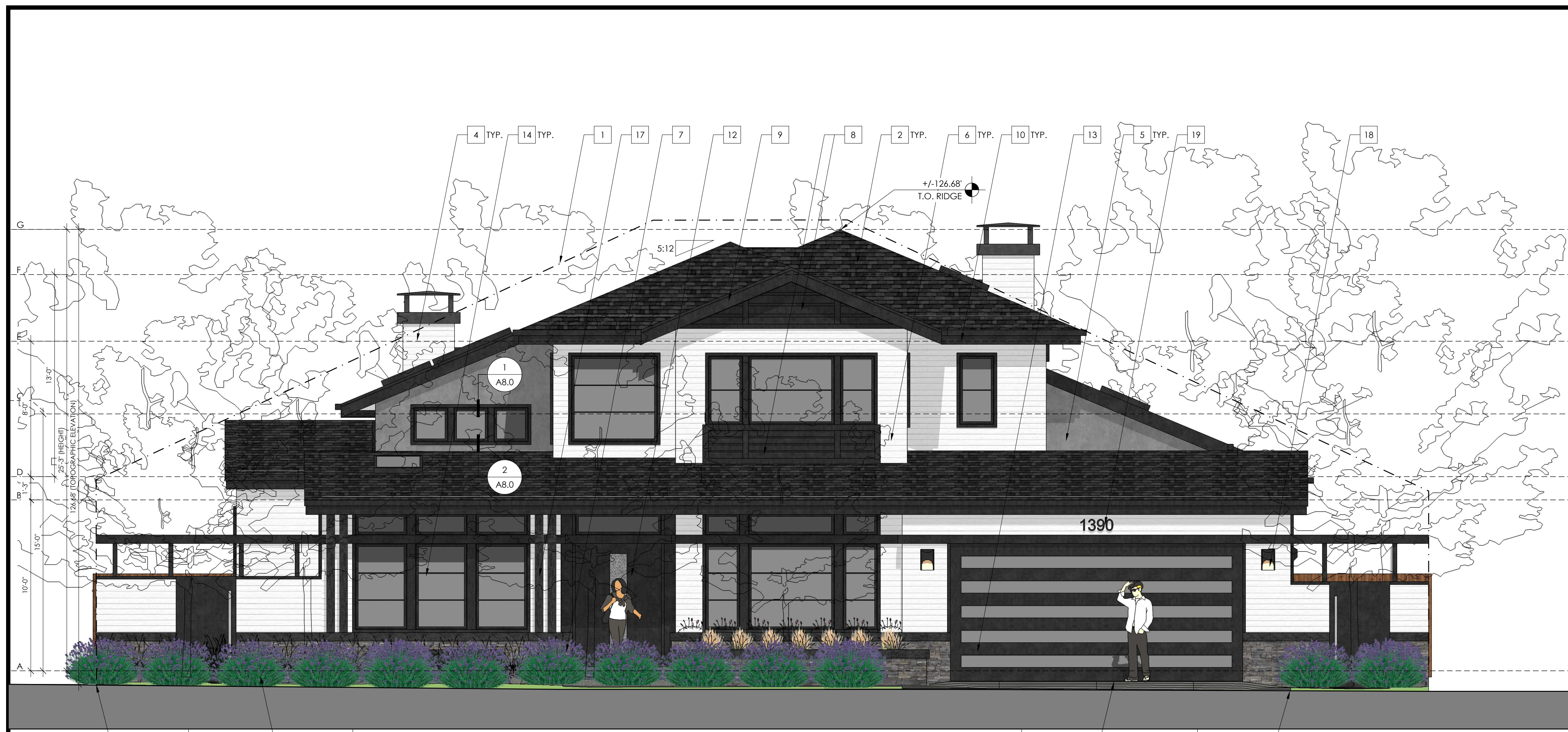


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UPPER ROOF PLAN







EAST ELEVATION (FRONT) 1/4" 1



NORTH ELEVATION (RIGHT) 1/4" 2

- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
  - 2 ASPHALT COMP SHINGLE ROOFING--SEE ROOF PLAN FOR MORE INFO
  - 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
  - 4 WOOD FRAMED CHIMNEY WITH 24" TALL METAL HOUSE ROOFED SHROUD--ROMANY--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION
  - 5 PAINTED COLOR STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE-- SEE DETAILS [XX/XX]
  - 6 FIELD PAINTED FIBER CEMENT LAP SIDING o/ 1 LAYER TYVEK HOUSE WRAP--MANUF.: JAMES HARDIE; STYLE: ARTISAN V-GROVE; EXPOSURE: 4"; STYLE: SMOOTH--www.artisanluxury.com--SEE DETAILS [XX/XX]-SIDING TO CONFORM TO CRC TABLE 703.4--INSTALL PER MANUF. WARRANTY INSTRUCTIONS
  - 7 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: ELDORADO STONE; STYLE: BLUFFSTONE; COLOR: COOS BAY; INSTALLATION STYLE: DRYSTACK; WAINSCOT SILL: SNAPPED EDGE; SILL COLOR: GRAY--www.eldoradostone.com--INSTALL PER MANUF. INSTRUCTIONS, ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
  - 8 PAINTED BOARD AND BATTEN
  - 9 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 BARGEBOARD AND 1x2 DRIP EDGE
  - 10 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
  - 11 PAINTED REDWOOD OR A.Y.C. TRIM--3X6 BELLYBAND
  - 12 FRONT DOOR, INSTAL PER MANUF. INSTRUCTIONS--MANUF: MODERN STEEL DOORS; STYLE: RAW STEEL SINGLE DOOR WITH DOORLITE; COLOR: DARK GRAY TARNISHED METAL--www.modernsteeldoors.com
  - 13 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO
  - 14 WINDOW/DOOR OPENING WITH SIMULATED DIVIDED LITES; GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
  - 15 OPENING THROUGH ROOF--WRAP ALL SIDES WITH FLEXIBLE SELF-ADHERED FLASHING AND LAP VERTICAL WALL SURFACES 8" MIN.
  - 16 STONE BASE 1'-0" x 1'-10" UP TO 2'-9" A.F.F. WITH 6" FIELD PAINTED STEEL BASE 1'-2" x 2'-0"
  - 17 FIELD PAINTED STEEL COLUMN--S.S.D. FOR MORE INFO
  - 18 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF: HINKLEY; STYLE: CASCADE 1830SK; COLOR: SATIN BLACK--www.hinkleylighting.com
  - 19 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED--www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
  - 20 OUTDOOR KITCHEN--OWNER TO PROVIDE SPECS
  - 21 PLANTER--MATCHING BOARD AND BATTEN
  - 22 BALCONY WALL FINISH--BOARD AND BATTEN

KEYNOTES	-	-

ELEVATION GRID LINE KEY

X	BASEMENT FINISH FLOOR = -11'-3"; +/90.18'
Y	BASEMENT CEILING HEIGHT (U.N.O.) = -1'-3"; +/100.18'
A	1ST FLOOR FINISH FLOOR = 0'-0"; +/ 101.43'
B	1ST FLOOR CEILING HEIGHT (U.N.O.) = 10'-0"; +/111.43'
C	FAMILY ROOM CEILING HEIGHT = 15'-0"; +/116.43'
D	2ND FLOOR FINISH FLOOR (U.N.O.) = 11'-3"; +/112.68'
E	2ND FLOOR CEILING HEIGHT (U.N.O.) = 19'-3"; +/ 120.68'
F	MASTER BR CEILING HEIGHT = 24'-3"; +/125.68'
G	PROPOSED BUILDING HEIGHT = 25'-3"; +/ 126.68'

ELEVATION GRID LINE KEY	-	-



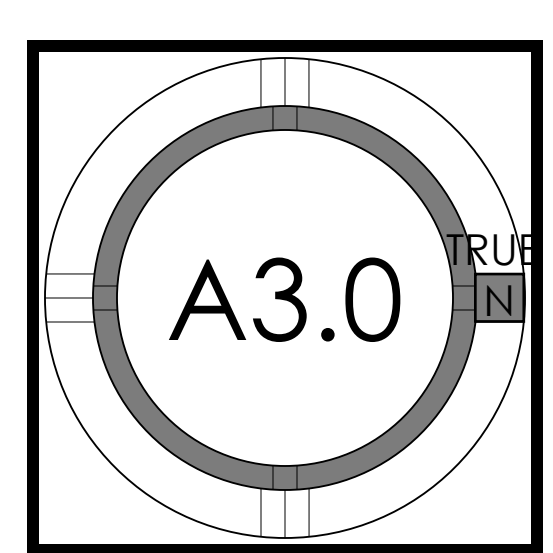
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EXTERIOR ELEVATIONS







WEST ELEVATION (REAR) 1/4" 1



SOUTH ELEVATION (LEFT) 1/4" 2

# = NUMBER OF KEYNOTE BELOW

- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
- 2 ASPHALT COMP SHINGLE ROOFING--SEE ROOF PLAN FOR MORE INFO
- 3 SKYLIGHT--SEE WINDOW SCHEDULE FOR MORE INFO
- 4 WOOD FRAMED CHIMNEY WITH 24" TALL METAL HOUSE ROOFED SHROUD--ROMANY--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION
- 5 PAINTED COLOR STEEL TROWELED IGNITION RESISTANT CEMENT PLASTER SYSTEM (SMOOTH FINISH) - 7/8" CEMENT PLASTER O/ METAL LATH O/ 2 LAYERS GRADE D' OR BETTER BUILDING PAPER, 3 COAT SYSTEM WITH 26 ga. WEEP SCREED AT WALL BASE AT LEAST 4" ABOVE GRADE OR 2" ABOVE HARDSCAPE-- SEE DETAILS [XX/XX]
- 6 FIELD PAINTED FIBER CEMENT LAP SIDING o/ 1 LAYER TYVEK HOUSE WRAP--MANUF.: JAMES HARDIE; STYLE: ARTISAN V-GROVE; EXPOSURE: 4"; STYLE: SMOOTH--www.artisanluxury.com--SEE DETAILS [XX/XX]; -SIDING TO CONFORM TO CRC TABLE 703.4--INSTALL PER MANUF. WARRANTY INSTRUCTIONS
- 7 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: ELDORADO STONE; STYLE: BLUFFSTONE; COLOR: COOS BAY; INSTALLATION STYLE: DRYSTACK; WAINSCOT SILL; SNAPPED EDGE; SILL COLOR: GRAY--www.eldoradostone.com--INSTALL PER MANUF. INSTRUCTIONS, ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
- 8 PAINTED BOARD AND BATTEN
- 9 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 BARGEBOARD AND 1x2 DRIP EDGE
- 10 PAINTED REDWOOD OR A.Y.C. TRIM--2x10 FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
- 11 PAINTED REDWOOD OR A.Y.C. TRIM--3X6 BELLYBAND
- 12 FRONT DOOR, INSTAL PER MANUF. INSTRUCTIONS--MANUF: MODERN STEEL DOORS; STYLE: RAW STEEL SINGLE DOOR WITH DOORLITE; COLOR: DARK GRAY TARNISHED METAL--www.modernsteeldoors.com
- 13 FACTORY-FINISHED ALUMINUM GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--SEE DOOR SCHEDULE FOR MORE INFO
- 14 WINDOW/DOOR OPENING WITH SIMULATED DIVIDED LITES: GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS--SEE WINDOW AND DOOR SCHEDULES FOR MORE INFO--DOORS AND WINDOWS TO HAVE 2" PAINT GRADE WOOD TRIM TYPICAL, U.N.O.
- 15 OPENING THROUGH ROOF--WRAP ALL SIDES WITH FLEXIBLE SELF-ADHERED FLASHING AND LAP VERTICAL WALL SURFACES 8" MIN.
- 16 STONE BASE 1'-0" x 1'-10" UP TO 2'-9" A.F.F. WITH 6" FIELD PAINTED STEEL BASE 1'-2" x 2'-0"
- 17 FIELD PAINTED STEEL COLUMN--S.S.D. FOR MORE INFO
- 18 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS--MANUF: HINKLEY; STYLE: CASCADE 1830SK; COLOR: SATIN BLACK--www.hinkleylighting.com
- 19 PIN MOUNTED LED ILLUMINATED ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 8"; STYLE: LUXELLO LED, MODERN NEUTRA HOUSE NUMBERS LED BACKLIT; FINISH: ANODIZED--www.surrounding.com/products/luxello--PROVIDE PHOTOSENSOR CONNECTED LED BACKLIGHTING @ EACH NUMBER
- 20 OUTDOOR KITCHEN--OWNER TO PROVIDE SPECS
- 21 PLANTER--MATCHING BOARD AND BATTEN
- 22 BALCONY WALL FINISH--BOARD AND BATTEN

ELEVATION GRID LINE KEY

X	BASEMENT FINISH FLOOR = -11'-3"; +/-90.18'
Y	BASEMENT CEILING HEIGHT (U.N.O.) = -1'-3"; +/-100.18'
A	1ST FLOOR FINISH FLOOR = 0'-0"; +/- 101.43'
B	1ST FLOOR CEILING HEIGHT (U.N.O.) = 10'-0"; +/-111.43'
C	FAMILY ROOM CEILING HEIGHT = 15'-0"; +/-116.43'
D	2ND FLOOR FINISH FLOOR (U.N.O.) = 11'-3"; +/-112.68'
E	2ND FLOOR CEILING HEIGHT (U.N.O.) = 19'-3"; +/- 120.68'
F	MASTER BR CEILING HEIGHT = 24'-3"; +/-125.68'
G	PROPOSED BUILDING HEIGHT = 25'-3"; +/- 126.68'

KEYNOTES	-	-
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ELEVATION GRID LINE KEY	-	-
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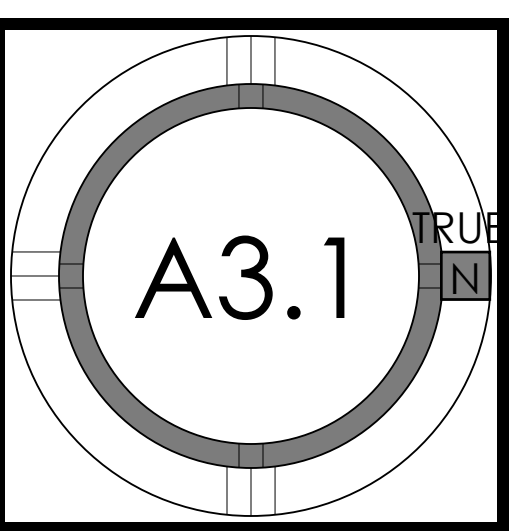
1000 S. Winchester Blvd  
San Jose, CA 95128  
P : (408) 998 - 0983  
F : (408) 404 - 0144

CAO RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1390 HOLLY AVENUE, LOS ALTOS, CA  
CAO SHU



PROJECT NO.	17-208
REGION	
DATE	09.30.2017
DATE	12.04.2017
DESCRIPTION	PLANNING PERMIT SUBMITTAL
DESCRIPTION	PLANNING PERMIT RESUBMITTAL
DRAWN BY	IV
DRAWN BY	IV

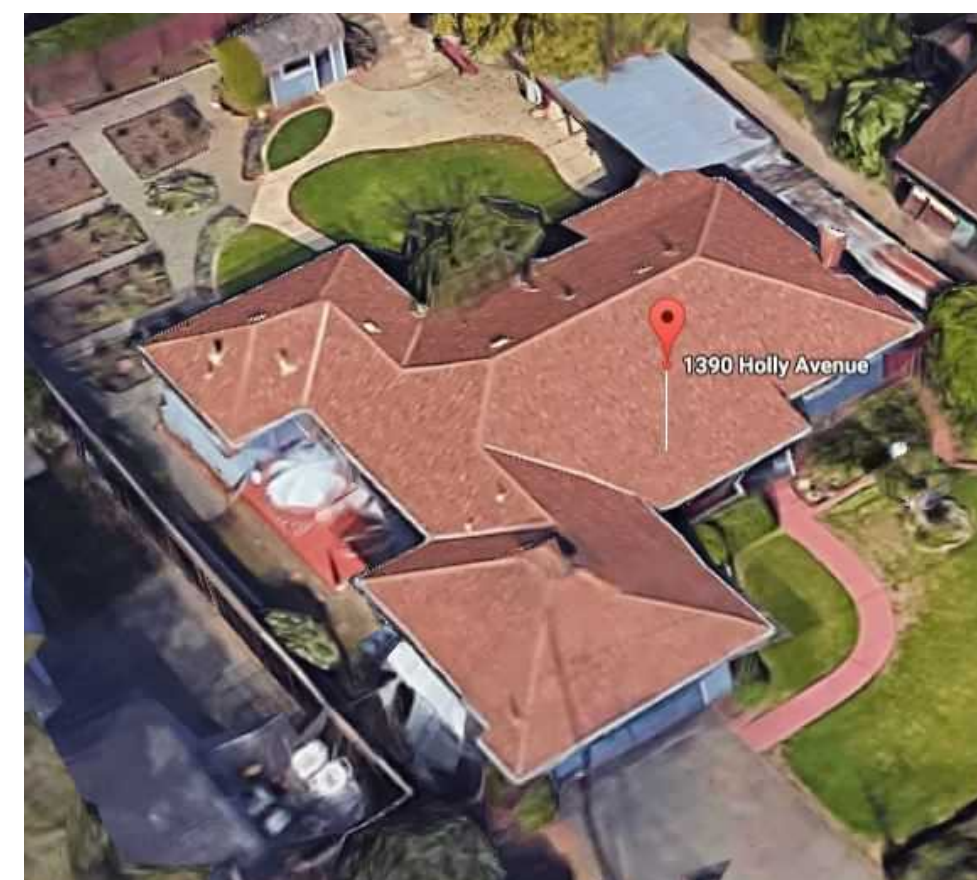
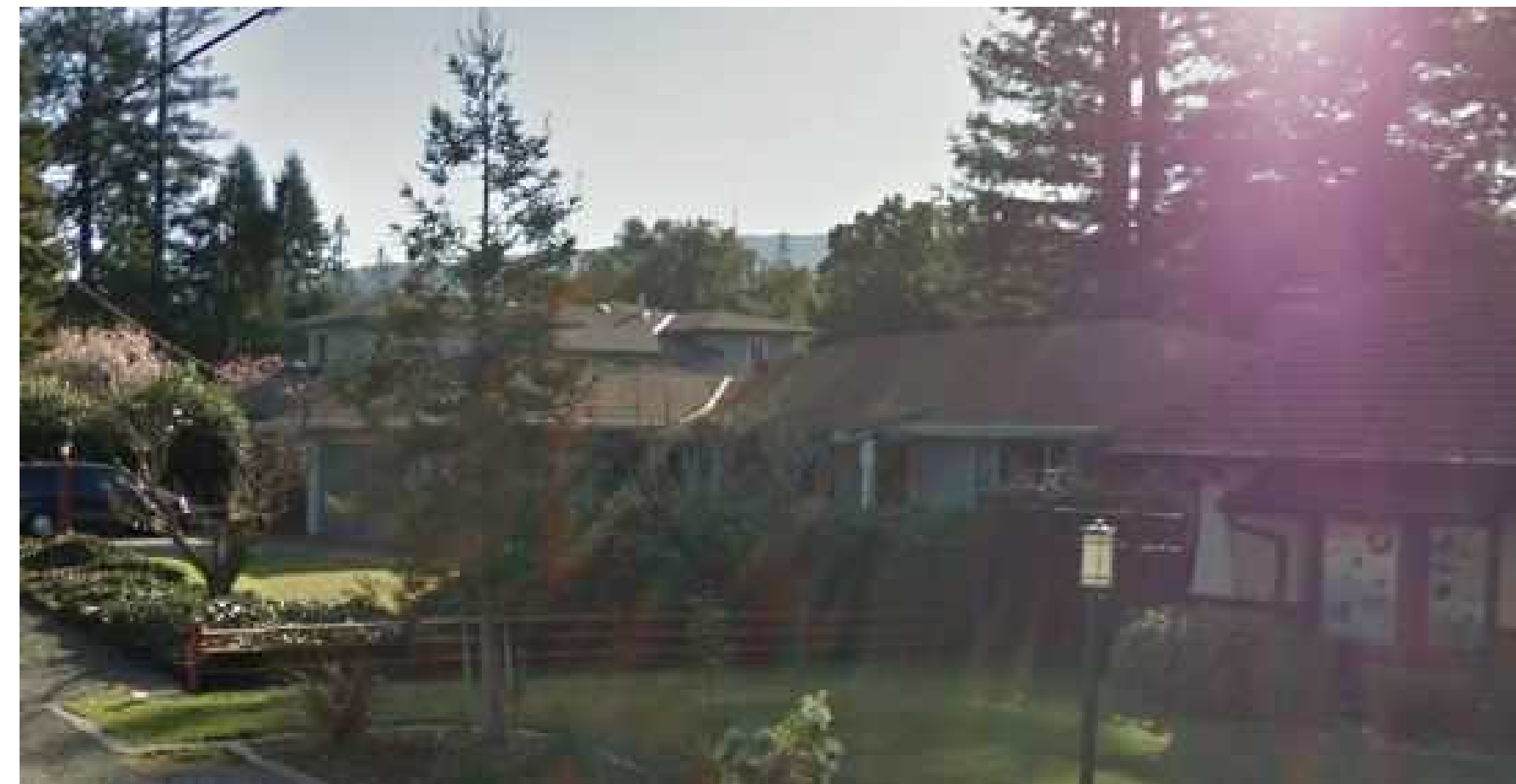
EXTERIOR ELEVATIONS







EXISTING FRONT ELEVATION - 1



EXISTING SIDE ELEVATIONS - 2

KEYNOTES - -



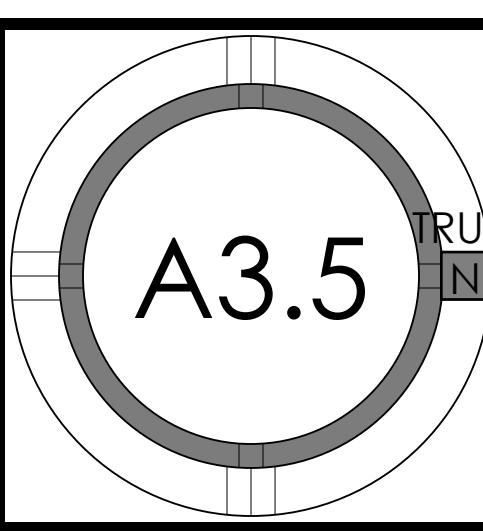
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CAO RESIDENCE  
 NEW SINGLE FAMILY RESIDENCE  
 1390 HOLLY ANEVEUE, LOS ALTOS, CA  
 CAO SHU

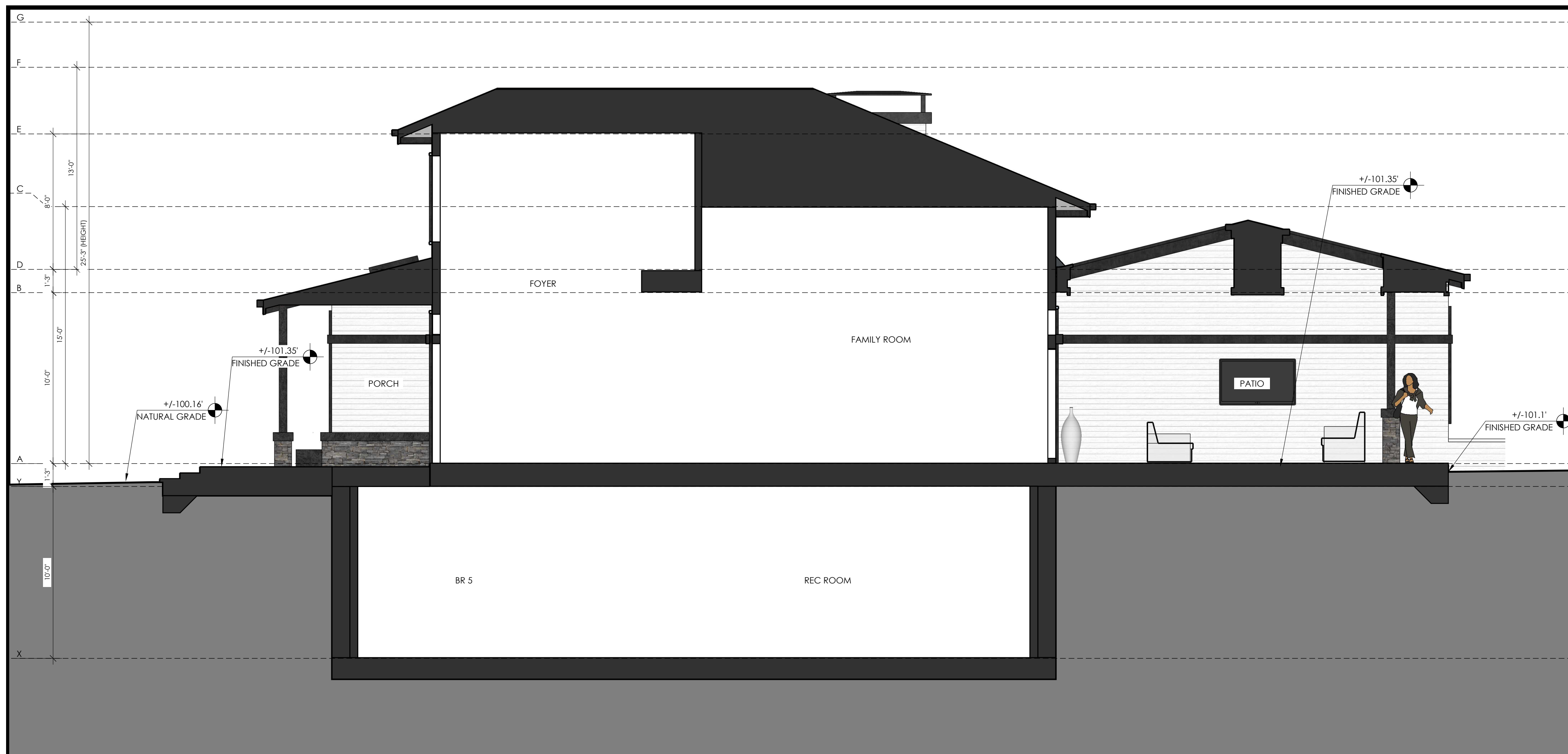


PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
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	12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

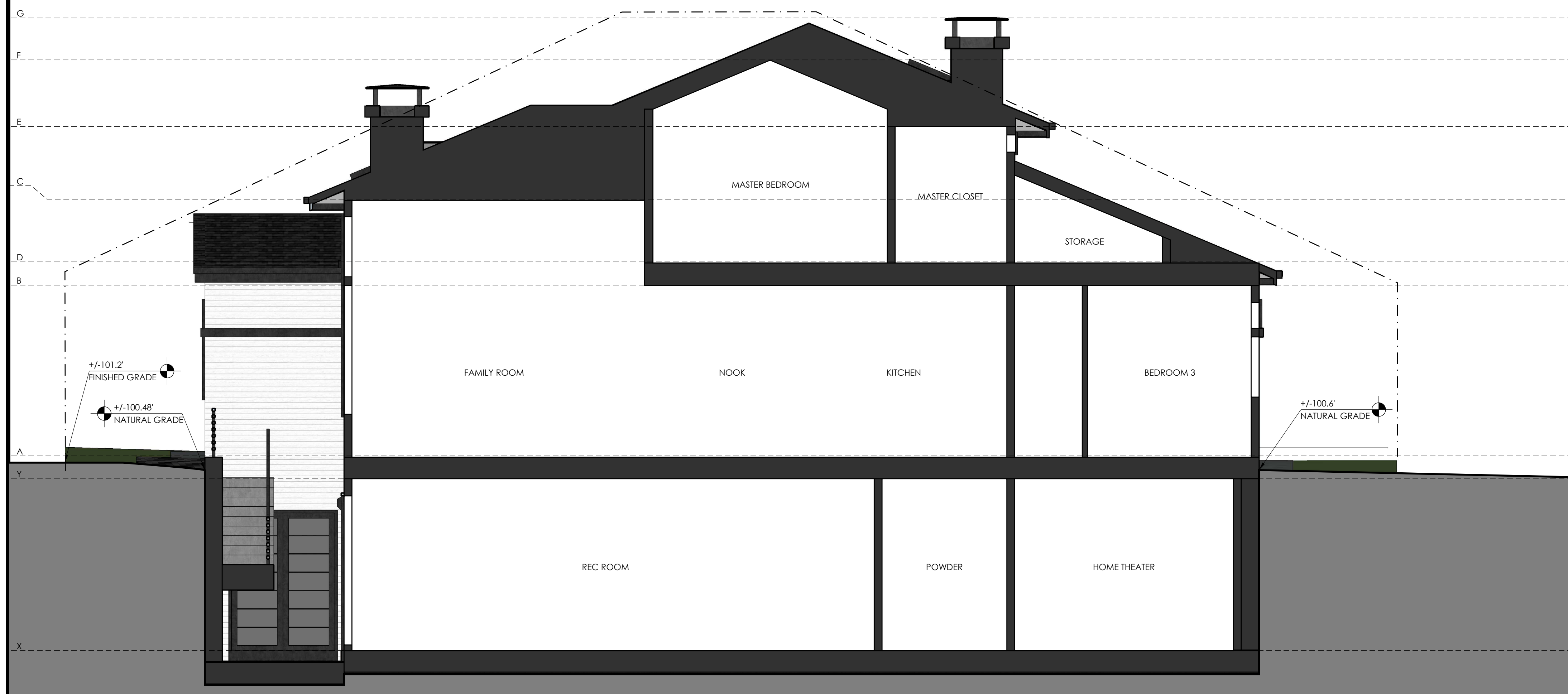
EXISTING ELEVATIONS







SECTION 1 1/4" 1



SECTION 2 1/4" 2

# = NUMBER OF KEYNOTE BELOW

- NOTES:
1. SEE 2/A0.1a FOR PLUMBING GENERAL NOTES
  2. SEE 3/A0.1a FOR MECHANICAL GENERAL NOTES
  3. SEE 3/A0.1a FOR ELECTRICAL GENERAL NOTES
  4. SEE 4/A0.1a FOR PLAN AND INTERIOR GENERAL NOTES
  5. SEE BID INSTRUCTIONS FOR INSULATION VALUES. INSULATION TO BE NOT LESS THAN AS INDICATED IN T24 REPORT

KEYNOTES	-	-
SEE EXTERIOR ELEVATIONS FOR ELEVATION GRID LINE KEY		
ELEVATION GRID LINE KEY	-	-



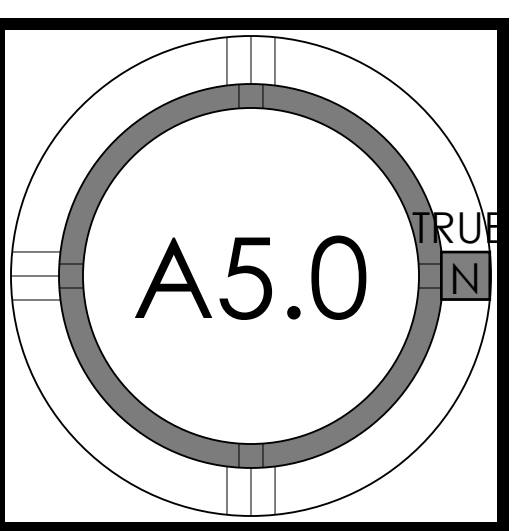
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 CAO SHU

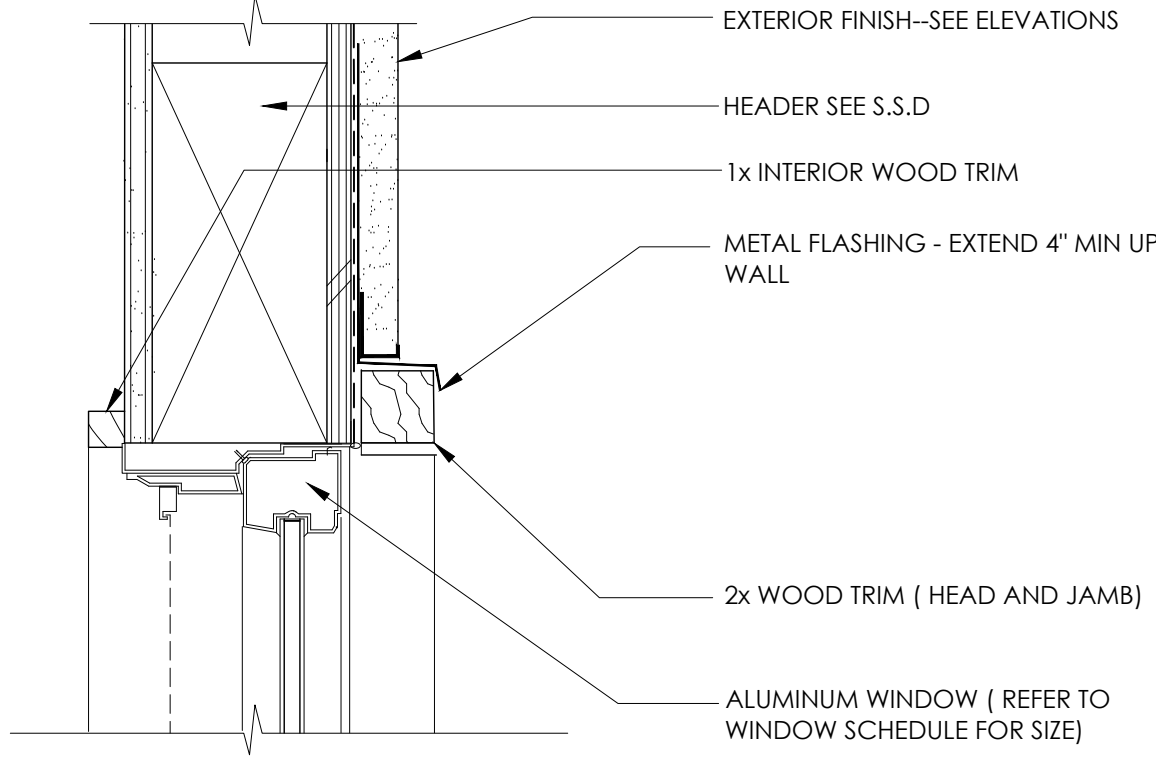
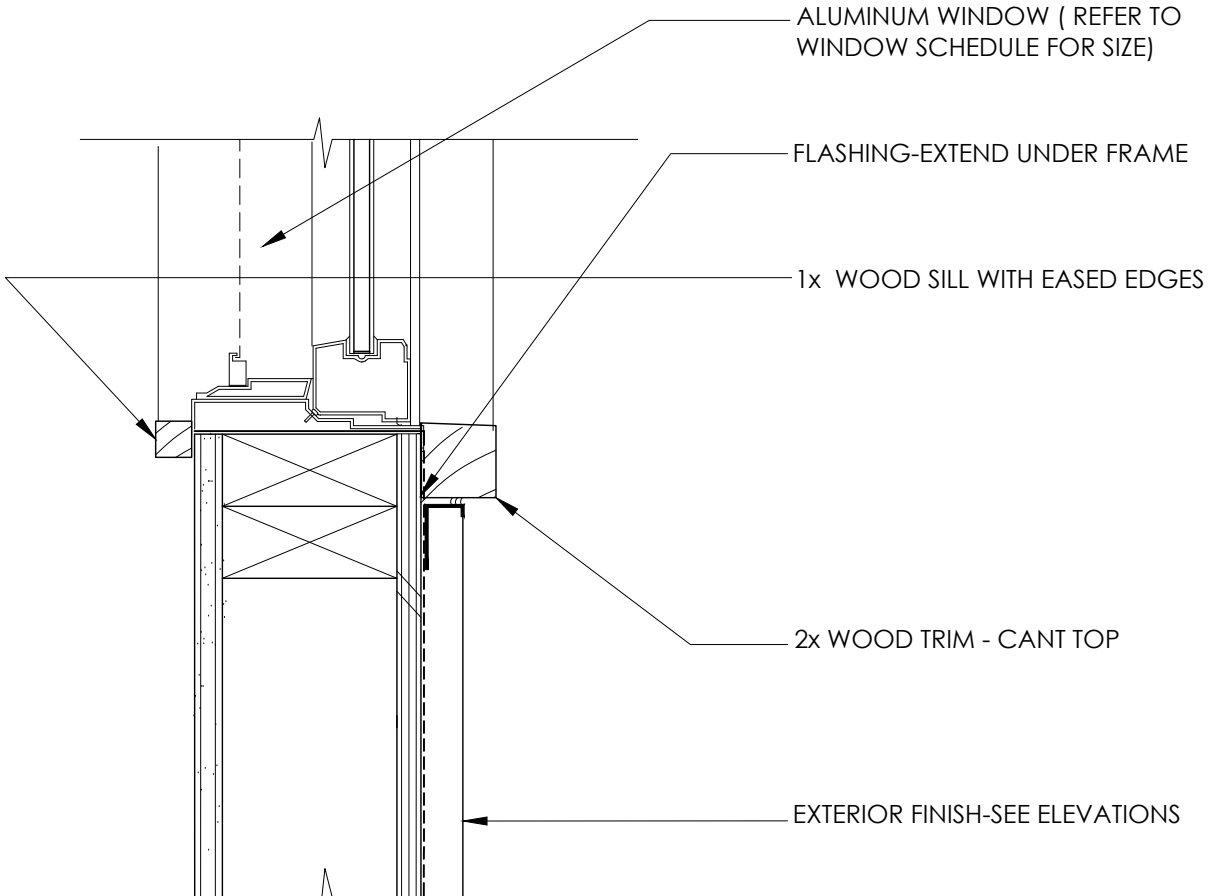


PROJECT NO.	DATE	DESCRIPTION	DRAWN BY
	09.30.2017	PLANNING PERMIT SUBMITTAL	IV
	12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

SECTIONS





					 <p>EXTERIOR FINISH-SEE ELEVATIONS  HEADER SEE S.S.D  1x INTERIOR WOOD TRIM  METAL FLASHING - EXTEND 4" MIN UP WALL  2x WOOD TRIM ( HEAD AND JAMB)  ALUMINUM WINDOW ( REFER TO WINDOW SCHEDULE FOR SIZE)</p>
13	9	5			<p>TYPICAL WINDOW HEAD 3" 1</p>  <p>ALUMINUM WINDOW ( REFER TO WINDOW SCHEDULE FOR SIZE)  FLASHING-EXTEND UNDER FRAME  1x WOOD SILL WITH EASED EDGES  2x WOOD TRIM - CANT TOP  EXTERIOR FINISH-SEE ELEVATIONS</p>
14	10	6			<p>TYPICAL WINDOW SILL 3" 2</p>
15	11	7			3
16	12	8			4



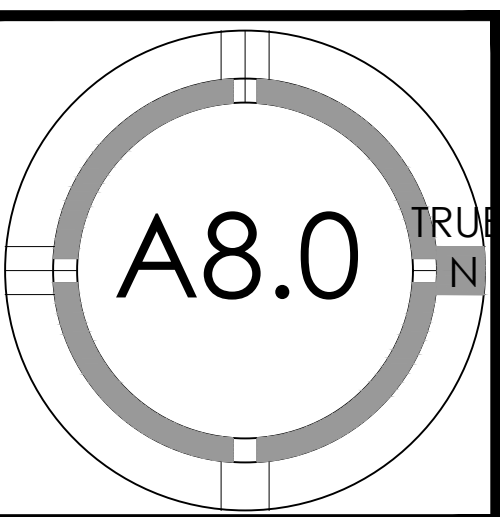
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CAO RESIDENCE  
NEW SINGLE FAMILY RESIDENCE  
1390 HOLLY AVENUE, LOS ALTOS, CA  
CAO SHU



17-008		PROJECT NO.
DATE	DESCRIPTION	DRAWN BY
09.30.2017	PLANNING PERMIT SUBMITTAL	IV
12.04.2017	PLANNING PERMIT RESUBMITTAL	IV

DETAILS





# CAO RESIDENCE

## 1390 HOLLY AVE.

### LOS ALTOS, CA

## LANDSCAPE CONCEPT

#### LOT COVERAGE CALCULATIONS:

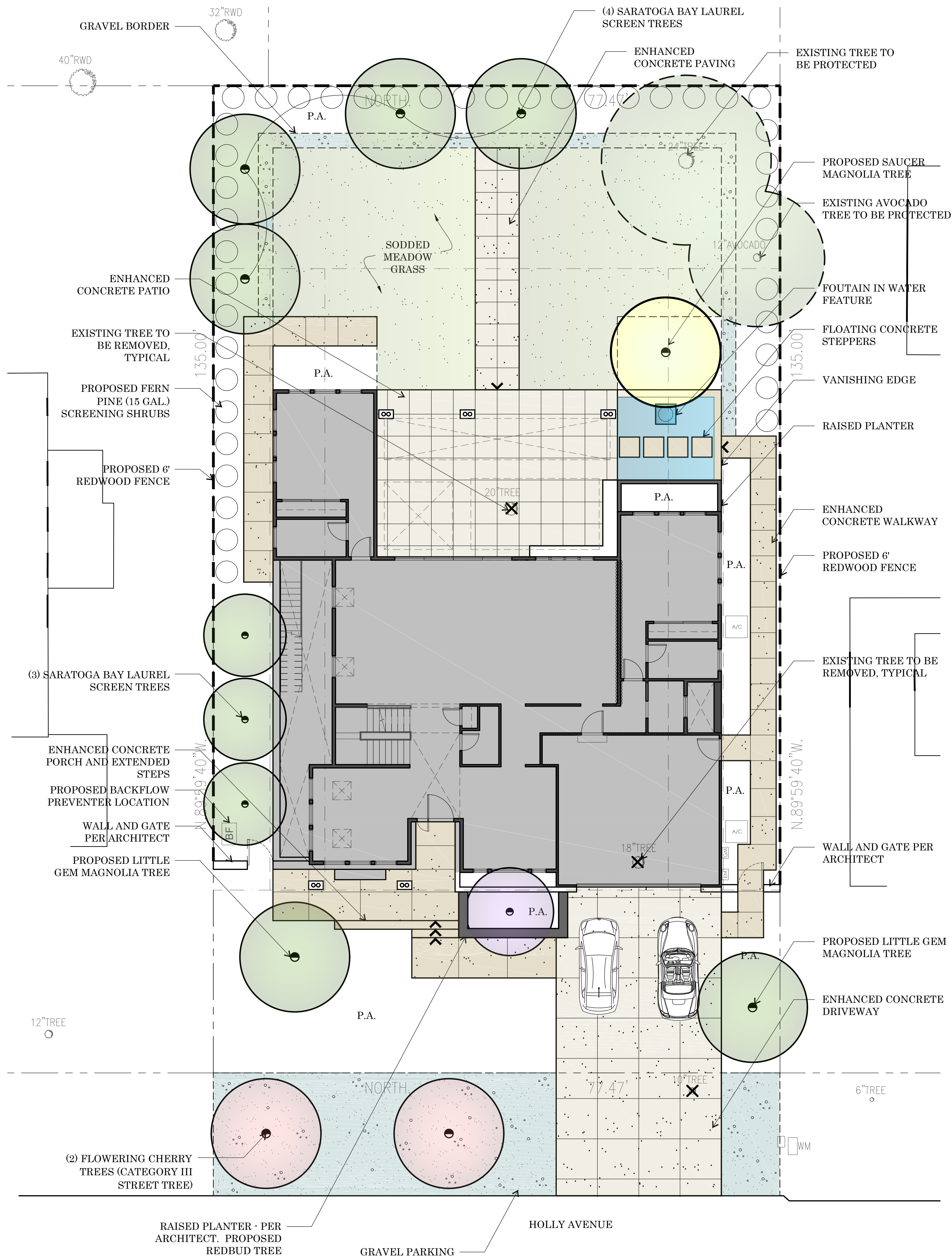
• NET LOT AREA -	10,458 SF
• HARDSCAPE COVERAGE: ARCHITECTURE -	3034 SF
• HARDSCAPE COVERAGE: LANDSCAPE -	2444 SF
• TOTAL SOFTSCAPE -	4980 SF
• FRONT YARD AREA -	1937 SF
• FRONT YARD HARDSCAPE -	862 SF (44.5%)

#### PRELIMINARY PLANT LIST:

BOTANICAL NAME	COMMON NAME
<b>TREES</b>	
CERCIS CANADENSIS 'ALBA'	WHITE REDBUD
GINKGO BILOBA	GINKGO TREE
LAURUS NOBILIS 'SARATOGA'	SARATOGA BAY LAUREL
MAGNOLIA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA
PRUNUS SERRULATA 'KWANZAN'	KWANZAN FLOWERING CHERRY
<b>SHRUBS</b>	
GAURA LINDHEIMERI	N. C. N.
LOMANDRA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH
LOROPETALUM 'PLUM DELIGHT'	CHINESE FRINGE FLOWER
MUHLENBERGIA DUBIA	PINE MUHLY
NANDINA DOM. 'GULF STREAM'	GULF STREAM HEAVENLY BAMBOO
RHAPHIOLEPIS UMBELLATA	YEDDO HAWTHORNE
WESTRINGIA F. 'SMOKEY'	SMOKEY COAST ROSEMARY
<b>GROUND COVER</b>	
CAREX TUMULICOLA	BERKELEY SEDGE
MUHLENBERGIA CAP. 'WHITE CLOUD'	WHITE AWN MUHLY
SALVIA GREGGII 'RED'	RED AUTUMN SAGE
WESTRINGIA F. 'LOW HORIZON'	LOW HORIZON COAST ROSEMARY
<b>VINES:</b>	
HARDENBERGIA VIOLACEA	LILAC VINE
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE

#### PRELIMINARY WATER BUDGET:

1390 HOLLY AVE, LOS ALTOS		ZONE	WATER USE	PF	METHOD	IE	ETAF	HA	ETAF*HA	ETWU
Eto	42.9	1 - SHRUB FRONT	L	0.2	DRIP	0.81	0.2	1,123	277	7,375
Total HA	4,885	2 - TREE FRONT	M	0.5	DRIP	0.81	0.6	200	123	3,284
Special HA	164	3 - SHRUB BACK	M	0.5	DRIP	0.81	0.6	1,533	946	25,170
ETAF Average	0.49	4 - TREE BACK	M	0.5	DRIP	0.81	0.6	320	198	5,254
ETAF Total	0.51	5 - SOD BACK	M	0.4	DRIP	0.81	0.5	1,545	763	20,293
<b>LS TOTALS</b>								<b>4,721</b>	<b>2,308</b>	<b>61,376</b>
<b>MAWA = (Eto) (0.62) [(0.55x LA)] + [(1-0.55) x SLA]</b>		SLA	WATER USE				ETAF	HA	ETAF*HA	ETWU
MAWA	73,425 Gallons	WATER FEATURE	HIGH				1.0	164	164	4,362
	9,816 HCF	<b>SLA TOTALS</b>						<b>164</b>	<b>164</b>	<b>4,362</b>
<b>ETWU=(Eto)(0.62)(ETAF)(AREA)</b>		SHRUB						4,721	100%	
ETWU	65,738 Gallons	LAWN (25% MAX.)						0	0%	



PRELIMINARY  
NOT FOR  
CONSTRUCTION

L-1 1/8" = 1'-0"

**T H NORTON**  
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1630 CONTRA COSTA BLVD.  
SUITE 216  
PLEASANT HILL CA 94523  
phone: 925 822 3085  
www.thnorton.com

PLOTS: 08/29/17, 09/07/17, 09/12/17, 12/07/17



# CAO RESIDENCE 1390 HOLLY AVE. LOS ALTOS, CA PLANTING SELECTION



**LITTLE GEM SOUTHERN MAGNOLIA**  
MATURE SIZE: 25' Hx25' W GROWTH: SLOW USE: SCREEN/ACCENT



**WHITE REDBUD**  
MATURE SIZE: 15' Hx15' W GROWTH: SLOW USE: SPECIMEN



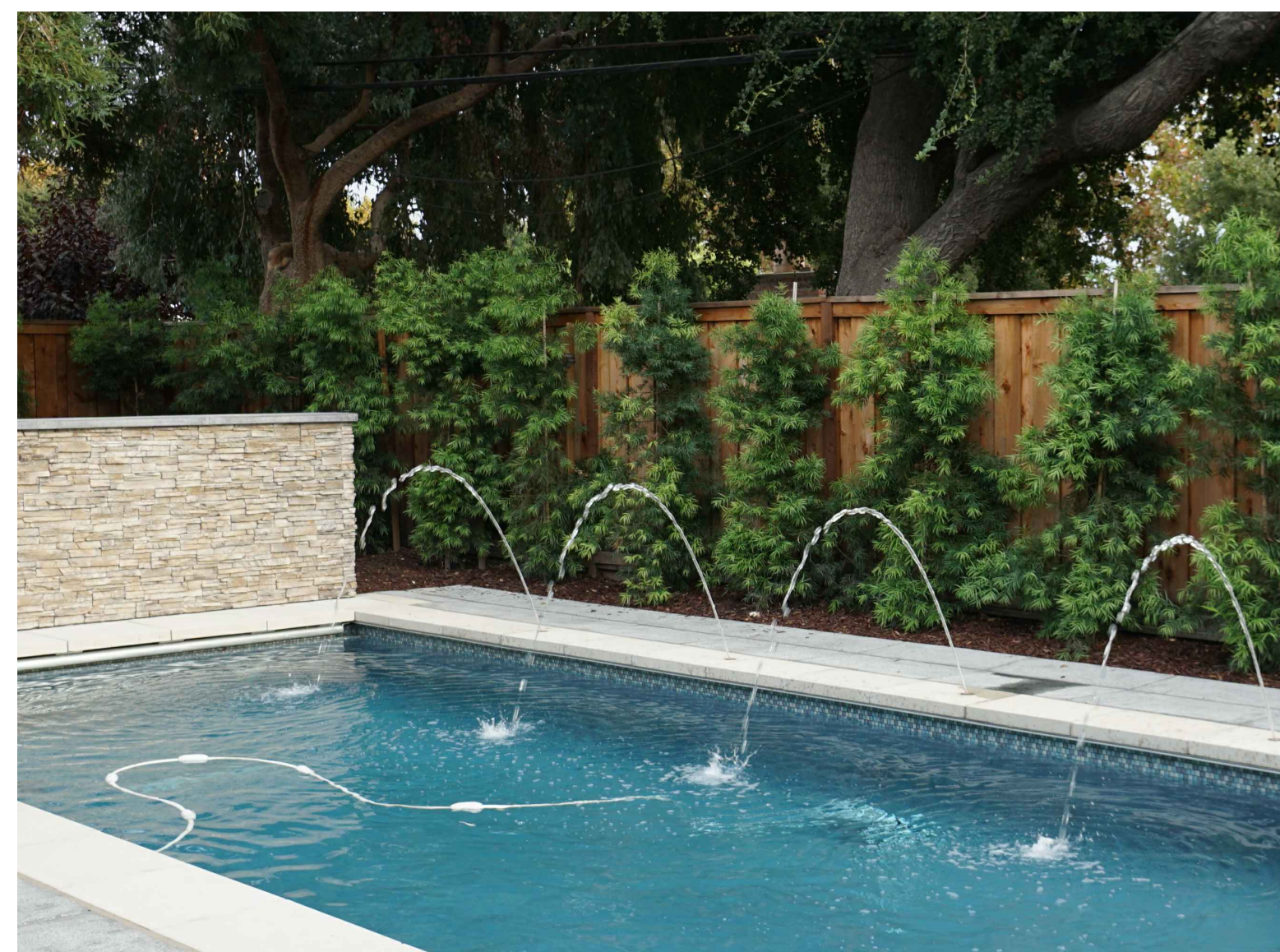
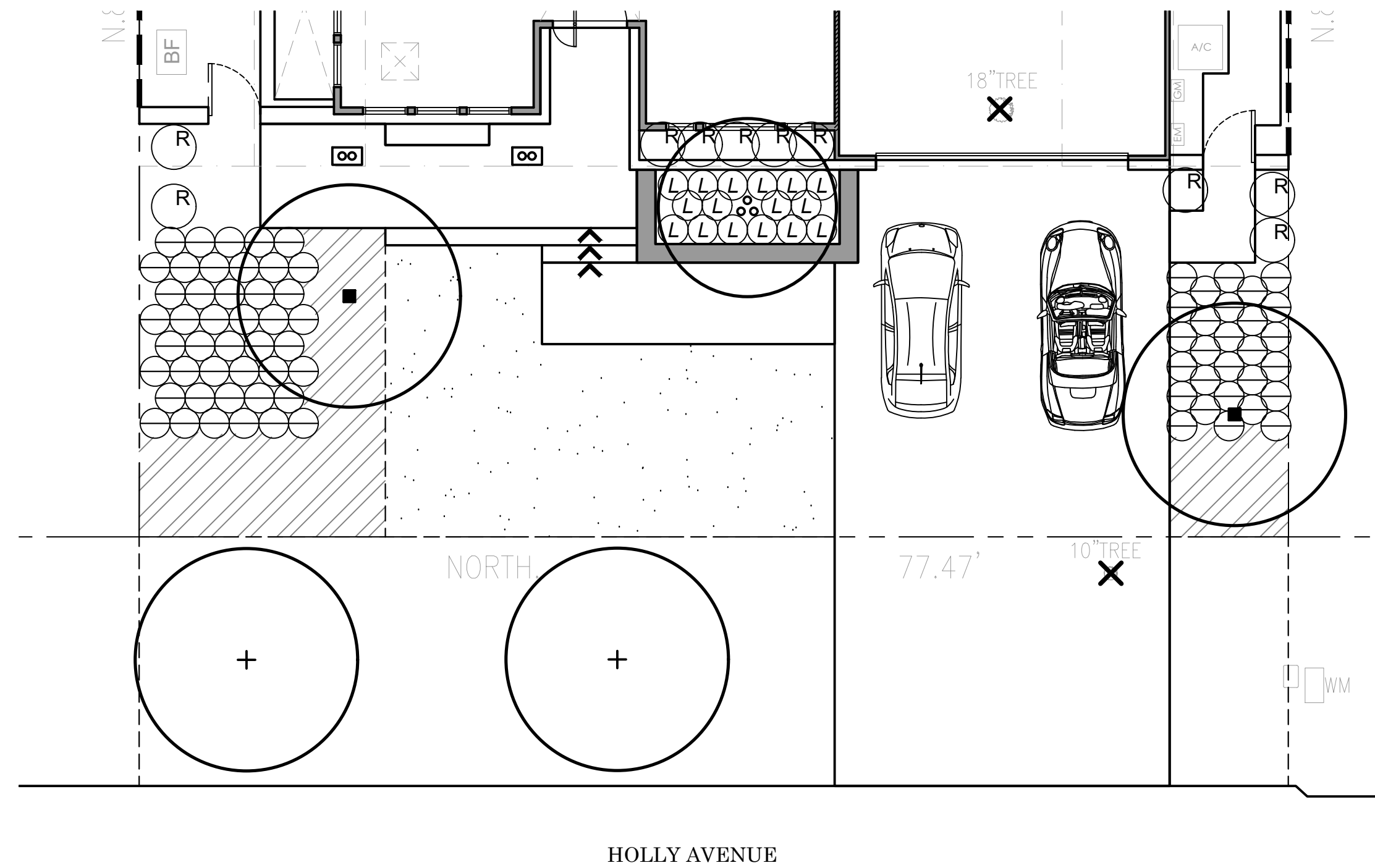
**KWANZAN FLOWERING CHERRY**  
MATURE SIZE: 20' Hx15' W GROWTH: MODERATE USE: STREET TREE



**SARATOGA BAY LAUREL**  
MATURE SIZE: 20' Hx15' W GROWTH: MODERATE USE: SCREEN



**SAUCER MAGNOLIA**  
MATURE SIZE: 25' Hx25' W GROWTH: MODERATE-FAST USE: SPECIMEN



**FERN PINE**  
MATURE SIZE: 15' Hx5' W GROWTH: FAST USE: SCREEN

## PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	QTY.	WUCOLS	NOTES
<b>TREES</b>					
⊗ CERCIS CANADENSIS 'ALBA'	WHITE REDBUD	24" BOX MULTI.	1	LOW	BEST AVAILABLE
+ PRUNUS SERRULATA 'KWANZAN'	FLOWERING CHERRY	24" BOX STD.	2	MODERATE	CAT. III STREET TREE
■ MAGNOLIA G. 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	24" BOX STD.	2	MODERATE	BEST AVAILABLE
<b>SHRUBS</b>					
⊗ LOMANDRA L. 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	5 GALLON	16	LOW	
⊗ MUHLENBERGIA DUBIA	PINE MUHLY	5 GALLON	72	LOW	
⊗ RHAPHIOLEPIS UMBELLATA	YEDDO HAWTHORN	5 GALLON	10	LOW	
<b>GROUNDCOVER</b>					
⊗ SALVIA GREGGII 'RED'	RED AUTUMN SAGE	1 GAL @ 24" O.C.	70	LOW	240 SF
<b>SEED MIX</b>					
⊗ DELTA BLUEGRASS 'NATIVE MOW FREE' SOD		SOD	465 SF	LOW	

SUNSET ZONE: 15

PRELIMINARY  
NOT FOR  
CONSTRUCTION

L-2 1/8" = 1'-0"

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phone: 925 822 3085  
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## PLANTING PLAN - FRONT YARD

PLOTS: 12/07/17



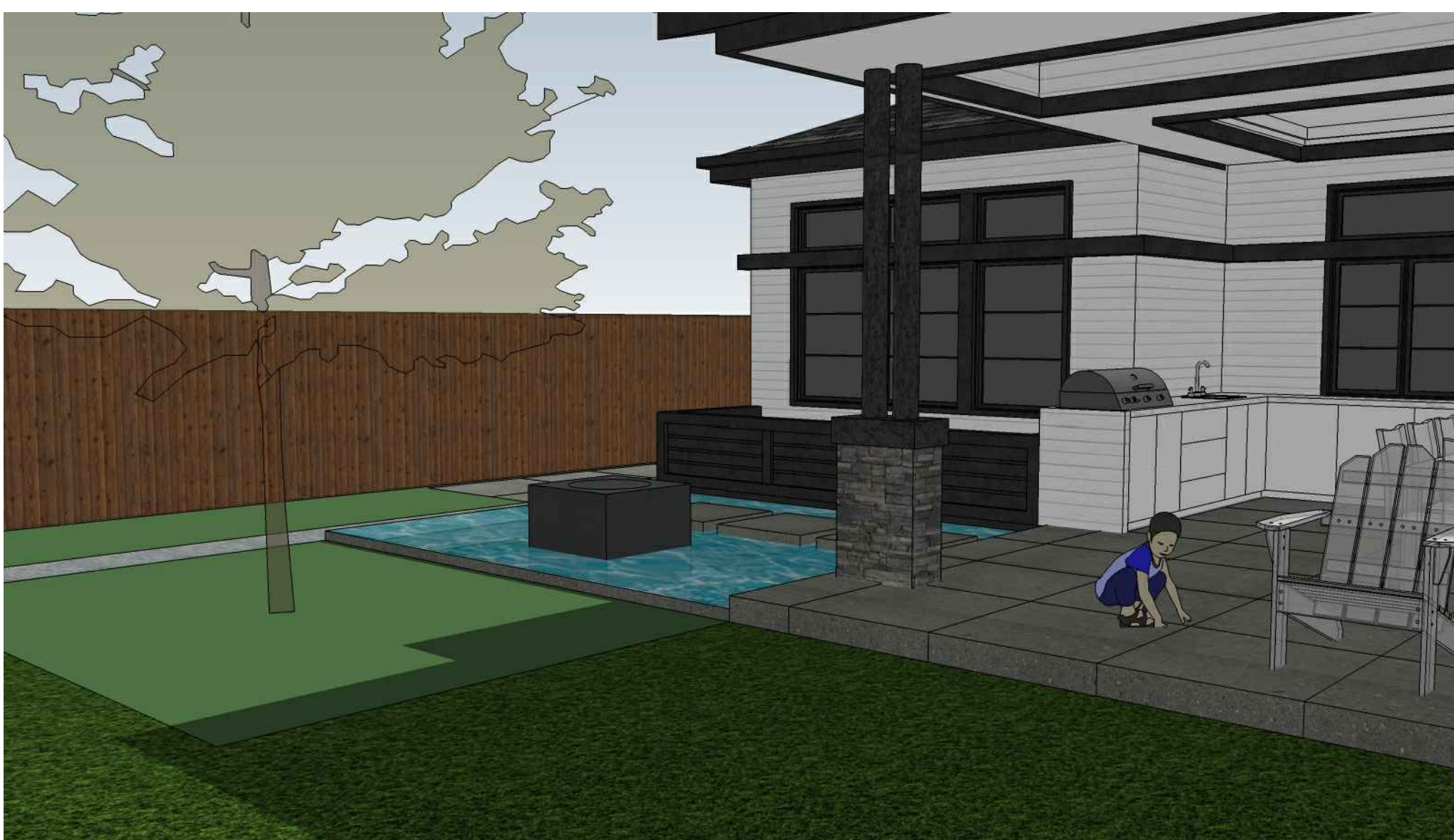
*CAO RESIDENCE  
1390 HOLLY AVE.  
LOS ALTOS, CA  
LANDSCAPE IMAGERY*



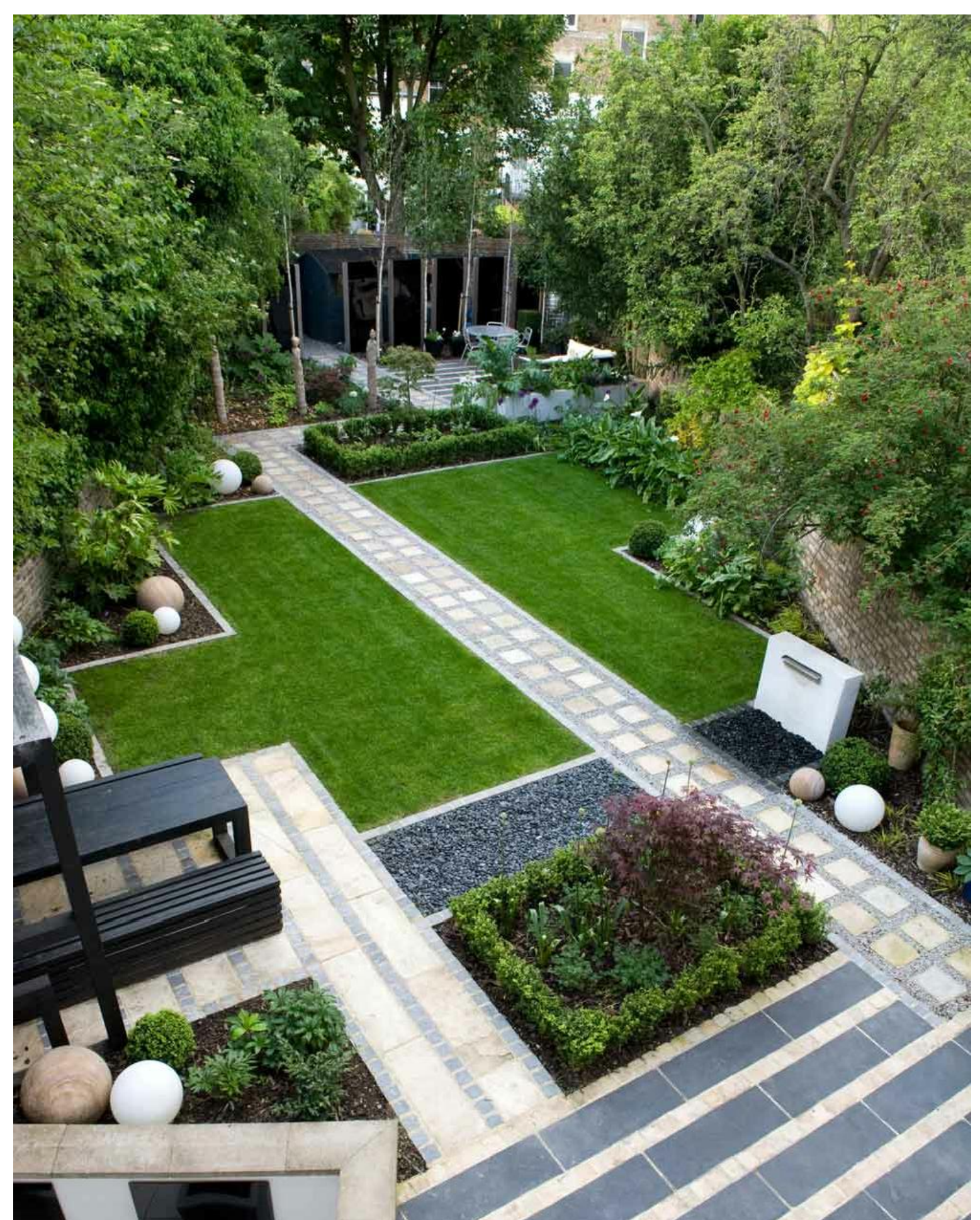
*FRONT YARD*



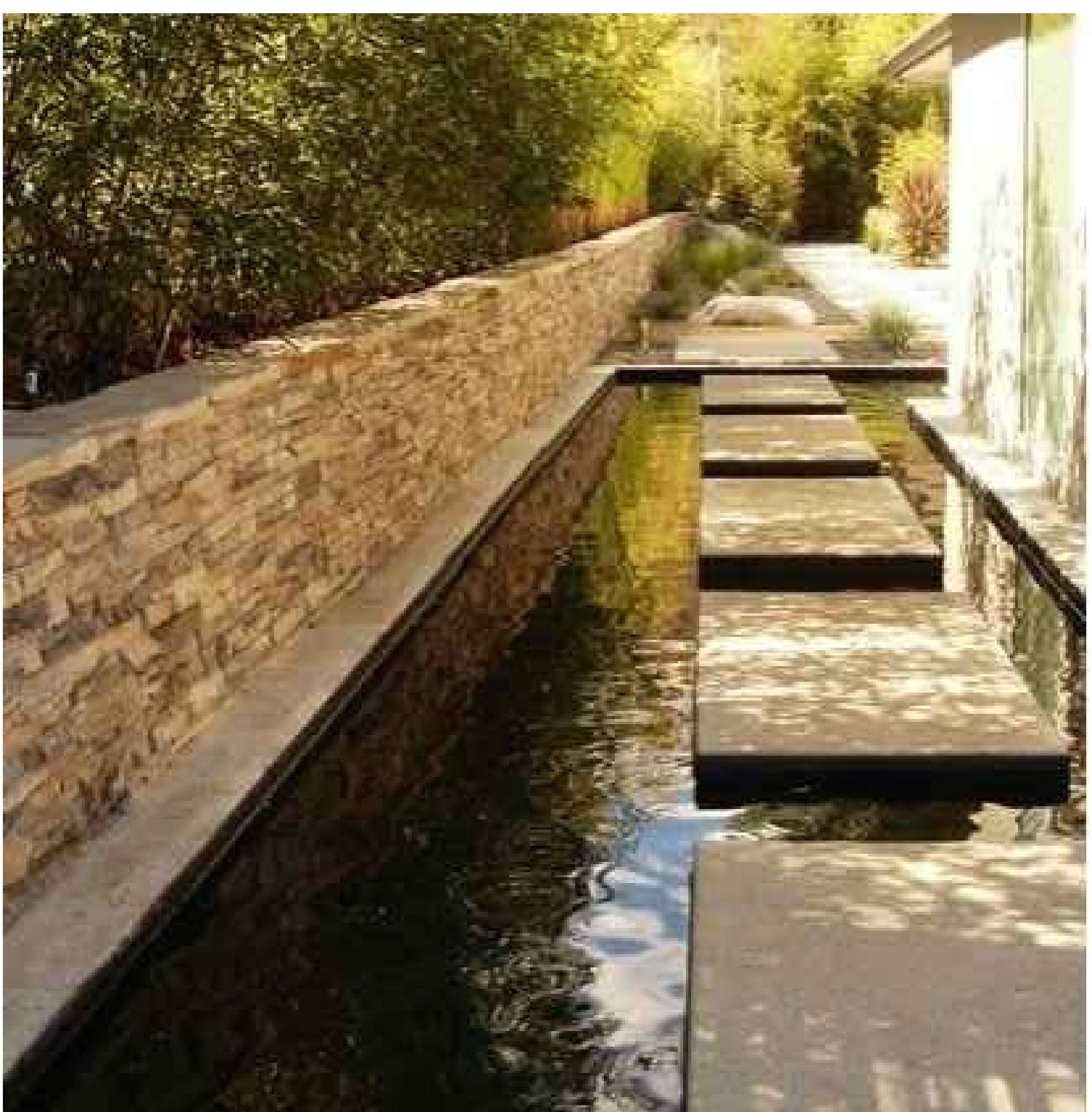
*BACK YARD - WATER FEATURE*



*BACK YARD - WATER FEATURE*



*DESIGN INSPIRATION*



*WATER FEATURE WITH FLOATING STEPPERS*



*FOUNTAIN*

*PRELIMINARY  
NOT FOR  
CONSTRUCTION*

*L-3*  
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*PLOTS: 12/07/17*