



DISCUSSION ITEM

Agenda Item # 5

AGENDA REPORT SUMMARY

Meeting Date: August 25, 2020

Subject: Resolution No. 2020-32: Appeal of a Design Review Application – 126 Mount Hamilton Avenue

Prepared by: Calandra Niday, Assistant Planner

Reviewed by: Jon Biggs, Community Development Director

Approved by: Chris Jordan, City Manager

Attachments:

1. Resolution No. 2020-32
2. Project Plans
3. Neighbor Appeal Letter
4. Design Review Commission Agenda Report, May 20, 2020
5. Design Review Commission Meeting Minutes, May 20, 2020
6. Vicinity and Notification Maps

Initiated by:

Eugene M. Hyman at 142 Mount Hamilton Avenue, Appellant

Previous Council Consideration:

None

Fiscal Impact:

None

Environmental Review:

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Policy Question for Council Consideration:

- Does the Council concur with the findings made by the Design Review Commission to approve the two-story residence at 126 Mount Hamilton Avenue?

Summary:

- October 2, 2019 – Design Review Commission directed the applicant to modify the project.
- April 15, 2020 – The project was approved by the Design Review Commission; however, technical issues interfered with members of the public being able to access the Ring Central Meeting. Due to this, the item was rescheduled for consideration at another meeting.

Reviewed By:

City Manager

City Attorney

Finance Director



Subject: Appeal of a Design Review Approval for a Two-Story Residence at 126 Mount Hamilton Avenue

- On May 20, 2020 – The Design Review Commission reconsidered the project at a public hearing and voted to approve a design review application for a new two-story house at 126 Mount Hamilton Avenue.
- On June 1, 2020 – The neighbor, Eugene M. Hyman, at 142 Mount Hamilton Avenue, filed an appeal of the Design Review Commission’s action. Given this, the City Council is now considering the design review application.

Staff Recommendation:

Adopt Resolution No. 2020-32 upholding the Design Review Commission’s approval of Design Review Application SC19-0010 subject to the recommended findings and conditions.

Purpose

This is an appeal of an approval decision made by the Design Review Commission for the Design Review Application SC19-0010.

Background

This is an appeal of the design review approval for a new two-story house. The project includes demolition of the existing house and the construction of a new two-story house with a basement. The new two-story residence includes 2,740 square feet on the first story, 1,206 square feet on the second story and a 2,704 square-foot basement, which does not count towards the floor area of the site.

The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION:	Single-Family Medium Lot
ZONING:	R1-10
PARCEL SIZE:	11,974 square feet
MATERIALS:	Metal panel simulated shake roofing, Hardieplank lap siding, stone veneer, wood and glass garage door, clad wood windows, bronze exterior lighting and wood trim details

	Existing	Proposed	Allowed/Required
COVERAGE:	2,304.2 square feet	3,559.1 square feet	3,592.2 square feet
FLOOR AREA:			
First floor	2,238.5 square feet	2,740.4 square feet	
Second floor	-	1,205.9 square feet	
Total	2,238.5 square feet	3,946.3 square feet	3,947.4 square feet



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SETBACKS:

Front	29.9 feet	27.8 feet	25 feet
Rear	55.9 feet	52.4 feet	25 feet
Right side (1 st /2 nd)	9.8 feet/-	14.42 feet/23.8 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	9.9 feet/-	13.42 feet/20.5 feet	10 feet/17.5 feet

HEIGHT: 15.6 feet 25.8 feet 27 feet

On October 2, 2019, the Design Review Commission held a public meeting to consider the proposed project. Three neighbors spoke in opposition to the project, raising concerns about size and scale of the proposed residence and the compatibility with the surrounding neighborhood. Although the Commission expressed general support for the project, concerns were raised about the bulk and mass of the second story and overall neighborhood compatibility. Following their discussion, the Commission voted unanimously to continue the application to a future meeting and directed the applicant to address the following:

1. Compatibility with the neighborhood;
2. Communicate the proposed design with the neighbors;
3. Include the streetscape rendering with the proposed house; and
4. Consider reducing the mass and bulk of the project and potentially reduce the second story.

On April 15, 2020, the Design Review Commission held a virtual public hearing to consider the revised design. The applicant responded to the Design Review Commission's suggestions at the October 2nd meeting by completing the following design revisions:

1. Addressed compatibility with the neighborhood:
 - Modified the roofing material to match the neighboring properties by replacing the standing seam metal roof to metal panel simulated shake roof.
 - Proposed similar neutral color palette to match the surrounding homes within the neighborhood.
 - Proposed modest plate heights of 9 feet at the first story and 8 feet at the second story to stay consistent with the eave lines of the surrounding residences.
2. Conducted additional outreach to neighboring properties by dropping off 11x17 printed copies of the updated Site Plan, Elevations and a letter summarizing the changes made since the last meeting.
3. Provided a streetscape design with the revised plans to evaluate the proposed project in its neighborhood context.
4. Reduced the visual bulk and mass of the second story by revising the following:
 - Lowered the height of the front entry feature which allowed the second story wall above the entry to be pushed back 4.2 feet



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5.
 - Pushed back bedroom number 2 by 3 feetReduced the amount of front and side facing glazing to minimize privacy concerns by the following:
 - Changed the bay window in bedroom number 3 to be rear facing
 - Reduced the windows on the right side (west elevation) from five windows to four windows with sill heights of 4.2 feet and 6.6 feet
 6. The second story side yard setbacks on the right side was increased from approximately 22.8 feet to 23.8 feet, which exceeds the minimum standard of 17.5 feet.
 7. Relocated the pool equipment to the rear yard to be away from the neighboring property at 100 Mount Hamilton Avenue
 8. Added an elevator to service all levels to accommodate multi-generational living

During the hearing on this project, technical issues interfered with members of the public being able to access the Ring Central Meeting. Due to this, the item was rescheduled for consideration at a future meeting. At the reconsideration of the project at the Design Review Commission's meeting of May 20, 2020, three neighbors spoke in opposition to the project, raising concerns about excessive bulk and mass of the second story and compatibility of a two-story house with the neighborhood character. A majority of Commission members expressed support for the project, noting that the revised design addressed the Commission's concerns and met the intent of its direction. The dissenting Commissioner's noted that although the changes addressed the Commission's direction, the bulk of the second story had not been significantly reduced to match the character of the neighborhood. Following the discussion, the Commission voted 3-2 to approve the project subject to the findings and conditions listed in the staff report. A copy of the project plans as well as the Design Review Commission agenda report and meeting minutes are all attached for reference (Attachment 2, 4, and 5).

Discussion/Appeal

Following the action taken by the Design Review Commission to approve the new two-story house, an appeal was filed by the adjacent neighbor at 142 Mount Hamilton Avenue. The appeal notes that the project is inconsistent with the character of the adjacent neighborhood. The appellant's appeal letter, Attachment 3, asserts three main points to support this:

- (1) The neighborhood is considered to be the full block of seven homes with the addresses of 100 through 190 Mount Hamilton Avenue;
- (2) All homes in the neighborhood are one-story ranch-style homes; and
- (3) Many of the homes have been re-modeled over the years and have kept to one-story. The appeal letter, which is included as Attachment 3, provides additional information regarding the appeal.

- (1) The neighborhood is considered to be the full block of seven homes at the address of 100 through 190 Mount Hamilton Avenue.



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The City's Zoning Code does not address what constitutes a neighborhood and the site is not located within a single-story overlay district. The zoning code provides site development standards for two-story homes and while there may be just a few in the vicinity of the subject site, they are not prohibited. The Design Review Commission did recommend, and the applicant incorporated, alterations to the project that it believed provided for a structure that was compatible with the surrounding homes.

(2) All homes in the neighborhood are one-story ranch-style homes;

In response to appellant statement #2, second story homes can be found at the following sites: 72 View Street, 131 Hamilton Court, and 172 Hamilton Court. The Residential Design Guidelines recognizes that Los Altos is predominantly low-scale ranch-style homes; however, the design policies and implementation techniques in the handbook are not meant to discourage individual designs. Page 8 of the Residential Design Guidelines states:

“these guidelines are not intended to prescribe a specific style, nor to limit development to one story in height.”

The mechanism to maintain single-story homes in a single-family neighborhood is by applying for a Single-Story Overlay District. The neighbors were made aware of this option to pursue a Single-Story Overlay District at the first Design Review Commission meeting on October 2, 2019 and were again reminded at subsequent meetings.

The project complies with the current zoning regulations for a property in a R1-10 District. The setback requirements for this lot are side setbacks of 10 feet for the first story and 17.5 feet for the second story and front and rear setbacks of 25 feet. The applicant is proposing increased setbacks on the right side of 14.4 feet on the first story and 22.8 feet on the second story and increased side setbacks on the left side of 15.3 feet on the first story and 20.5 feet on the second story. The applicant is also proposing increased front and rear yard setbacks of 27.8 feet at the front and 52.4 feet at the rear. The maximum height limit is 27 feet for a two-story and the applicant is proposing an overall height of 25.8 feet. The project also complies with the City's daylight plane, lot coverage, and floor area ratio requirements for a property in a R1-10 District.

The applicant addressed neighborhood compatibility at both Design Review Commission meetings in April and May of 2020. The project proposes modest plate heights of 9 feet at the first story and 8 feet at the second story to stay consistent with the eave lines of the surrounding residences. The first story eave height of the proposed residence is consistent with the eave height of the neighboring properties. The proposed residence also uses a similar neutral color palette to match the surrounding homes within the neighborhood. The use of horizontal siding and stone wainscoting as the



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predominant exterior materials maintains a relationship with the facades seen in the neighborhood context.

In terms of the basement, the project complies with the Los Altos Municipal Code. The proposed basement does not exceed the square footage of the main story with 2,740 square feet on the first story and 2,704 square feet at the basement. Per the Municipal Zoning Code Section 14.06.090, basements are not considered a story and therefore, the square footage does not count towards the floor area ratio. The square footage of the basement is below grade and not seen from public view which reduces the perception of bulk, mass, and scale of the development.

(3) Many of the homes have been re-modeled over the years and have kept to one-story.

In response and as previously mentioned, if the neighborhood wants to keep the overall rural residential look and feel of a one-story neighborhood, the application of a Single-Story Overlay District could be applied for. If adopted, this would not apply to the current development project, but it would apply to future development in the area and limit that development to one-story homes. The appellants concern with a two-story building were raised at previous public meetings and overall, the Commission acknowledged them, but noted that the project, as conditioned, reasonably addressed the issues and satisfied the City's design review findings. The required design review findings and project's conditions of approval are included in this report.

Options

- 1) Deny the appeal of Design Review Application SC19-0010 and uphold the Design Review Commission's approval subject to the recommended findings and conditions.

Advantages: The property owners would be allowed to construct the proposed two-story residence on their property at 126 Mount Hamilton Avenue.

Disadvantages: The property owner will not be able to construct the proposed two-story residence on their property at 126 Mount Hamilton Avenue.

- 2) Approve the appeal by denying the project or uphold the appeal in part by requiring the applicant to modify the project and return to Council with a revised project that addresses identified concerns.

Advantages: The property owner will not be able to construct the proposed two-story residence on their property at 126 Mount Hamilton Avenue. A revised design would be required if the property owners continue to pursue new construction.



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Disadvantages: The property owners would be allowed to construct a two-story residence on their property at 126 Mount Hamilton Avenue as currently proposed and approved.

Recommendation

The Design Review Commission recommends Option 1.



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FINDINGS

SC19-0010 – 126 Mount Hamilton Avenue

With regard to the new two-story house, the City Council finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed structure complies with all provision of this chapter in that it meets site development standards related to height, setbacks, floor area ratios, and other standards for development that are specified in the Municipal Code;
- b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions because it has been built at the height limits and at locations identified by the Municipal Code and is compatible with neighboring properties as demonstrated by a streetscape plan provided by the project architect, which includes the proposed;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas as demonstrated by the proposed landscaping and site elevation plans included with the project packet;
- d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass because it complies with the height limits of the zone district in which it is located and proposes plate heights on the first and second levels that relate well to the wall plate heights of other residential structures in the area;
- e. As modified, the general architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements, such roofing material and exterior materials, have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings. The use of metal panel simulated shake roofing as well as horizontal siding and stone wainscoting as the predominant exterior materials maintains a relationship with the facades seen in the neighborhood context. The proposed design uses a similar neutral color palette to match the surrounding homes within the neighborhood. As demonstrated in the streetscape, the lowered front entry element and wall plate heights on the first



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and second levels stay consistent with the horizontal eave line of the surrounding neighboring properties; and

- f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection as evidenced by the proposed elevations and grading plan.



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CONDITIONS

SC19-0010 – 126 Mount Hamilton Avenue

GENERAL

1. **Expiration**

The Design Review Approval will expire on May 20, 2022 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

This approval is based on the original plans and materials received on April 1, 2019 and then resubmitted on February 3, 2020, except as may be modified by these conditions.

3. **Pool Equipment Relocation**

Relocate the pool equipment along the rear elevation. The swimming pool motor and equipment are required to be enclosed within a noise attenuating structure.

4. **Protected Trees**

As shown in the site plan, Trees Nos. 1-8, 10, 12-15, and 17-19 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

5. **Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. **New Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

7. **Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.



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8. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

9. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED IN BUILDING PERMIT PLAN SUBMITTAL

10. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

11. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

12. Tree Protection Note

On the Site Plan, show all tree protection fencing around Trees Nos. 1-8, 10, 12-15, and 17-19 and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

13. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional, Designer/Architect and property owner.



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15. Underground Utility Location

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning units on the site plan including the model number and manufacturer of the units. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Tree Protection

Tree protection fencing shall be installed around the driplines of Trees Nos. 1-8, 10, 12-15, and 17-19 as shown in the Site Plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

19. Tree Protection Letter

Submit a letter from Kevin Kiely (Kiely Arborist Services) confirming that the tree protection measures were implemented during project construction.

20. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.



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21. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

22. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

RESOLUTION NO. 2020-32

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALTOS
DENYING AN APPEAL OF A DESIGN REVIEW APPLICATION FOR A NEW
TWO-STORY RESIDENCE AT 126 MOUNT HAMILTON AVENUE**

WHEREAS, the City of Los Altos received a development application from Studio S Squared Architecture Inc., for a new two-story residence, which includes Design Review Application SC19-0010, referred herein as the “Project”; and

WHEREAS, said project is exempt from environmental review because it involves a new two-story single-family dwelling in a residential zone in accordance with Section 15301 of the California Environmental Quality Act of 1970 as amended (“CEQA”); and

WHEREAS, the Design Review Application was processed in accordance with the applicable provisions of the California Government Code and the Los Altos Municipal Code; and

WHEREAS, the Design Review Commission held a duly noticed public meeting on May 20, 2020, at which all public comment was duly considered;

WHEREAS, at the May 20, 2020 meeting, the Design Review Commission made the positive findings per the Zoning Code Section 14.76.060 and approved the two-story design review application; and

WHEREAS, a timely appeal was filed by Eugene Hyman on June 1, 2020; and

WHEREAS, at a duly noticed public meeting, the City Council thoroughly and extensively evaluated and considered all information and evidence presented by the appellant and applicant, as documented in the record, including, without limitation, in the staff report presented to City Council, and based upon such review, found the applicant had presented sufficient evidence to support the findings necessary to approve the design review application; and

WHEREAS, the location and custodian of the documents or other materials, which constitute the record of proceedings upon the City Council’s decision was made are located in the Office of City Clerk.

NOW THEREFORE, BE IT RESOLVED, that the City Council of the City of Los Altos hereby approves the Project, and denies the appeal, subject to the findings and conditions attached hereto as “Exhibit A” and “Exhibit B,” and incorporated by this reference.

I HEREBY CERTIFY that the foregoing is a true and correct copy of a Resolution passed and adopted by the City Council of the City of Los Altos at a meeting thereof on the 25th day of August 2020 by the following vote:

AYES:

NOES:

ABSENT:
ABSTAIN:

Jan Pepper MAYOR

Attest:

Andrea M. Chelemengos, MMC, CITY CLERK

EXHIBIT A

FINDINGS

With regard to the new two-story house, the City Council finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed structure complies with all provision of this chapter in that it meets site development standards related to height, setbacks, floor area ratios, and other standards for development that are specified in the Municipal Code;
- b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions because it has been built at the height limits and at locations identified by the Municipal Code and is compatible with neighboring properties as demonstrated by a streetscape plan provided by the project architect, which includes the proposed;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas as demonstrated by the proposed landscaping and site elevation plans included with the project packet;
- d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass because it complies with the height limits of the zone district in which it is located and proposes plate heights on the first and second levels that relate well to the wall plate heights of other residential structures in the area;
- e. As modified, the general architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements, such roofing material and exterior materials, have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings. The use of metal panel simulated shake roofing as well as horizontal siding and stone wainscoting as the predominant exterior materials maintains a relationship with the facades seen in the neighborhood context. The proposed design uses a similar neutral color palette to match the surrounding homes within the neighborhood. As demonstrated in the streetscape, the lowered front entry element and wall plate heights on the first and second levels stay consistent with the horizontal eave line of the surrounding neighboring properties; and
- f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection as evidenced by the proposed elevations and grading plan.

EXHIBIT B

CONDITIONS

GENERAL

1. **Expiration**

The Design Review Approval will expire on May 20, 2022 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

This approval is based on the original plans and materials received on April 1, 2019 and then resubmitted on February 3, 2020, except as may be modified by these conditions.

3. **Pool Equipment Relocation**

Relocate the pool equipment along the rear elevation. The swimming pool motor and equipment are required to be enclosed within a noise attenuating structure.

4. **Protected Trees**

As shown in the site plan, Trees Nos. 1-8, 10, 12-15, and 17-19 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

5. **Encroachment Permit**

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. **New Fireplaces**

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

7. **Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

8. **Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

9. **Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits,

including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED IN BUILDING PERMIT PLAN SUBMITTAL

10. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

11. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

12. Tree Protection Note

On the Site Plan, show all tree protection fencing around Trees Nos. 1-8, 10, 12-15, and 17-19 and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

13. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional, Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning units on the site plan including the model number and manufacturer of the units. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Tree Protection

Tree protection fencing shall be installed around the driplines of Trees Nos. 1-8, 10, 12-15, and 17-19 as shown in the Site Plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

19. Tree Protection Letter

Submit a letter from Kevin Kielty (Kielty Arborist Services) confirming that the tree protection measures were implemented during project construction.

20. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

21. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

22. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

ON-CHIEN RESIDENCE

NEW SINGLE FAMILY RESIDENCE



126 MOUNT HAMILTON AVENUE, LOS ALTOS, CA



1000 S Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

ON-CHIEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE

126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOWJIE (YJ) CHIEN



PROJECT NO.	DATE	DESCRIPTION	DESIGN REVIEW	DESIGN REVIEW RESUBMITTAL	DESIGN REVIEW RESUBMITTAL	GN. IG
18-012	03.22.2019	DESIGN REVIEW	IG	IG		
	05.13.2019	DESIGN REVIEW RESUBMITTAL				
	1.29.2020	DESIGN REVIEW RESUBMITTAL				

LOCATION MAP



SCOPE OF WORK

DEMO OF EXISTING HOUSE ON DEVELOPED SITE. NEW CONSTRUCTION TO BE TWO STORY HOUSE WITH 7 BEDROOMS AND 7.5 BATHROOMS TOTALING 3,526.8 S.F. LIVING AREA AND 419.5 S.F. GARAGE AREA, TOTALING 3,946.3 S.F. WITH A 2,703.7 S.F. BASEMENT ON A 11,974 S.F. LOT.

PROJECT SUMMARY

Assessor's Parcel No.	167-36-023
Zoning:	R1-10
Jurisdiction:	City of Los Altos
Type of Construction:	TYPE V-B, SPRINKLER (NFPA 13D)
Building Occ. Groups:	R-3/U (SINGLE FAMILY RESIDENTIAL)

LOT CALCULATIONS	
NET LOT AREA:	11,974.0 S.F.
FRONT YARD HARDSCAPE AREA:	749.9 S.F.
TOTAL AREA AT FRONT YARD:	2,260
HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%:	34.20%
LANDSCAPING BREAKDOWN:	
TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED):	5,901
EXISTING SOFTSCAPE (UNDISTURBED) AREA:	0.0
NEW SOFTSCAPE AREA:	6,073
SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA:	11,974.0 S.F.

ZONING COMPLIANCE

	EXISTING (±)	PROPOSED	ALLOWED/REQUIRED
LOT COVERAGE:	2,304.2	3,559.1	3,592.2
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT:	S.F.	S.F.	S.F.
	19.2%	29.8%	30%
FLOOR AREA:	2,238.5	3,946.3	3,947.4
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS	1st Flr: 2,238.5 S.F.	1st Flr: 2,740.4 S.F.	S.F.
	18.70%	2nd Flr: 1,205.9 S.F.	32.93%
			32.97%
SETBACKS:			
FRONT (1ST/2ND)	29' - 10 1/2"	27' - 9 1/2"	25'
REAR (1ST/2ND)	55' - 11 1/2"	52' - 4 1/2"	25'
LEFT SIDE (1ST/2ND)	9' - 11 1/2"	13' - 5' 20" - 4 1/2"	10' / 17' - 6"
RIGHT SIDE (1ST/2ND)	9' - 9 1/2"	14' - 5' 23" - 9"	10' / 17' - 6"
HEIGHT:	±15' - 7 1/4"	±25' - 10"	27' - 0"

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA:	1,730.4	4,500.1	6,230.5
INCLUDES HABITABLE BASEMENT AREAS	S.F.	S.F.	S.F.
NON-HABITABLE AREA:	508.1	-88.4	419.5
DOES NOT INCLUDE COVERED PORCHES	S.F.	S.F.	S.F.

REVISIONS PER DRC COMMENTS ON 10/02/2019

1. REMOVED DOUBLE HEIGHT ENTRY AND MOVED 2ND STORY WALL BACK 4'-2"
2. PUSHED BR2 BACK 3'-0"
3. CHANGED BR3 TO BE REAR FACING
4. ADDED ELEVATOR TO SERVICE ALL LEVELS
5. MINOR FLOOR PLAN CHANGES AROUND NEW ELEVATOR TO ACCOMMODATE SHAFT
6. REDUCED AMOUNT OF FRONT FACING GLAZING

DEFERRED SUBMITTALS

1. FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS—NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: "WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN"
2. STAIR GUARDRAIL SHOP DRAWINGS SIGNED AND STAMPED BY ENGINEER TO BE SUBMITTED TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL—NOTE THAT SHOP DRAWINGS TO DEMONSTRATE GUARDRAIL DESIGN IS ADEQUATE TO SUPPORT A SINGLE CONCENTRATED 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF THE RAIL PER CRC TABLE 301.5 AND 301.5 FOOTNOTE D

REQ'D CONTRACTOR SUBMITTALS TO ARCHITECT

THE FOLLOWING ARE REQUIRED TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL/REVIEW:

1. WINDOW/DOOR PACKAGE
2. CABINET SHOP DRAWINGS AND FINISH SAMPLES
3. MECHANICAL DUCTING PLAN
4. STAIR AND RAIL SHOP DRAWINGS
5. MISC. STEEL SHOP DRAWINGS

NOTE: SEE STRUCTURAL PLANS FOR ADDITIONAL REQUIRED SUBMITTALS FOR SHOP DRAWINGS, ETC.

REQ'D CONTRACTOR SUBMITTALS TO BUILDING DEPT. PRIOR TO PERMIT ISSUANCE

1. LICENSE NUMBER
2. INSURANCE AND WORKER'S COMP POLICIES
3. CONSTRUCTION STAGING PLAN
4. CONSTRUCTION WASTE MANAGEMENT PLAN IN ACCORDANCE WITH CALGREEN 4.408.2

APPLICABLE CODES

APPLICABLE CODES (with City of Los Altos Amendments)

- 2016 CALIFORNIA ADMINISTRATIVE CODE, CAC
- 2016 CALIFORNIA BUILDING CODE, CBC
- 2016 CALIFORNIA RESIDENTIAL BUILDING CODE, CRC
- 2016 CALIFORNIA ELECTRICAL CODE, CEC
- 2016 CALIFORNIA MECHANICAL CODE, CMC
- 2016 CALIFORNIA PLUMBING CODE, CPC
- 2016 CALIFORNIA ENERGY CODE, CEnc
- 2016 CALIFORNIA HISTORICAL CODE, CHC
- 2016 CALIFORNIA FIRE CODE, CFC
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA GREEN BUILDING STANDARDS
- 2016 CALIFORNIA REFERENCED STANDARDS

SHEET INDEX

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A0.2 FLOOR AREA CALCULATIONS
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ARBORIST

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MECHANICAL

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M0.3 MECHANICAL SCHEDULES
M2.1 MECHANICAL BASEMENT PLAN
M2.2 MECHANICAL FIRST FLOOR PLAN
M2.3 MECHANICAL SECOND FLOOR PLAN

PROJECT TEAM

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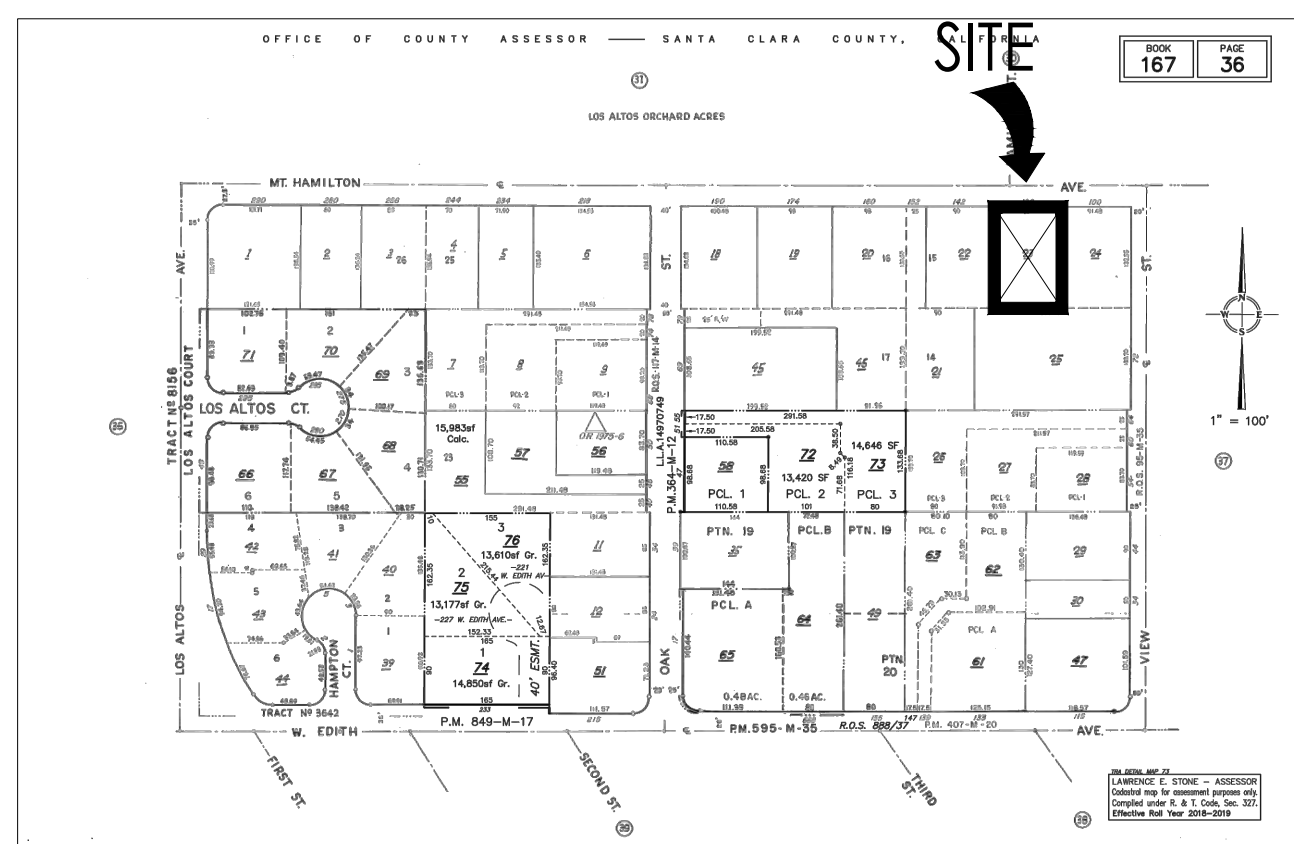
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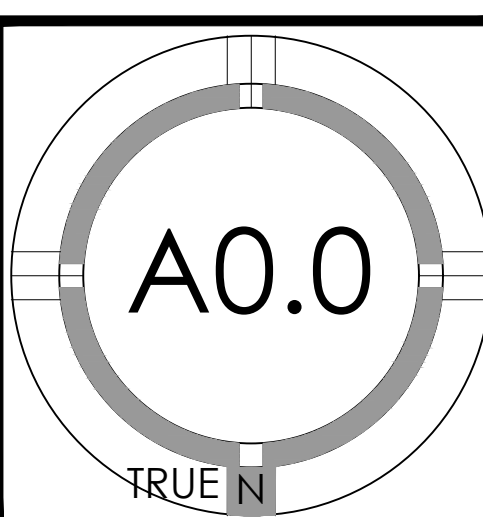
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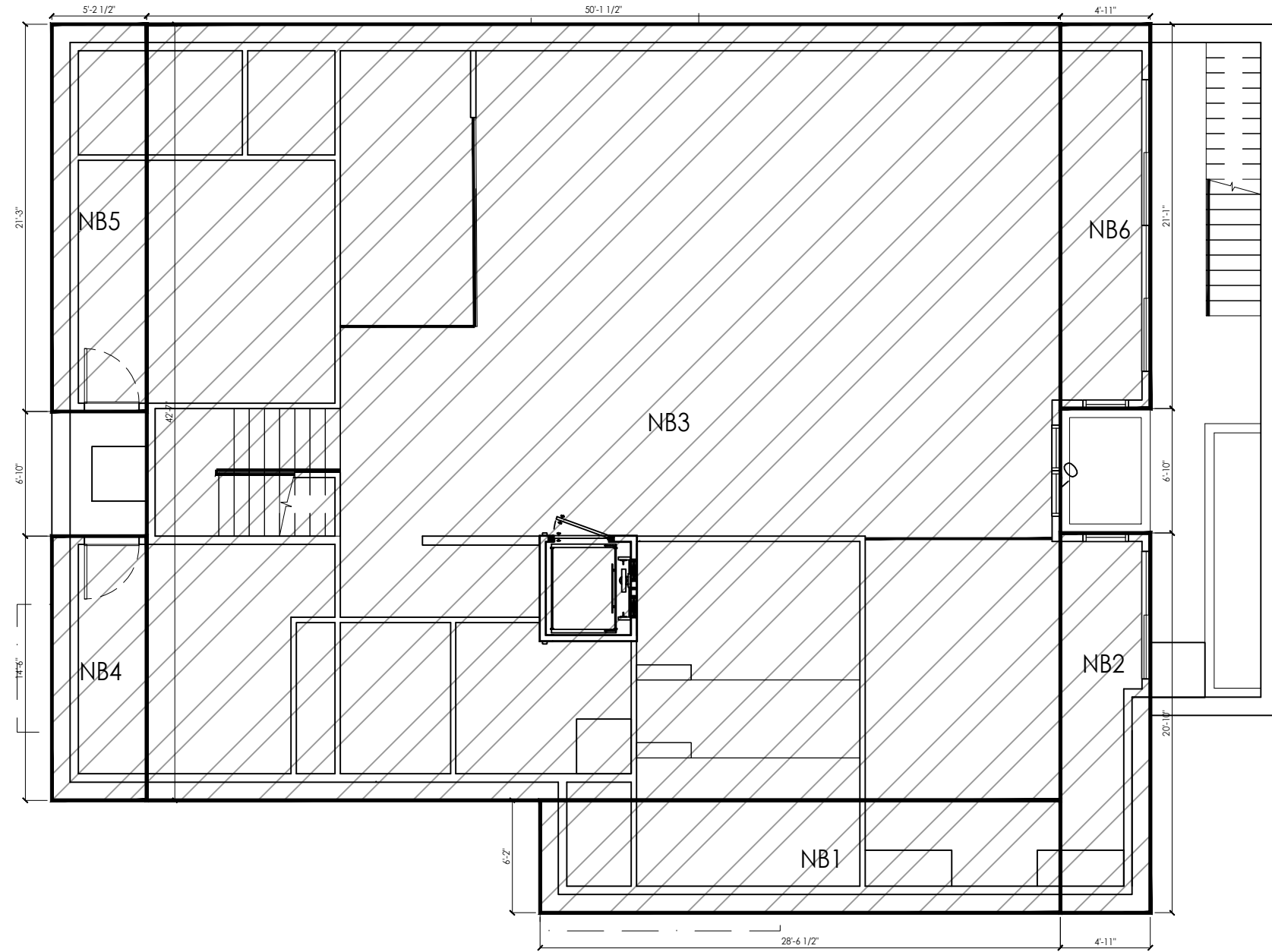
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email: vishnu@mrengcon.com

ASSESSOR'S PARCEL MAP



COVER SHEET





FLOOR AREA CALCS - BASEMENT 1/8" 2

New First Floor Living Area		
Section		Area (sf)
NL1	13' - 2" X 1' - 0"	13.2
NL2	13' - 0" X 6' - 2"	80.2
NL3	39' - 9 1/2" X 14' - 6"	577.0
NL4	34' - 7" X 6' - 10"	236.3
NL5	15' - 6 1/2" X 7' - 3 1/2"	113.3
NL6	20' - 6" X 21' - 1"	431.7
NL7	39' - 9 1/2" X 21' - 3"	845.4
NL8	non-rectangular shape	23.4
NFL Total		2,320.9

New Second Floor Living Area		
Section		Area (sf)
NL9	13' - 4" X 4' - 11 1/2"	66.1
NL10	32' - 7" X 9' - 2 1/2"	300.0
NL11	45' - 9" X 7' - 11"	362.3
NL12	26' - 8 1/2" X 6' - 9"	180.5
NL13	28' - 0" X 10' - 1"	282.0
NL14	non-rectangular shape	13.3
NSL Total		1,205.9

New Basement Area (Not Counted as FAR)		
Section		Area (sf)
NB1	28' - 6 1/2" X 6' - 2"	176.0
NB2	4' - 11" X 20' - 10"	102.9
NB3	50' - 1 1/2" X 42' - 7"	2,134.5
NB4	5' - 2 1/2" X 14' - 6"	75.3
NB5	5' - 2 1/2" X 21' - 3"	110.7
NB6	4' - 11" X 21' - 1"	104.1
NB Total		2,703.7

Covered Patio (Not Counted as FAR)		
Section		Area (sf)
CP1	40' - 2" X 15' - 8"	623.3
CP Total		623.3

New Porch (Not Counted as FAR)		
Section		Area (sf)
NP1	26' - 9 1/2" X 5' - 5 1/2"	146.2
NP2	8' - 6 1/2" X 1' - 8 1/2"	14.6
NP3	9' - 1" X 2' - 4"	21.2
NP Total		182.0

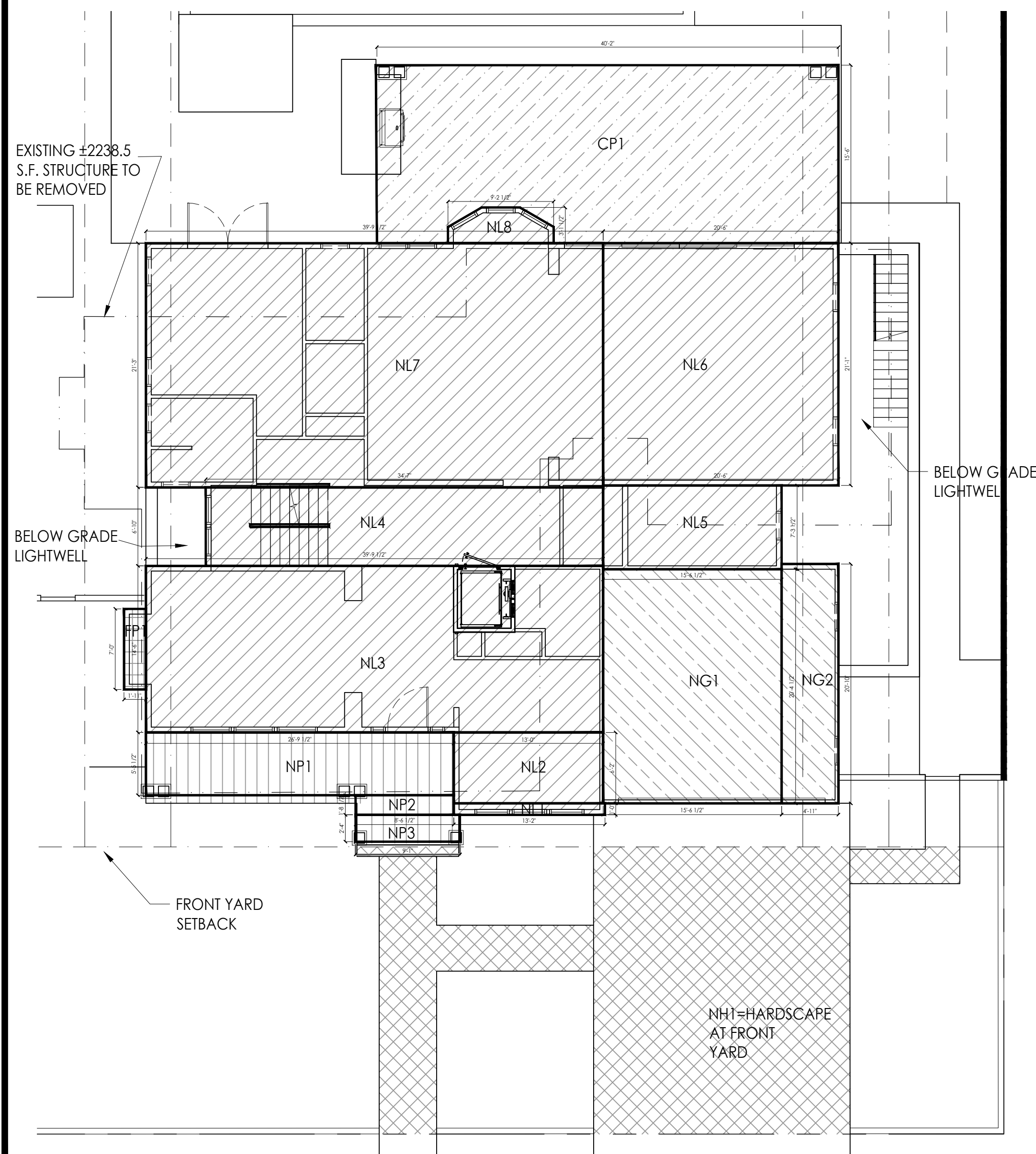
New Garage Area		
Section		Area (sf)
NG1	15' - 6 1/2" X 20' - 4 1/2"	316.7
NG2	4' - 11" X 20' - 10"	102.9
NG Total		419.5

Fireplace (Not Counted as FAR, Counted as Lot Coverage)		
Section		Area (sf)
FP1	1' - 11" X 7' - 0"	13.4
FP Total		13.4

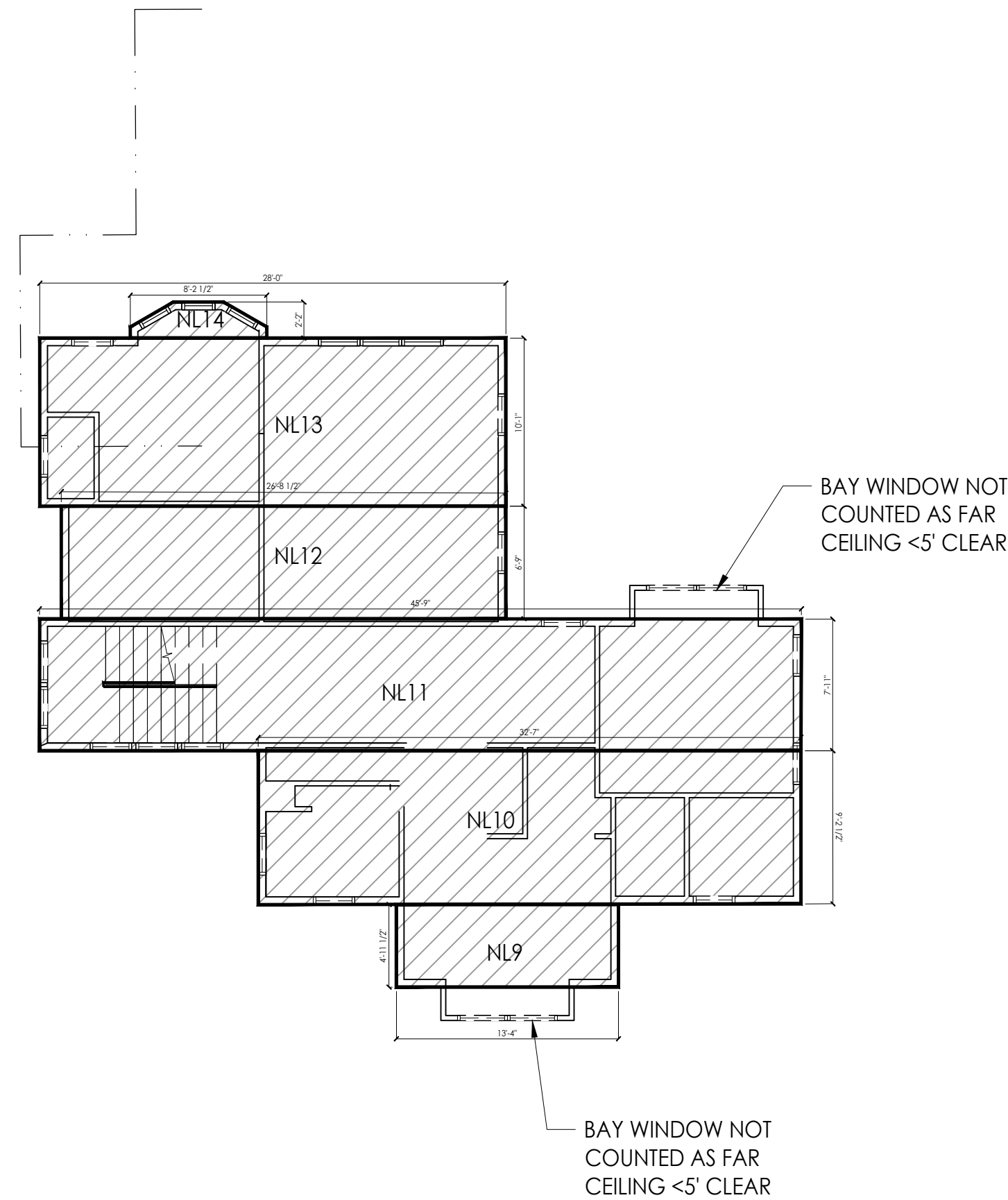
New Front Yard Hardscape Area		
Section		Area (sf)
NH1	non-rectangular shape	769.9
NH Total		769.9

LA	Lot Area	11,974.0
NG	Total New Garage	419.5
TNL=NFL+NSL+NB	Total New Living Area	6,230.5
TNR=NFL+NSL+NG	Total New Residence	3,946.3
FAR=3850+.1*(LA-11000)	Max FAR Allowed	3,947.4
TNR/LA	FAR Percentage	32.96%
PLC=NFL+NG+CP+NP+FP	Proposed Lot Coverage Ratio	3.559%
LC=.3*LA	Max Lot Coverage Allowed	3,592.3
PLC/LA	Lot Coverage Percentage	29.7% <30% (OK)
FS	Front Yard Setback Area	2,250.0
NH	Front Yard Hardscape Area	769.9

1 2 4 8 12 feet



FLOOR AREA CALCS - FIRST FLOOR 1/8" 1



FLOOR AREA CALCS - SECOND FLOOR 1/8" 3

- NL# = NEW LIVING AREA (COUNTED AS FAR)
- NB# = NEW BASEMENT AREA (NOT COUNTED AS FAR)
- CP# = COVERED PATIO (NOT COUNTED AS FAR, COUNTED AS LOT COVERAGE)
- NP# = NEW PORCH (NOT COUNTED AS FAR, COUNTED AS LOT COVERAGE)
- NG# = NEW GARAGE AREA
- FP# = FIREPLACE (NOT COUNTED AS FAR, COUNTED AS LOT COVERAGE)
- NH# = NEW HARDSCAPE AREA AT FRONT YARD

FLOOR AREA LEGEND -



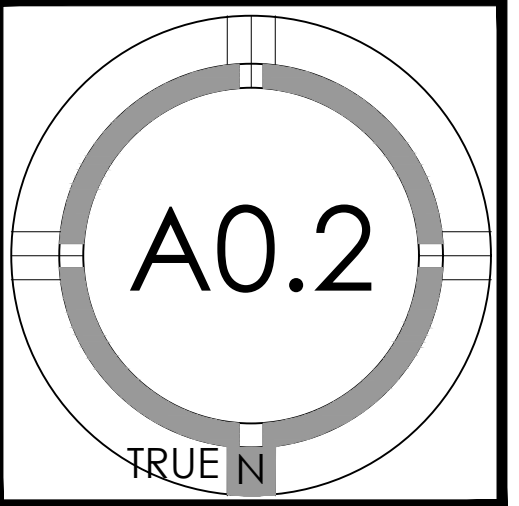
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ON-CHEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE
126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOW JIE (YJ) CHEN



PROJECT NO.	DATE	DESCRIPTION	DESIGNED BY	DRAWN BY
18-012	03.22.2019	DESIGN REVIEW	IG	IG
	05.13.2019	DESIGN REVIEW RESUBMITTAL	IG	IG
	1.29.2020	DESIGN REVIEW RESUBMITTAL	GN, IG	

FLOOR AREA CALCULATIONS

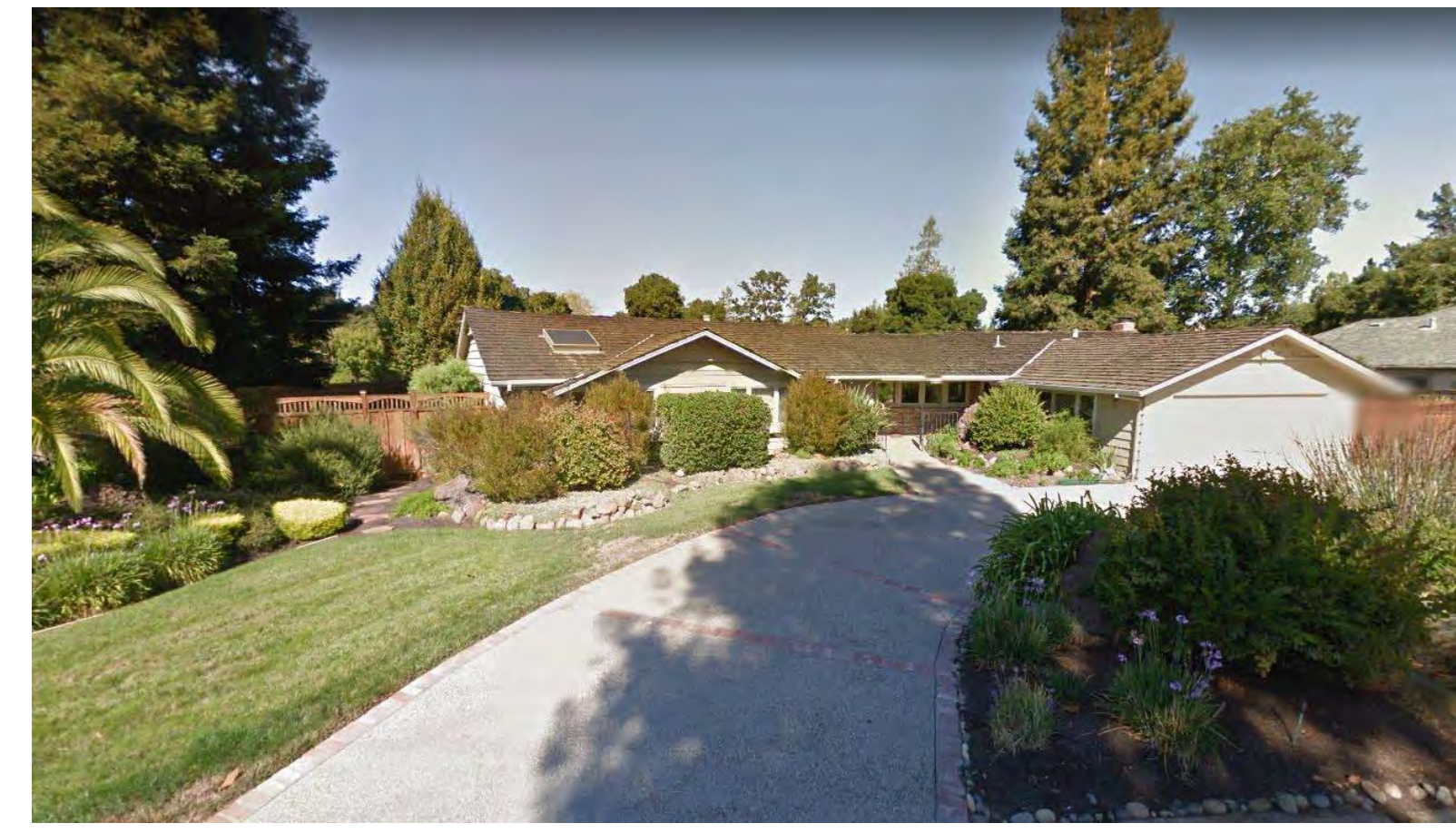




111 BRIDGTON CT



145 MOUNT HAMILTON AVE



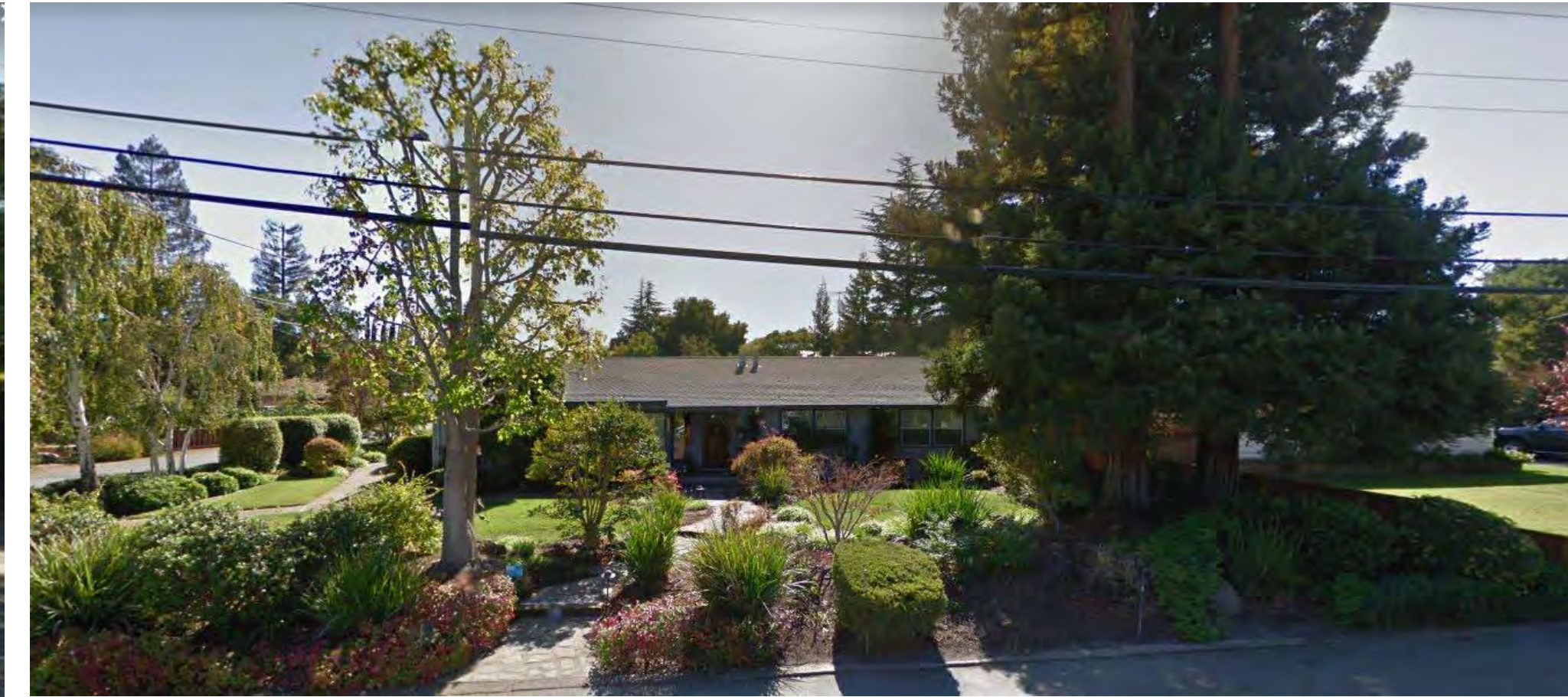
115 MOUNT HAMILTON AVE



95 MOUNT HAMILTON AVE



160 MOUNT HAMILTON AVE



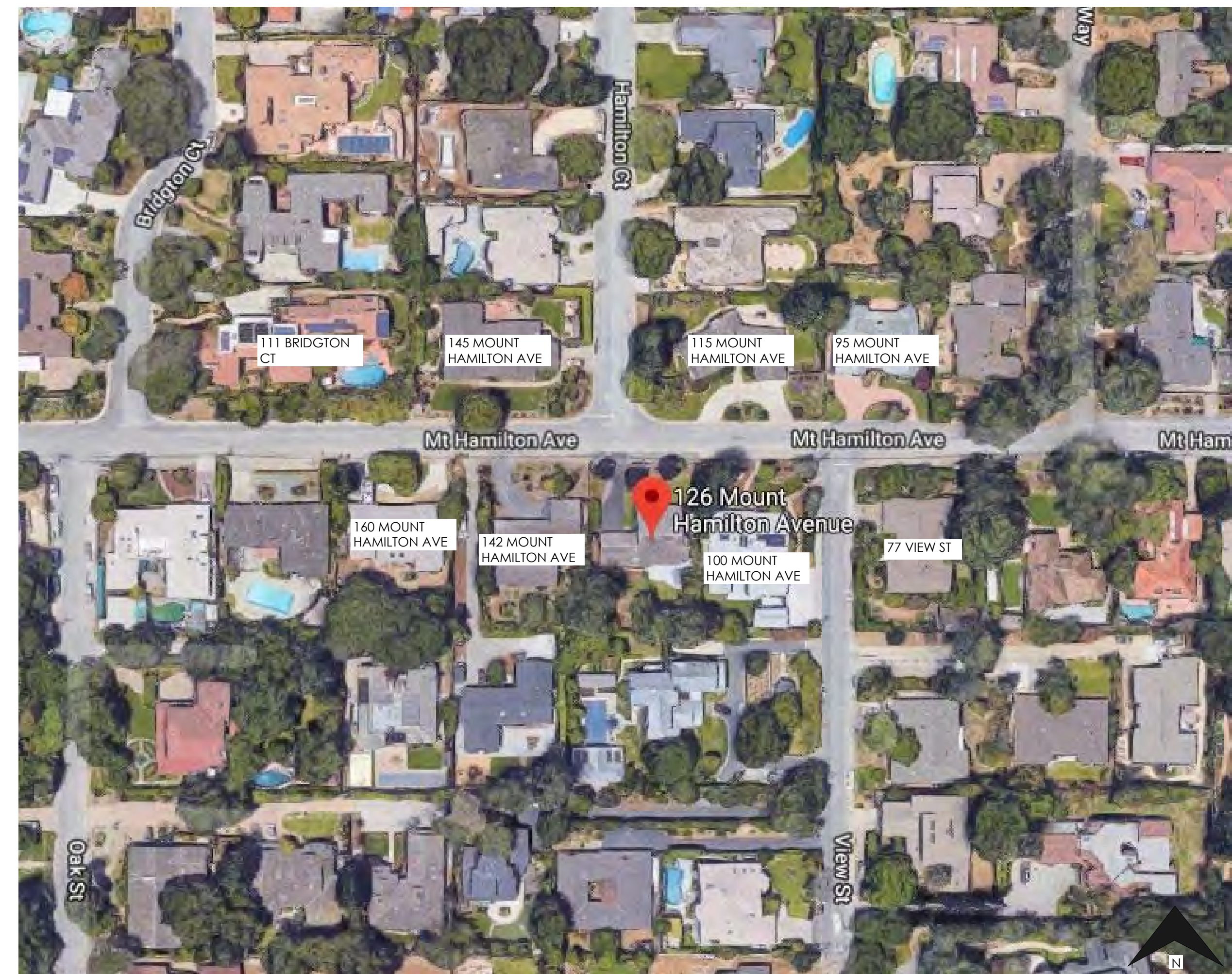
100 MOUNT HAMILTON AVE



142 MOUNT HAMILTON AVE



77 VIEW ST



MAP

1

STREETSCAPE IMAGES

-

2



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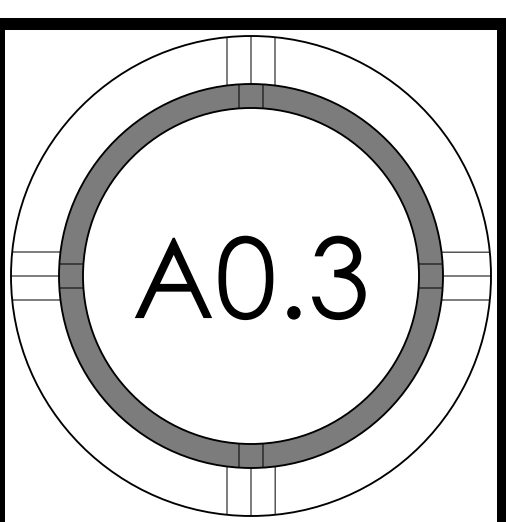
ON-CHIEH RESIDENCE
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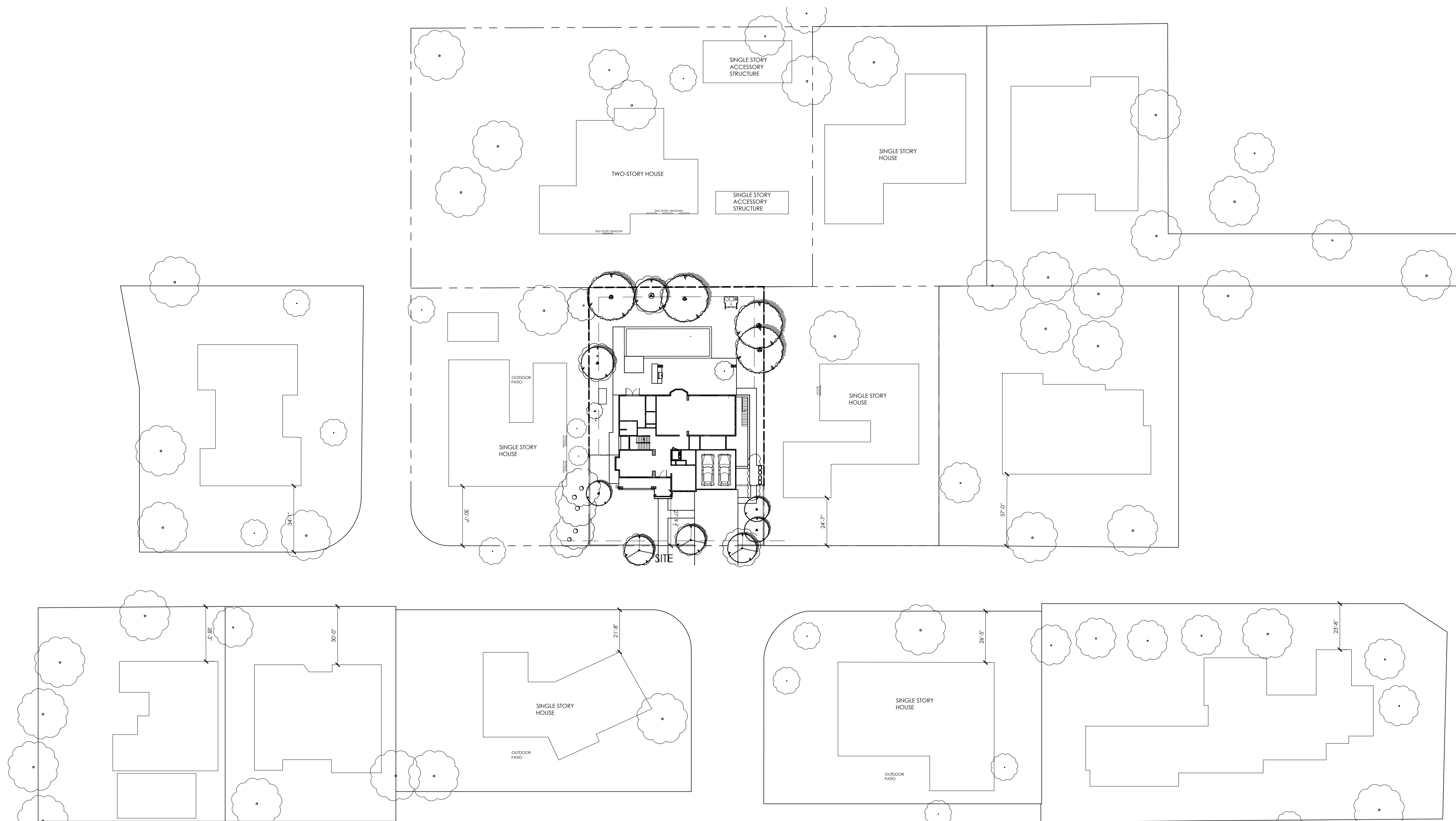
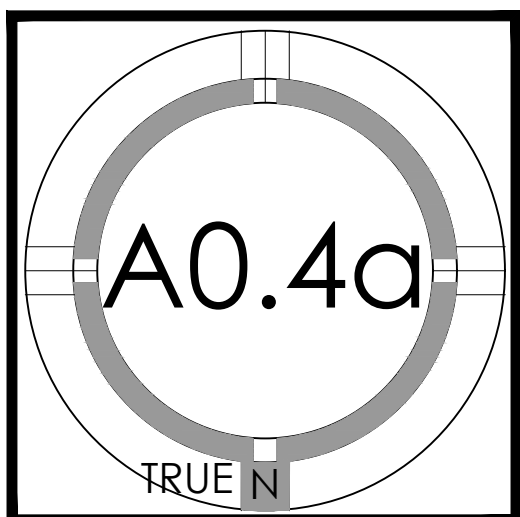
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STREETSCAPES



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NEIGHBORHOOD CONTEXT

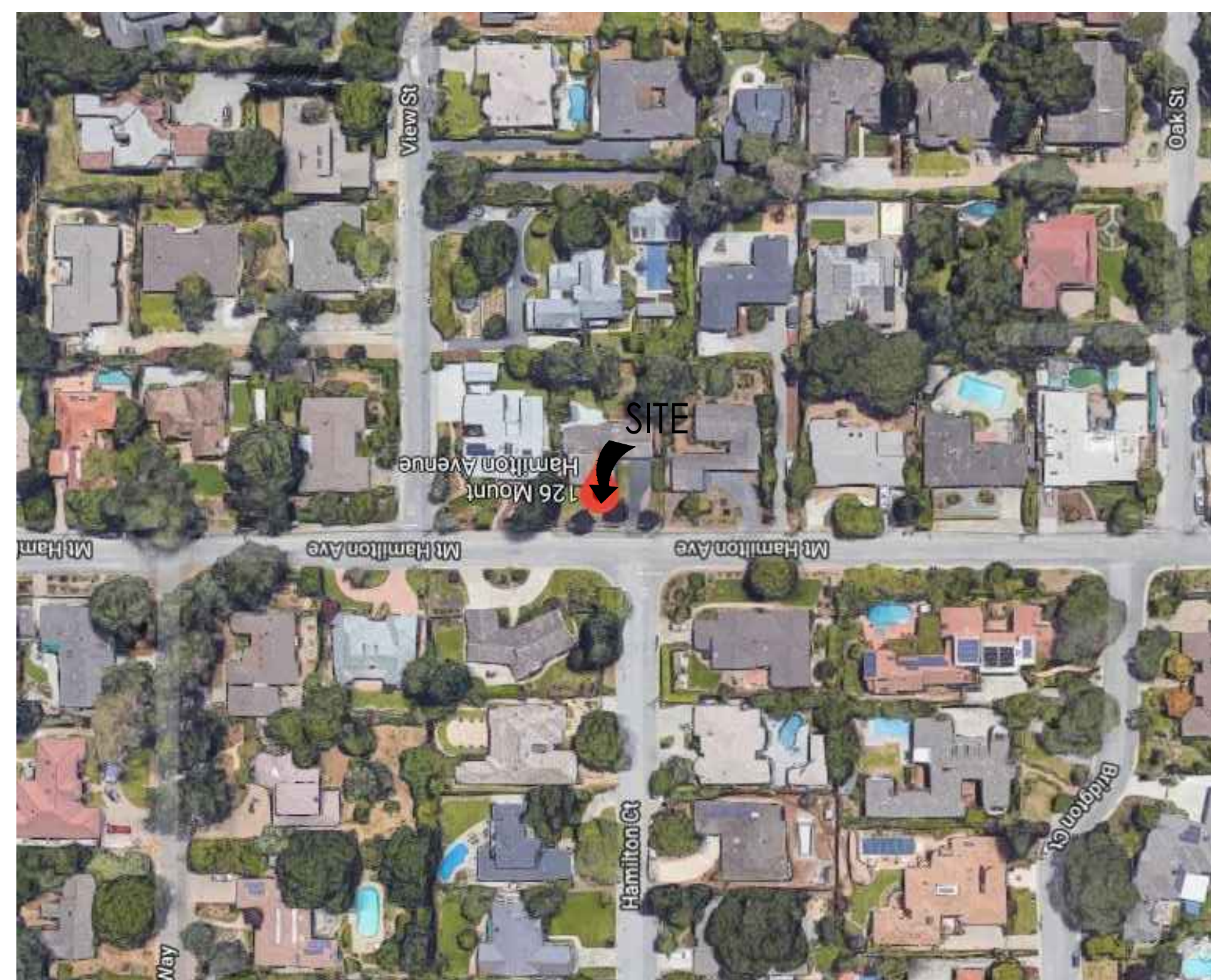


NOTE: ALL FRONT SETBACK DIMENSIONS APPROXIMATED FROM GOOGLE EARTH

48 16 32 48 feet

NEIGHBORHOOD PRIVACY DIAGRAM - 1ST FLOOR

1/32" 1



LEGEND

2



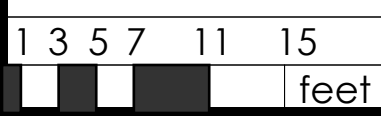
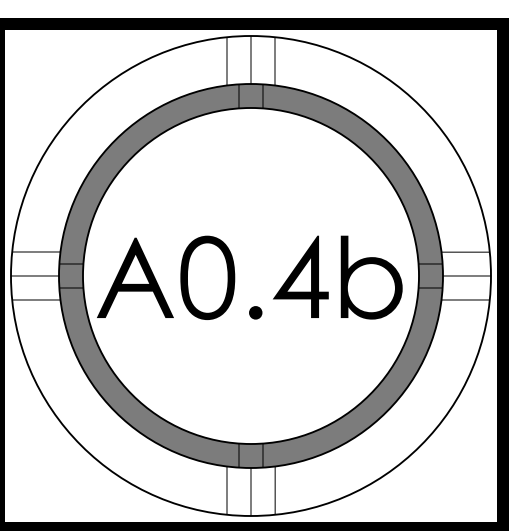
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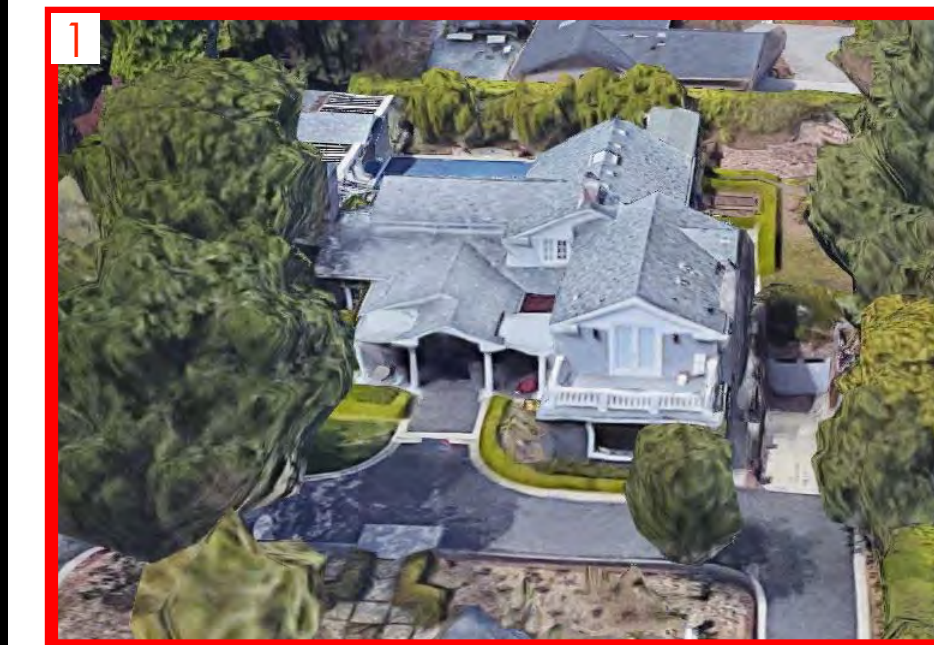
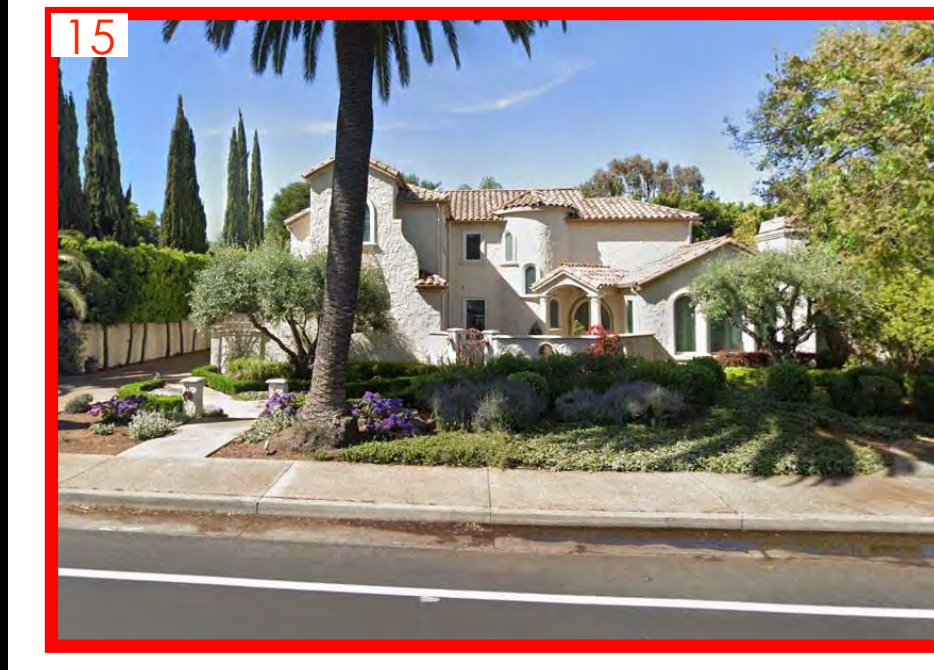
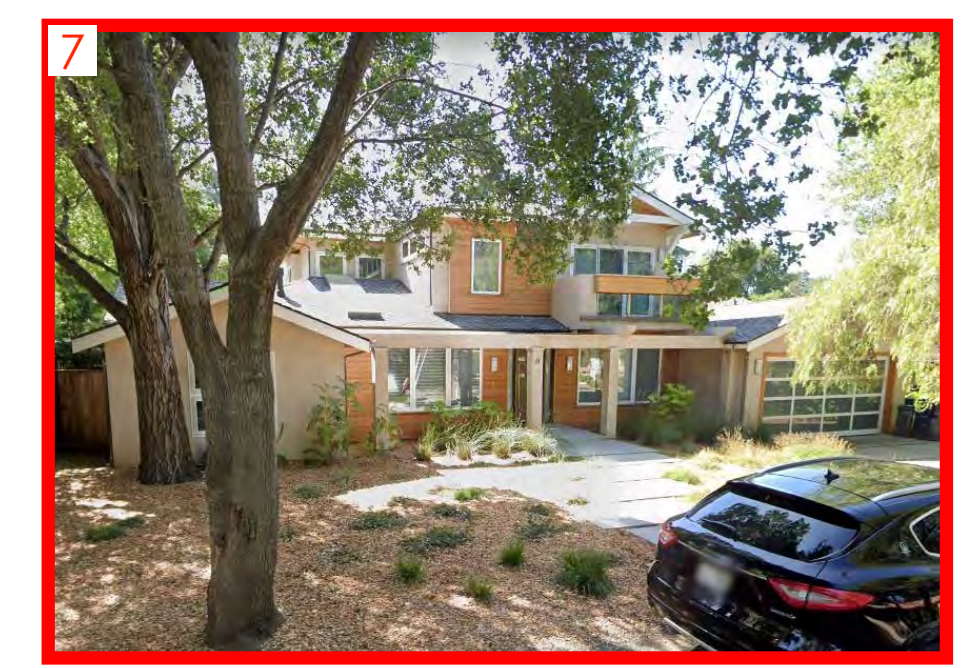


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STREETSCAPE ELEVATION



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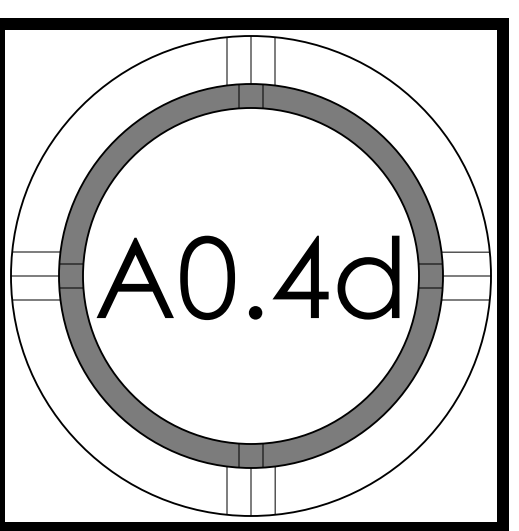


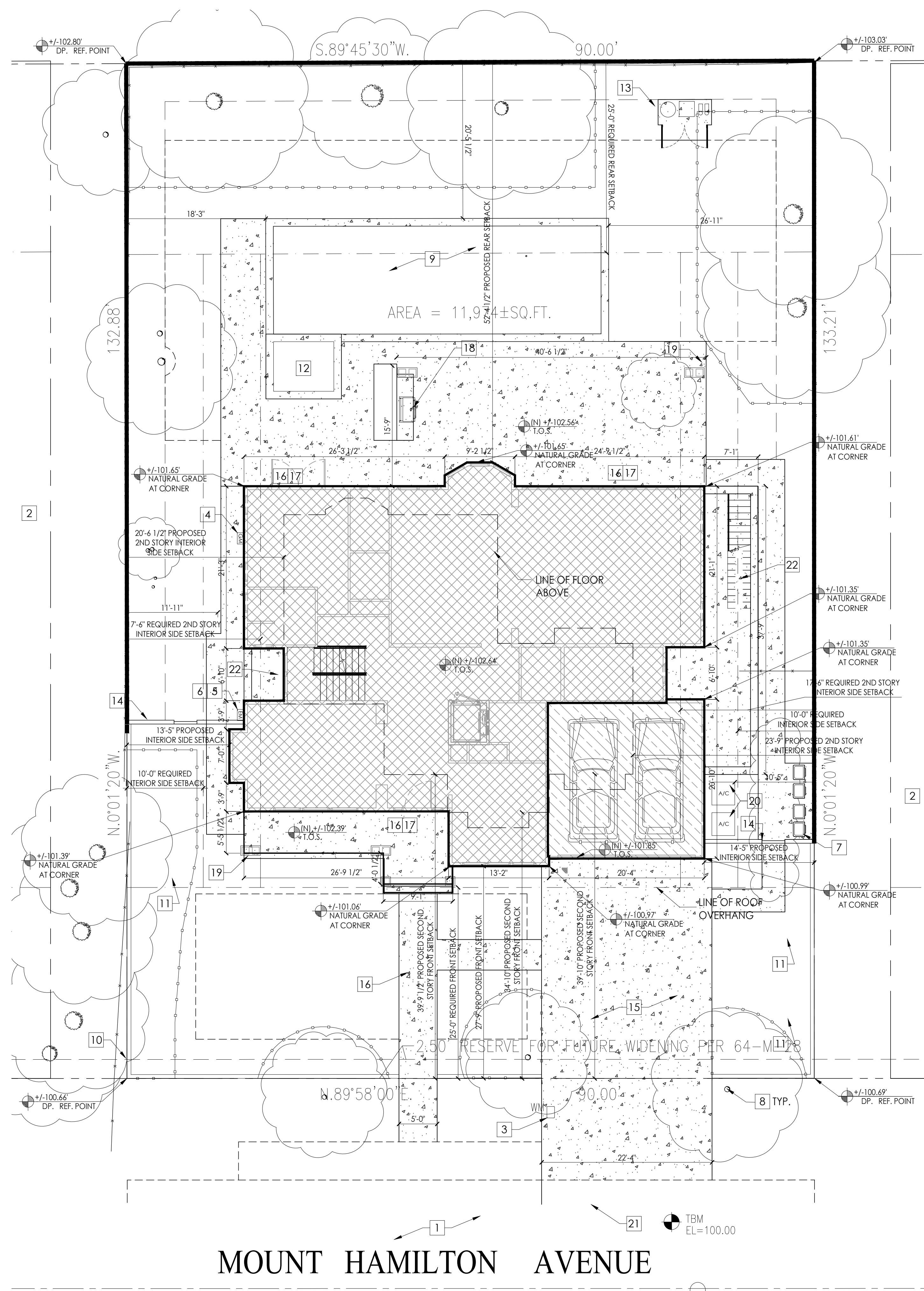
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GOOGLE EARTH CONTEXT





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 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E) WATER METER--CONTRACTOR TO COORDINATE (N) METER WITH LOCAL WATER COMPANY
 - (N) GAS METER LOCATION
 - (N) ELECTRICAL METER LOCATION--CONTRACTOR TO COORDINATE WITH LOCAL ELECTRICAL COMPANY FOR UPGRADE (200AMPS) TO (E) ELECTRICAL SERVICE--INSTALL UFER GROUND CONNECTION PER CEC 250-52
 - UFER GROUND CONNECTION PER CEC 250-52
 - NEW TRASH COLLECTION AREA
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - NEW POOL--SEE LANDSCAPE PLAN FOR MORE INFO
 - 30" DECORATIVE FENCE--SEE LANDSCAPE PLAN FOR MORE INFO
 - (N) TREE--SEE LANDSCAPE PLAN FOR MORE INFO
 - (N) SPA--SEE LANDSCAPE PLAN FOR MORE INFO
 - (N) POOL EQUIPMENT ENCLOSURE--SEE LANDSCAPE PLANS FOR MORE INFO
 - (N) FENCE AND GATE TYP.--VERIFY FINAL DESIGN AND FINISH WITH LANDSCAPE ARCHITECT--NEW FENCES TO CONFORM TO JURISDICTION FENCE REGULATIONS
 - (N) DRIVEWAY--VERIFY PAVES DESIGN WITH LANDSCAPE ARCHITECT
 - (N) HARDSCAPE--SLOPE AWAY FROM HOUSE @ 2% MIN.
 - (N) 36" MIN. DEEP LEVEL LANDING PER CRC 311.3 W STEPS (MAX. 7.75" RISER)- PROVIDE EQUAL RISERS IF MORE THAN 1 STEP
 - (N) OUTDOOR KITCHEN
 - (N) PORCH COLUMNS
 - (N) A/C UNIT CONDENSER PAD(S)--PROVIDE ELECTRICAL TO THIS LOCATION AS REQUIRED. VERIFY SIZE AND QUANTITY WITH HVAC CONTRACTOR. 65 dB AND 58.5dB SOUND RATING. A/C UNITS TO COMPLY WITH JURISDICTION'S NOISE ORDINANCE--SEE HVAC PLANS
 - (N) CURB CUT PER LOCAL JURISDICTION'S STANDARD DETAIL--SEE CIVIL PLANS
 - (N) BELOW GRADE PATIO

SITE PLAN KEYNOTES		
---	PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO	
---	REQUIRED YARD SETBACK/EASEMENT	
---	TREE PROTECTION FENCING	

- NEW GARAGE AREA
- NEW BUILDING AREA
- NEW HARDSCAPE--SEE LANDSCAPE PLAN FOR MORE INFO
- SPOT ELEVATION, SEE CIVIL DRAWINGS FOR MORE INFO

- NOTES:
- (E) WATER SUPPLY TO BE REPLACED FROM METER IN.
 - (E) SEWER LATERAL TO BE REPLACED FROM PROPERTY LINE IN.



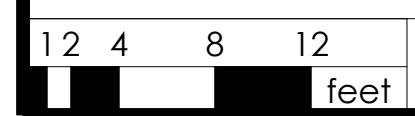
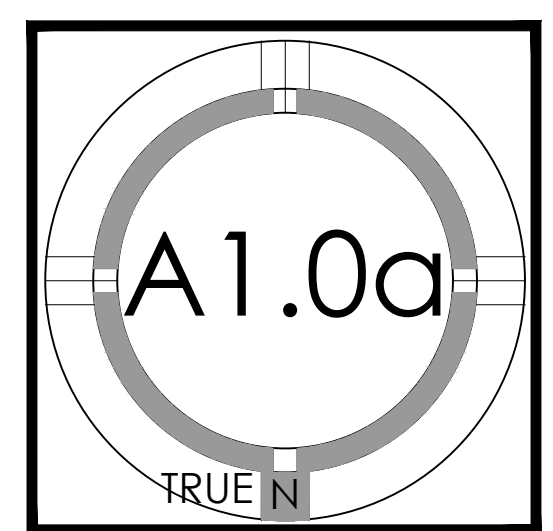
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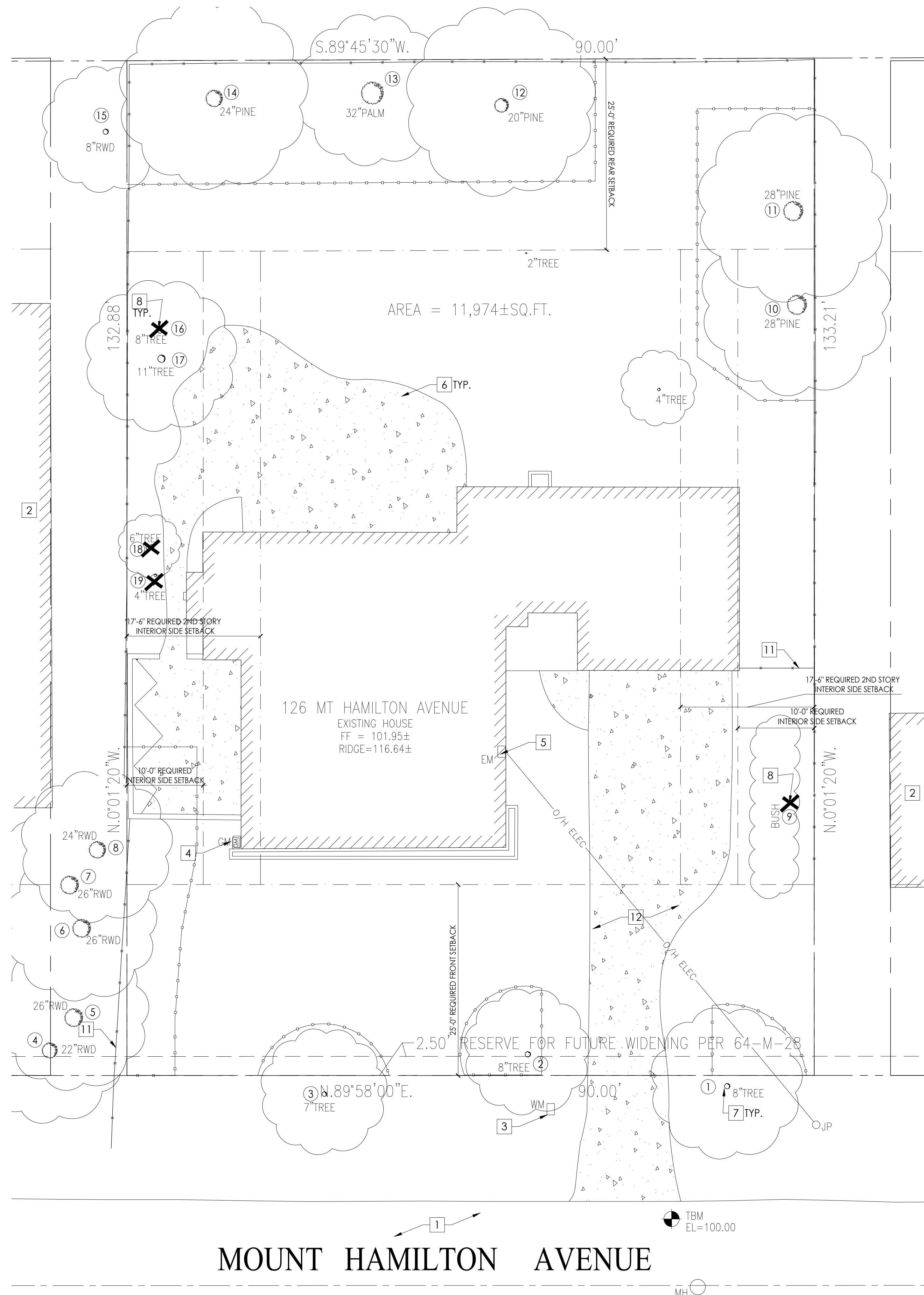
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SITE PLAN





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 - APPROXIMATE LOCATION OF NEIGHBORING STRUCTURE
 - (E) WATER METER--TO BE RELOCATED
 - (E) GAS METER LOCATION--TO BE RELOCATED
 - (E) ELECTRICAL METER LOCATION--TO BE RELOCATED
 - (E) HARDSCAPE TO BE REMOVED
 - (E) TREE(S) TO REMAIN- PROTECT AS REQUIRED DURING CONSTRUCTION - DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTENDED PERIODS OF TIME. SEE ARBORIST REPORT (IF PROVIDED) FOR ADDITIONAL INFORMATION
 - (E) TREE(S)/HEDGES TO BE REMOVED ON SITE UNDER DIRECTION OF CERTIFIED ARBORIST
 - NOT USED
 - NOT USED
 - (E) FENCE AND GATES TO BE REMOVED TYP.
 - (E) DRIVEWAY TO BE REMOVED

#	Species	DBH	Condition	Height/Spr	Comments
1P	Purple Leaf Plum	9.7	B	15/10	Good vigor, fair form
2P	Purple Leaf Plum	10.2	B	15/12	Good vigor, fair form
3P	Purple Leaf Plum	9.8	B	15/15	Good vigor, fair form
4P	Redwood	15est	A	70/15	Good vigor, good form
5P	Redwood	18est	A	70/15	Good vigor, good form
6P	Redwood	18est	A	70/15	Good vigor, good form
7P	Redwood	18est	A	70/15	Good vigor, good form
8P	Redwood	18est	A	70/15	Good vigor, good form
9R	Oleander	2"x40	C	7/20	Fair vigor, fair form
10P	Deodar Cedar	29.8	C	75/25	Fair vigor, poor form
11P	Deodar Cedar	30.1	D	75/25	Fair vigor, poor form
12P	Deodar Cedar	24.8	B	60/25	Good vigor, fair form
13P	Canary Island Palm	32	B	30/15	Good vigor, good form
14P	Deodar Cedar	27.8	B	60/25	Good vigor, good form
15P	Redwood	10est	C	40/15	Fair vigor, fair form
16R	Loquat	8.7	F	20/12	Dead
17	Loquat	7.9-8.0	C	25/20	Fair vigor, fair form
18	Loquat	7.2-6	D	15/12	Poor vigor, fair form
19	Loquat	3"x3	D	15/10	Poor vigor, fair form

P- Indicates protected tree by city or ordinance R- Indicates proposed tree removal
 *- Indicates neighbor's tree

TREE PROTECTION PLAN:

- TREE PROTECTION FENCING REQUIRED FOR TREES #4-8 AND WILL EXTEND OFF THE PROPERTY LINE TO A 12' FROM TREES WHERE POSSIBLE.
- TREE PROTECTION ZONES FOR TREES #1-2 WILL BE PLACED AS CLOSE TO THE PROPOSED DRIVEWAY AS POSSIBLE AND TO THE DRIPLINE OF THE TREES WHERE POSSIBLE. THEY WILL BE IRRIGATED EVERY 2 WEEKS DURING THE DRY SEASON UNTIL THE TOP FOOT OF SOIL IS SATURATED. EXCAVATION FOR DRIVEWAY BY HAND WITHIN 12' OF THESE TREES. PROJECT ARBORIST TO WITNESS HAND EXCAVATION FOR THESE TREES.
- FENCING FOR TREE PROTECTION ZONES TO BE 6' TALL, METAL CHAIN LINK SUPPORTED BY METAL 2" DIAMETER POLES, POUNDED INTO THE GROUND TO AT LEAST 2' DEPTH. SHALL BE INSTALLED NO CLOSER TO TRUNK THAN DRIPLINE UNLESS NOT POSSIBLE THEN IT SHALL BE INSTALLED AT EDGE OF PROPOSED WORK.
- AREAS WHERE TREE PROTECTION FENCING MUST BE REDUCED FOR ACCESS, SHOULD BE MULCHED WITH 6" OF COARSE WOOD CHIPS WITH 3/4" PLYWOOD ON TOP.
- ALL TREE PROTECTION MEASURES INSTALLED PRIOR TO ANY DEMOLITION OR CONSTRUCTION.
- NON-PROTECTED TREES RECOMMENDED TO BE PROTECTED IN SAME MANNER AS PROTECTED TREES.
- SEE ARBORIST REPORT FOR MORE INFO.

DEMO SITE PLAN KEYNOTES

- PROPERTY LINE--SEE TOPO SURVEY FOR MORE INFO
- REQUIRED YARD SETBACK/EASEMENT
- TREE NUMBER--REFER TO ARBORIST REPORT FOR SPECIES AND OTHER INFO

DEMO SITE PLAN LEGEND



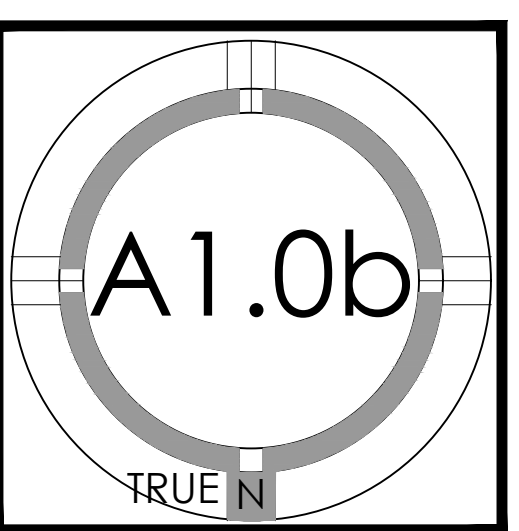
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 P : (408) 998 - 0983

ON-CHIEH RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 126 MOUNT HAMILTON AVENUE, LOS ALTOS
 GLORIA ON AND YOW JIE (YJ) CHEN



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18-012	03.22.2019	DESIGN REVIEW	IG
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	1.29.2020	DESIGN REVIEW RESUBMITTAL	GN, IG

DEMO SITE PLAN



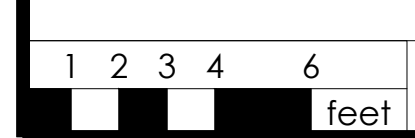
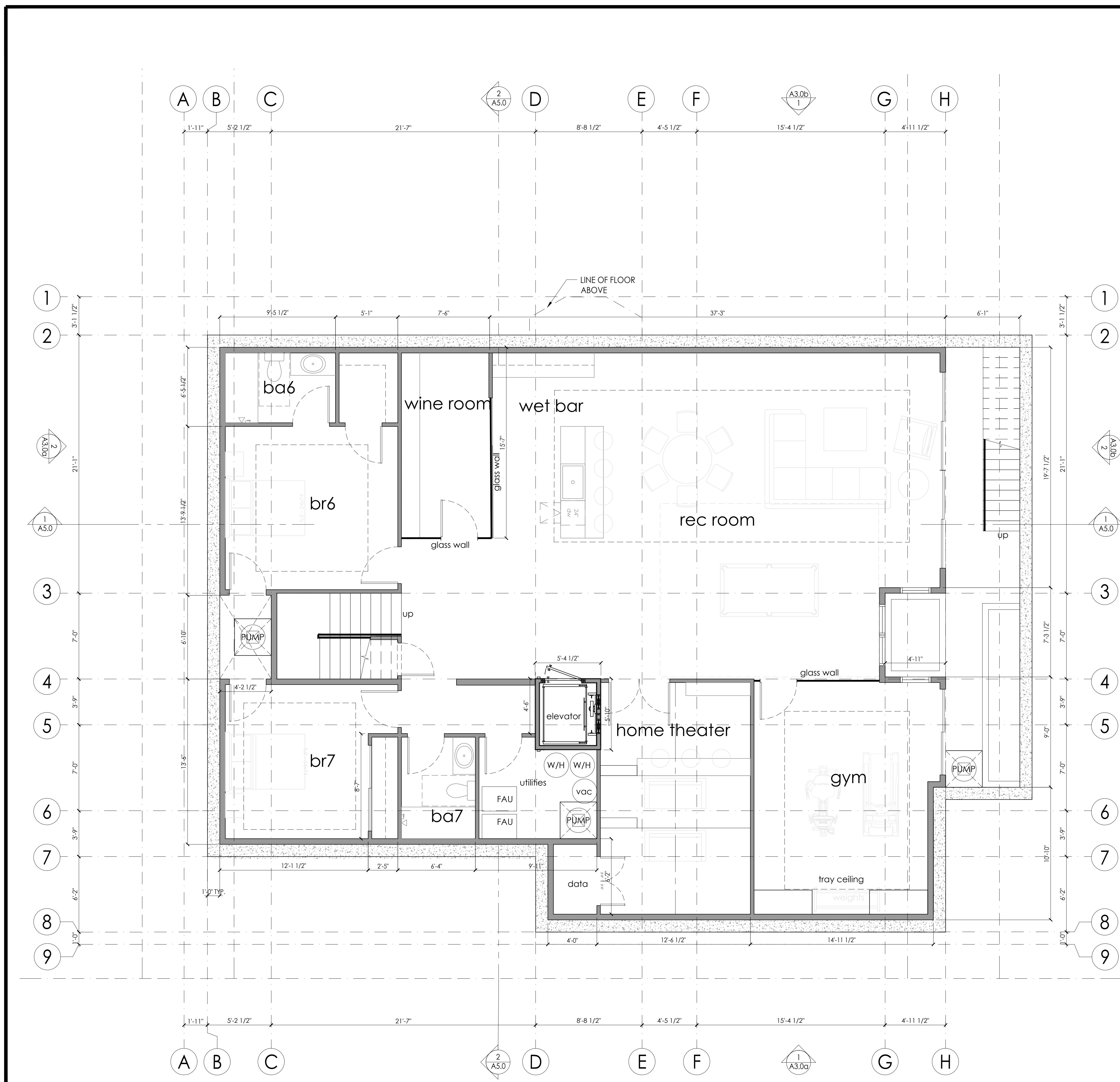


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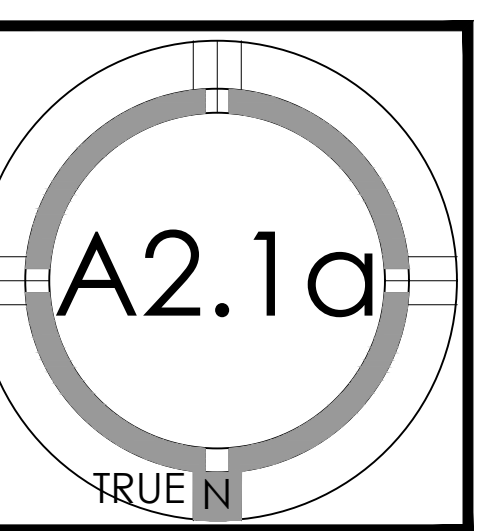
BASEMENT 1/4" 1

FLOOR PLAN KEYNOTES

(N) WALL: EXTERIOR: 2x6 STUDS @16" O.C.; INTERIOR 2x4 STUDS @16" O.C.—SEE ELEVATIONS AND STRUCTURAL DRAWINGS FOR EXTERIOR WALL MATERIAL ASSEMBLIES. INSTALL 2 LAYERS OF BUILDING PAPER (FOR STUCCO ONLY)/1 LAYER (MIN.) OF WEATHER RESISTIVE BARRIER (TYVEK HOUSE WRAP OR EQ.) OVER EXTERIOR WALLS SHEATHING PER CRC 703.2—INSTALL PER MANUF. INSTRUCTIONS. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE @ INTERIOR PARTITIONS. PROVIDE CEMENT BOARD OR TILE BACKER BOARD AT SHOWER/TUB LOCATIONS. ALL WALLS TO RECEIVE (N) PAINT FINISH. ALL CEILINGS AT TUB/SHOWERS TO BE M.R. BOARD
CONCRETE RETAINING WALL—SEE STRUCTURAL DRAWINGS

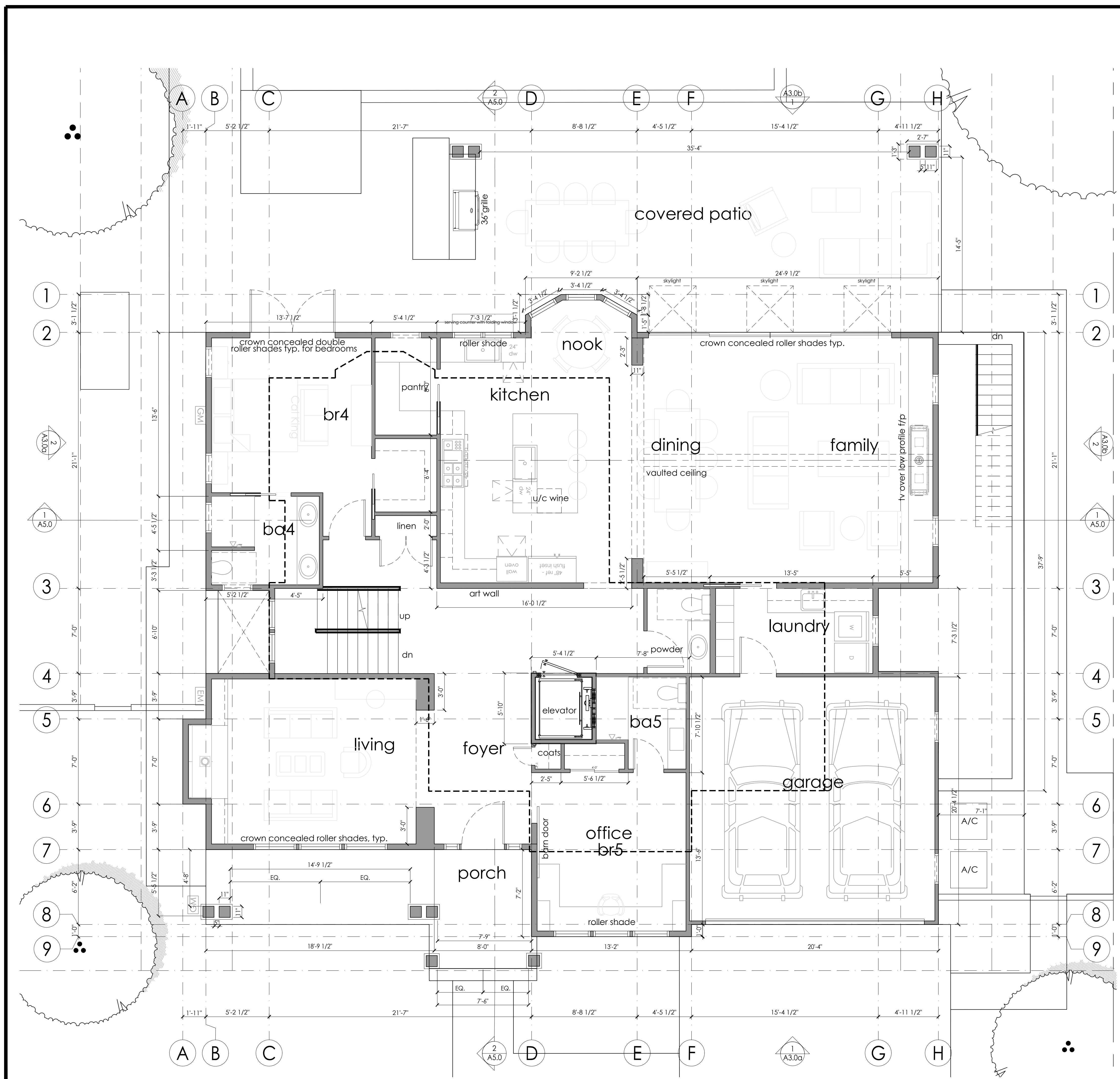
FLOOR PLAN LEGEND

BASEMENT FLOOR PLAN





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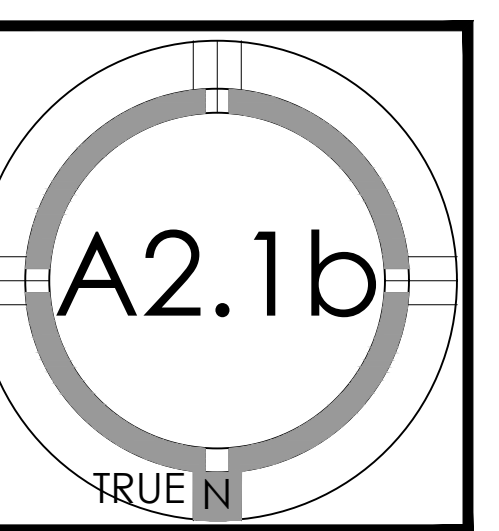


FLOOR PLAN KEYNOTES		-
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1 2 3 4 6 feet 1ST FLOOR PLAN 1/4" 1

FLOOR PLAN LEGEND -

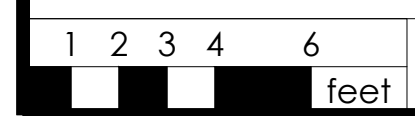
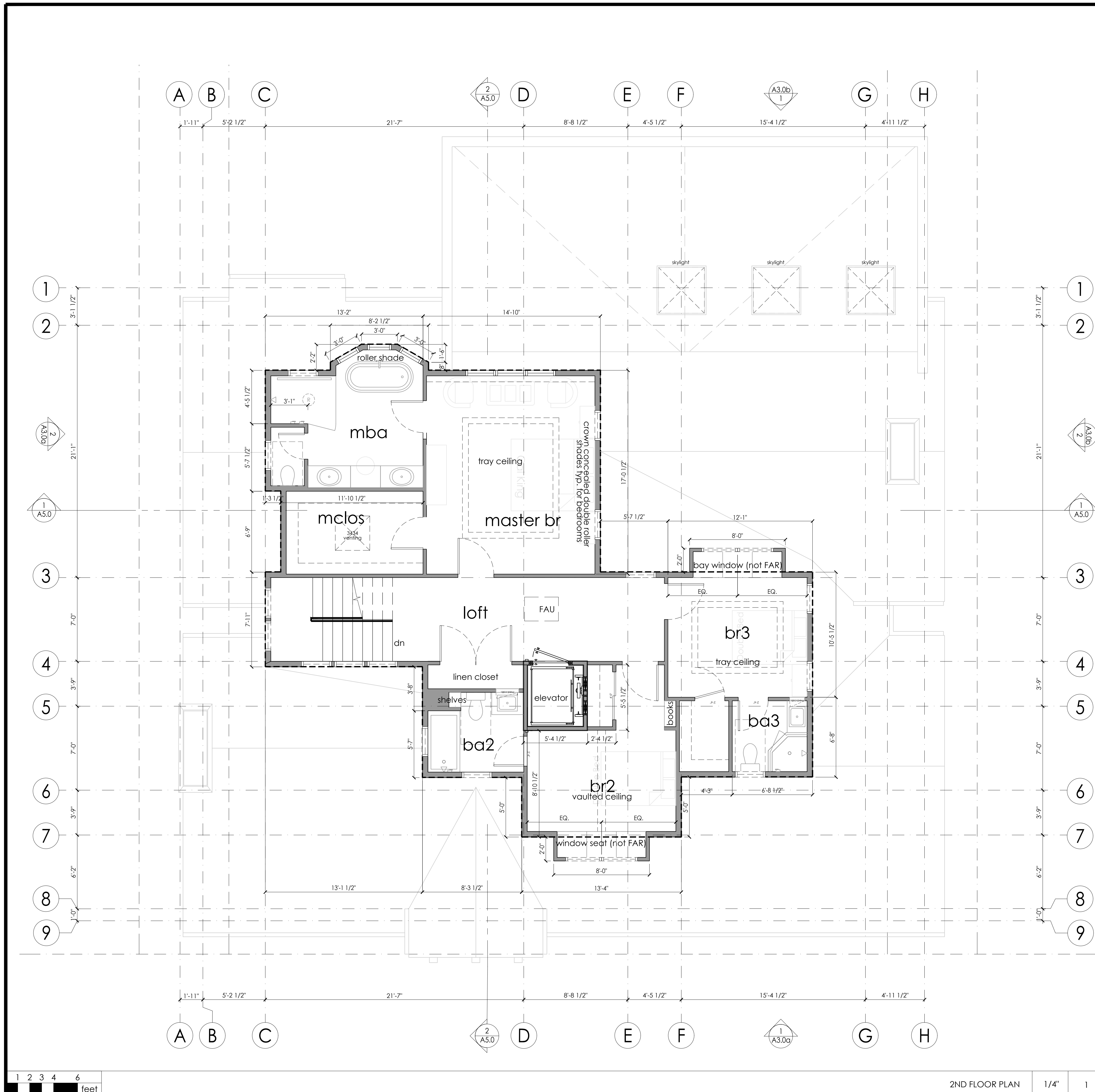
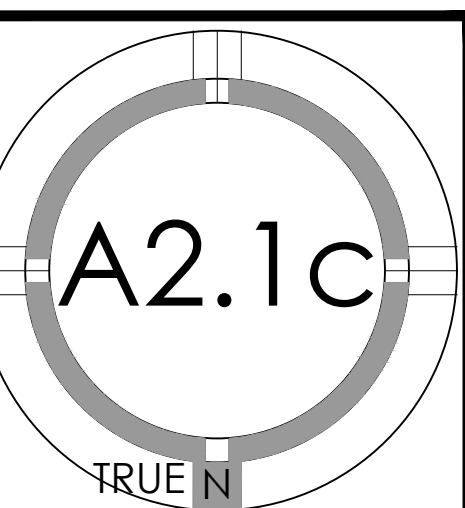
1ST FLOOR PLAN





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2ND FLOOR PLAN



2ND FLOOR PLAN 1/4" 1

FLOOR PLAN KEYNOTES

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FLOOR PLAN LEGEND



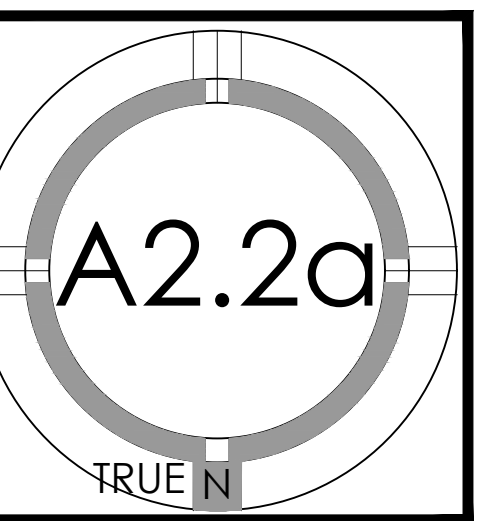
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LOWER ROOF PLAN



1. INSTALL ALL NEW ROOFING MATERIALS--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
3. [RUN PLUMBING/HVAC VENTS TO FALSE CHIMNEY PROVIDED. NO ROOF PENETRATIONS THROUGH ROOF THAT ARE VISIBLE FROM THE STREET WILL BE ACCEPTED.] PLUMBING VENTS TO BE MIN. 10' AWAY FROM, OR AT LEAST 3' ABOVE ANY OPERABLE WINDOW OR SKYLIGHT PER CPC 906.2.
4. ROOFING EYEBROW VENTS AND PLUMBING VENTS ARE PLACED CLEAR FROM FUTURE SOLAR PANELS PER CEC 110.10 (MINIMUM 250 S.F. ON A SOUTH SIDE ORIENTATION).
5. SEE ROOF PLAN FOR SLOPE.
6. PROVIDE (N) GSM ROOF JACKS, TYP. CAULK ALL EXPOSED NAIL HEADS WITH SILICONE SEALANT.
7. PROVIDE (N) GUTTERS AND DOWNSPOUTS AT LOCATIONS SHOWN--GUTTERS TO SLOPE AT 1:240 SIDE-TO-SIDE, BUT TO BE LEVEL FRONT-TO-BACK
8. INSTALL KICKOUT FLASHING PER 8/A8.0 WHEREVER GUTTERS TERMINATE AT A WALL
9. ALL PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. CONNECT ALL DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

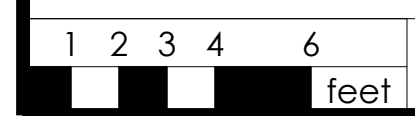
SINGLE PLY ROOFING, MIN CLASS "A"--MANUF: GAF OR EQUAL; STYLE: FULLY ADHERED EVERGUARD EXTREME TPO ROOFING MEMBRANE; THICKNESS: 60 MILLIMETER MIN.--INSTALL O/ 1/2" HIGH DENSITY POLYISO BOARD O/ SLOPING PLYWOOD SHEATHING TO ENSURE MIN. 3/8":12 SLOPE. INSTALL RIVER-WASHED ROUND STONE BALLAST O/ 6-OZ MIN. POLYMAT FILTER FABRIC O/ ROOFING MEMBRANE AT LOW ROOFS THAT ARE VISIBLE FROM 2ND FLOOR WINDOWS--INSTALL PER MANUF. 20-YEAR WARRANTY INSTRUCTIONS.

METAL PANEL SIMULATED SHAKE ROOF O/ 1 LAYER 15# ROOF FELT (EXCEPT FOR AT ROOF SLOPES BETWEEN 2-4:12, INSTALL 2 LAYERS) PER CRC 905.2.7--MIN. CLASS A--MANUF: BORAL; STYLE: PINE-CREST SHAKE; COLOR: IRONWOOD; LIFE EXPECTANCY: 30 YEAR MINIMUM--VERIFY FINAL SELECTION WITH OWNER PRIOR TO PLACING ORDER. INSTALL PER MANUF. WARRANTY INSTRUCTIONS AND ICC-ES EVALUATION REPORT #ESR-1389

DS DENOTES GUTTER DRAIN (3" DIA.) AND DOWNSPOUT (2" X 3") 26 GA ALUMINUM - FIELD VERIFY COLOR W/ OWNER. INSTALL PER MFR. INSTRUCTIONS

← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

--- LINE OF BLDG. BELOW



LOWER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



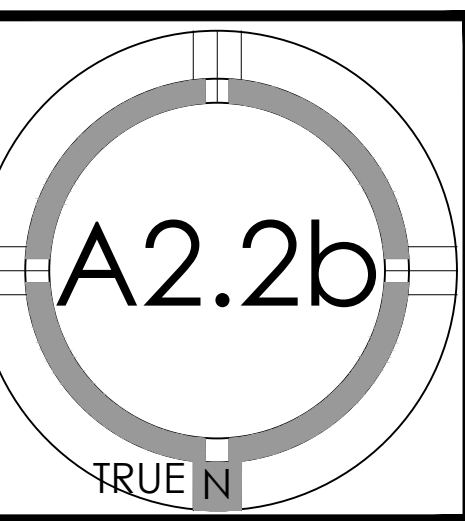
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UPPER ROOF PLAN



1. INSTALL ALL NEW ROOFING MATERIALS--SEE LEGEND BELOW FOR MATERIALS--CONFIRM COLOR SELECTION W/ OWNER PRIOR TO PLACING ORDER
2. PAINT ALL ROOF PENETRATIONS TO MATCH ROOFING COLOR.
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8. INSTALL KICKOUT FLASHING PER 8/A8.0 WHEREVER GUTTERS TERMINATE AT A WALL
9. ALL PLATE HEIGHTS PER SECTIONS AND RCP. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
10. CONNECT ALL DOWNSPOUTS TO FLEXIBLE PLASTIC DRAINPIPE AND RUN TO A LOCATION SPECIFIED BY CIVIL PLANS

ROOF GENERAL NOTES

ATTIC VENTILATION CALCULATIONS AND NOTES

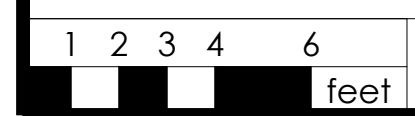
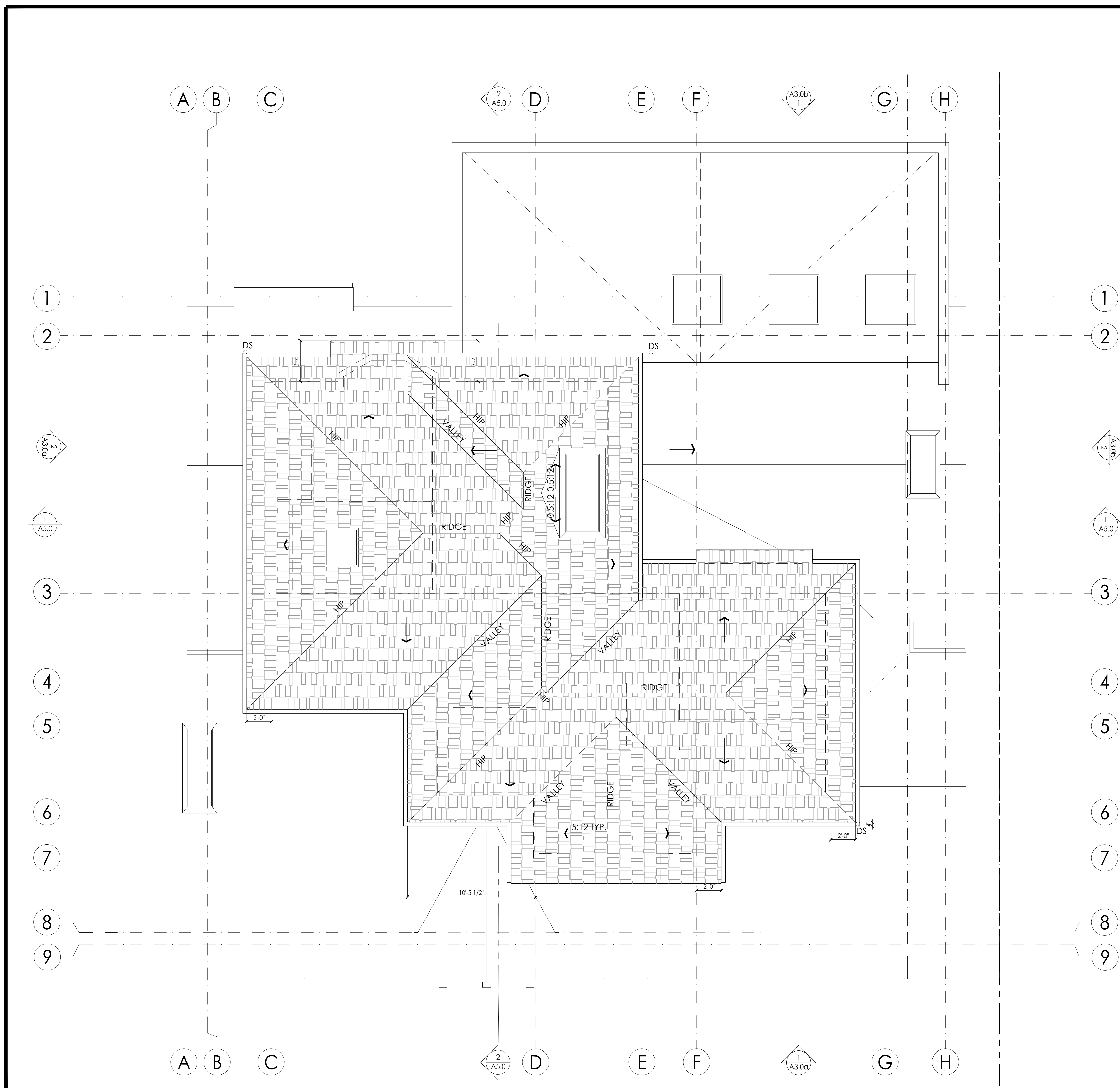
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← DENOTES DIRECTION OF SLOPE FROM HIGH TO LOW--ROOF SLOPE APPROX., REFER TO ELEVATIONS FOR MAX HT AND VERTICAL CONTROL

--- LINE OF BLDG. BELOW



UPPER ROOF PLAN 1/4" 1

ROOF PLAN LEGEND



NORTH ELEVATION (FRONT) 1/4" 1



EAST ELEVATION (LEFT) 1/4" 2

- # = NUMBER OF KEYNOTE BELOW
- 1 DAYLIGHT PLANE AS DEFINED BY JURISDICTION
 - 2 METAL PANEL SIMULATED SHAKE ROOFING--SEE ROOF PLAN FOR MORE INFO
 - 3 SKYLIGHT
 - 4 WOOD FRAMED CHIMNEY WITH [2] TALL METAL OPEN TOP SHROUD: #5C LA MONS--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION
 - 5 WOOD FRAMED "FALSE" CHIMNEY WITH [2] TALL METAL OPEN TOP SHROUD--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION--INTENT OF CHIMNEY IS TO SCREEN MULTIPLE PLUMBING/HVAC ROOF PENETRATIONS FROM VIEW
 - 6 HARDIEPANEL (WITH HARDIETRM BATTENS)--COLOR: LIGHT MIST. www.jameshardie.com
 - 7 ADHERED LIGHTWEIGHT STONE VENEER (1-15 LBS/SF)--MANUF.: ELDERADO STONE; STYLE: CLIFFSTONE; COLOR: WHITEBARK--INSTALLATION STYLE: DRYSTACK WAJNSCOOT SILL OVER STEEL "L" ANGLE; CHISELED EDGE; SILL COLOR: WHITE--www.eldaradostone.com--USE POLYMER-MODIFIED SETTING MORTAR AND GROUT. COLOR: LATICRETE GRAY--INSTALL PER MANUF. INSTRUCTIONS. ICC-ES EVALUATION REPORT ESR-1215, AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780. CONTACT TERESA VASQUEZ AT BORAL STONE GROUP (415-418-9730, Teresa.Vasquez@Boral.com) FOR FIELD REVIEW OF LATH INSTALLATION PRIOR TO INSTALLING SCRATCH COAT. SEAL VENEER WITH SILANE OR SILOXANE BASED MASONRY TREATMENT SUCH AS CRAFTSHIELD PER MANUF. INSTRUCTIONS.
 - 8 VERISTONE WAJNSCOAT SILL OVER STEEL "L" ANGLE --SIZE: 6"; STYLE: VSM339; COLOR: WHITE--INSTALL PER MANUF. INSTRUCTIONS AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
 - 9 PAINTED REDWOOD TRIM--2"x8" FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
 - 10 PAINTED REDWOOD TRIM--2"x9" BELLYBAND
 - 11 STAIN GRADE WOOD LONG PANEL STYLE GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--CLOPAY CLASSIC COLLECTION; STANDARD WHITE WITH FROSTED GLASS
 - 12 JELD WEN WINDOW OPENING WITH SIMULATED DIVIDED LITES; GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS DOORS AND WINDOWS TO HAVE 3" ARCHITECTURAL GRADE WOOD TRIM. PAINTED TO MATCH WALL; VERISTONE PRECAST TRIM TYPICAL, U.N.O. --www.jeld-wen.com
 - 13 ONE PIECE STRAIGHT FIBER GLASS COLUMN, 11" SQUARE BASE -- PACIFIC COLUMNS OR EQUAL
 - 14 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS
 - 15 ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 6"; STYLE: ROCK CREEK MODERN HOUSE NUMBERS; FINISH: FLAT BLACK--www.rejuvenation.com/catalog/products/6-rock-creek-modern-house-numbers-flat-black
 - 16 OUTDOOR KITCHEN
 - 17 HARDSCAPE--SEE SITE PLAN AND FINISH FLOOR PLAN FOR MORE INFO
 - 18 STAIN GRADE WOOD ENTRY DOOR, SIMPSON OR EQUAL
 - 19 STONE TILE -- INSTALL OVER FULL MORTAR BED. SLOPE TILE TO DRAIN

KEYNOTES	-	-

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KEYNOTES	-	-

ELEVATION GRID LINE KEY	-	-
A	BASEMENT FINISH FLOOR = +/- 91.39'	
B	BASEMENT CEILING HEIGHT = +/- 101.39'	
C	1ST FLOOR TOP OF STRUCTURE = +/- 102.64'	
D	1ST FLOOR CEILING HEIGHT (U.N.O.) = +/- 111.64'	
E	FAMILY/DINING ROOM CEILING HEIGHT = +/- 112.64'	
F	2ND FLOOR TOP OF STRUCTURE (U.N.O.) = +/- 112.89'	
G	2ND FLOOR CEILING HEIGHT (U.N.O.) = +/- 120.89'	
H	MASTER BR CEILING HEIGHT = +/- 121.89'	
I	PROPOSED BUILDING HEIGHT = +/- 127.35'	
J	MAX BUILDING HEIGHT ALLOWED = 27'-0" +/- 128.52'	



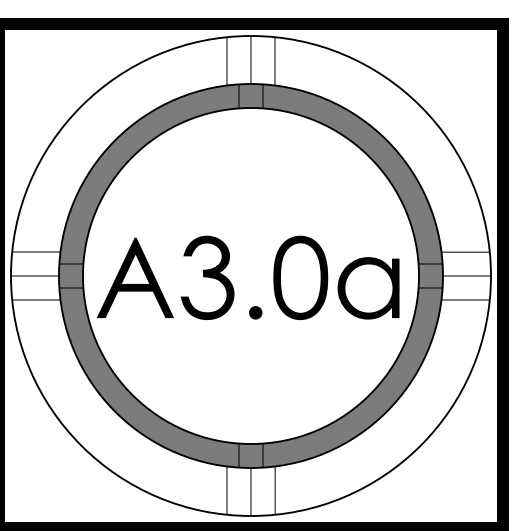
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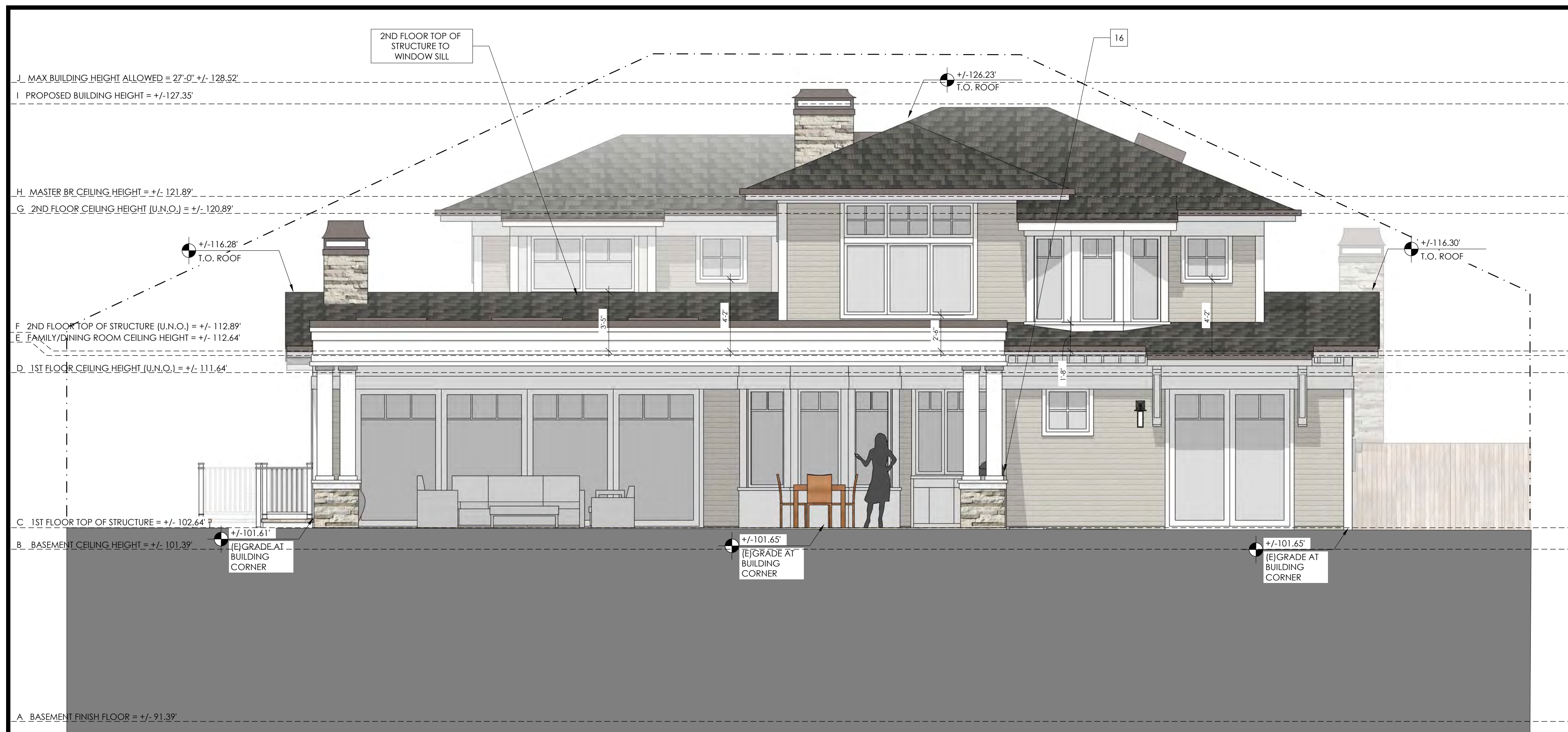
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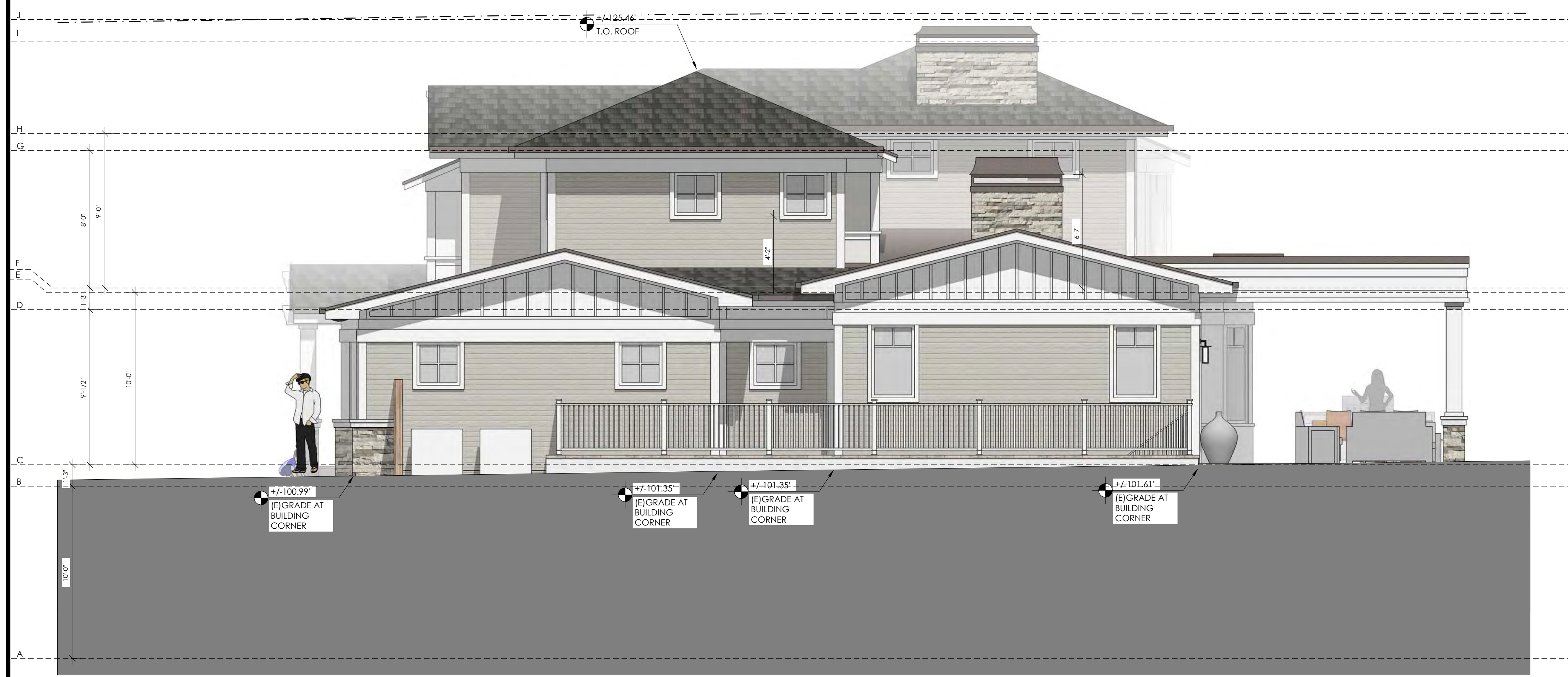
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EXTERIOR ELEVATIONS





1 2 3 4 6 feet SOUTH ELEVATION (REAR) 1/4" 1



1 2 3 4 6 feet EAST ELEVATION (LEFT) 1/4" 2

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 - 5 WOOD FRAMED "FALSE" CHIMNEY WITH [2] TALL METAL OPEN TOP SHROUD--www.chimneyking.com--SEE ROOF PLAN FOR LOCATION--INTENT OF CHIMNEY IS TO SCREEN MULTIPLE PLUMBING/HVAC ROOF PENETRATIONS FROM VIEW
 - 6 HARDIEPANEL (WITH HARDIETRIM BATTENS)--COLOR: LIGHT MIST. www.jameshardie.com
 - 7 ADHERED LIGHTWEIGHT STONE VENEER (<15 LBS/SF)--MANUF.: EL Dorado Stone; STYLE: CLIFFSTONE; COLOR: WHITEBARK--INSTALLATION STYLE: DRYSTACK WAJNSCOOT SILL OVER STEEL "L" ANGLE; CHISELED EDGE; SILL COLOR: WHITE--www.eldoradostone.com--USE POLYMER-MODIFIED SETTING MORTAR AND GROUT. COLOR: LATICRETE GRAY--INSTALL PER MANUF. INSTRUCTIONS. ICC-ES EVALUATION REPORT ESR-1215. AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780. CONTACT TERESA VASQUEZ AT BORAL STONE GROUP (415-418-9730, Teresa.Vasquez@Boral.com) FOR FIELD REVIEW OF LATH INSTALLATION PRIOR TO INSTALLING SCRATCH COAT. SEAL VENEER WITH SILANE OR SILOXANE BASED MASONRY TREATMENT SUCH AS CRAFTSHIELD PER MANUF. INSTRUCTIONS.
 - 8 VERISTONE WAJNSCOAT SILL OVER STEEL "L" ANGLE --SIZE: 6"; STYLE: VSM339; COLOR: WHITE--INSTALL PER MANUF. INSTRUCTIONS AND MVMA INSTALLATION GUIDE FOR COMPLIANCE WITH ASTM C1780
 - 9 PAINTED REDWOOD TRIM--2"x8" FASCIA WITH 4" SEAMLESS PAINTED SHEET METAL GUTTER--VERIFY GUTTER PROFILE WITH OWNER PRIOR TO FABRICATION--SEE ROOF PLAN FOR MORE INFO
 - 10 PAINTED REDWOOD TRIM--2"x9" BELLYBAND
 - 11 STAIN GRADE WOOD LONG PANEL STYLE GARAGE DOOR WITH TEMPERED GLAZING PICTURE WINDOWS--CLOPAY CLASSIC COLLECTION; STANDARD WHITE WITH FROSTED GLASS
 - 12 JELD WEN WINDOW OPENING WITH SIMULATED DIVIDED LITES; GRIDS ON THE INTERIOR AND EXTERIOR OF THE GLASS AND A SPACER BAR BETWEEN THE PANES OF GLASS DOORS AND WINDOWS TO HAVE 3" ARCHITECTURAL GRADE WOOD TRIM. PAINTED TO MATCH WALL; VERISTONE PRECAST TYPICAL, U.N.O. --www.jeld-wen.com
 - 13 ONE PIECE STRAIGHT FIBER GLASS COLUMN, 11" SQUARE BASE -- PACIFIC COLUMNS OR EQUAL
 - 14 EXTERIOR LIGHT, INSTALL PER MANUF. INSTRUCTIONS
 - 15 ADDRESS SIGNAGE, CLEARLY VISIBLE FROM ADJACENT STREET--HEIGHT: 6"; STYLE: ROCK CREEK MODERN HOUSE NUMBERS; FINISH: FLAT BLACK--www.rejuvenation.com/catalog/products/6-rock-creek-modern-house-numbers-flat-black
 - 16 OUTDOOR KITCHEN
 - 17 HARDSCAPE--SEE SITE PLAN AND FINISH FLOOR PLAN FOR MORE INFO
 - 18 STAIN GRADE WOOD ENTRY DOOR, SIMPSON OR EQUAL
 - 19 STONE TILE -- INSTALL OVER FULL MORTAR BED. SLOPE TILE TO DRAIN

KEYNOTES		-	-
ELEVATION GRID LINE KEY			
A	BASEMENT FINISH FLOOR = +/- 91.39'		
B	BASEMENT CEILING HEIGHT = +/- 101.39'		
C	1ST FLOOR TOP OF STRUCTURE = +/- 102.64'		
D	1ST FLOOR CEILING HEIGHT (U.N.O.) = +/- 111.64'		
E	FAMILY/DINING ROOM CEILING HEIGHT = +/- 112.64'		
F	2ND FLOOR TOP OF STRUCTURE (U.N.O.) = +/- 112.89'		
G	2ND FLOOR CEILING HEIGHT (U.N.O.) = +/- 120.89'		
H	MASTER BR CEILING HEIGHT = +/- 121.89'		
I	PROPOSED BUILDING HEIGHT = +/- 127.35'		
J	MAX BUILDING HEIGHT ALLOWED = 27'-0" +/- 128.52'		
ELEVATION GRID LINE KEY		-	-



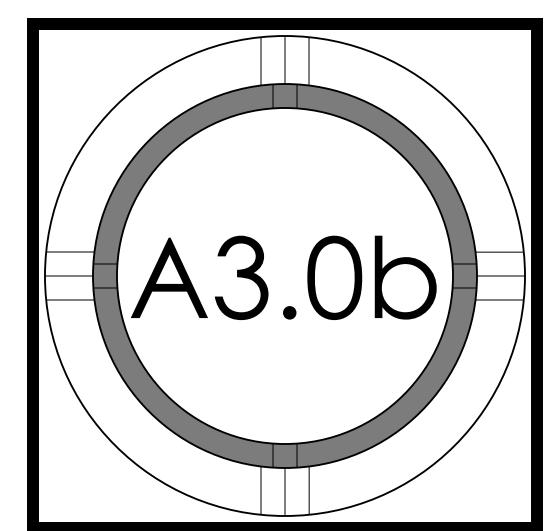
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

ON-CHIEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE
126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOWJIE (YJ) CHIEN



REVISION	DATE	DESCRIPTION	DESIGNED BY	IG	GN	IG
	03.22.2019	DESIGN REVIEW				
	05.13.2019	DESIGN REVIEW RESUBMITTAL				
	1.29.2020	DESIGN REVIEW RESUBMITTAL				

EXTERIOR ELEVATIONS





1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

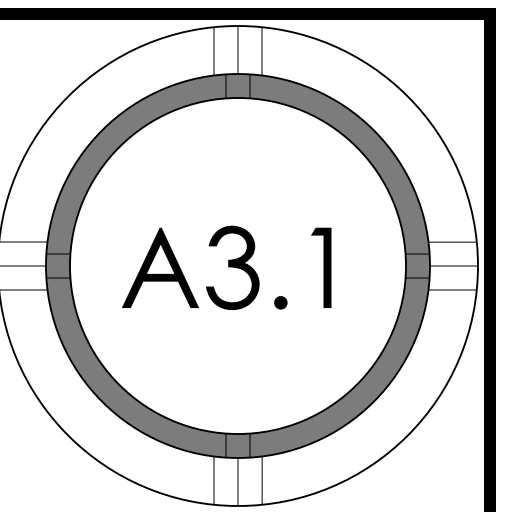
ON-CHIEH RESIDENCE

NEW SINGLE FAMILY RESIDENCE
 126 MOUNT HAMILTON AVENUE, LOS ALTOS
 GLORIA ON AND YOWJIE (YJ) CHIEN



REVISION	DATE	DESCRIPTION	DRAWN BY
	03.22.2019.	DESIGN REVIEW	IG
	05.13.2019.	DESIGN REVIEW RESUBMITTAL	IG
	1.29.2020.	DESIGN REVIEW RESUBMITTAL	GN, IG

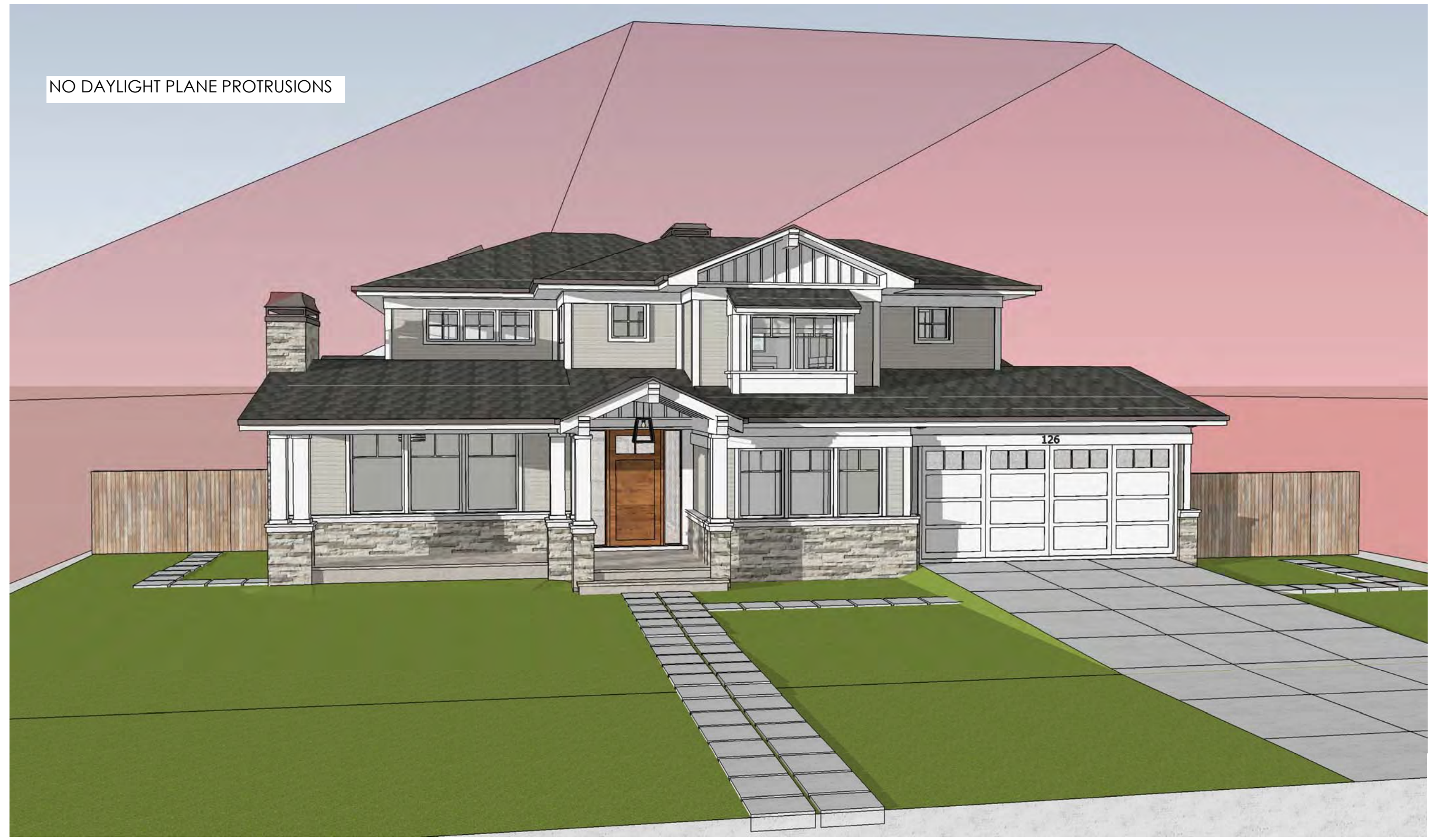
EXISTING ELEVATIONS



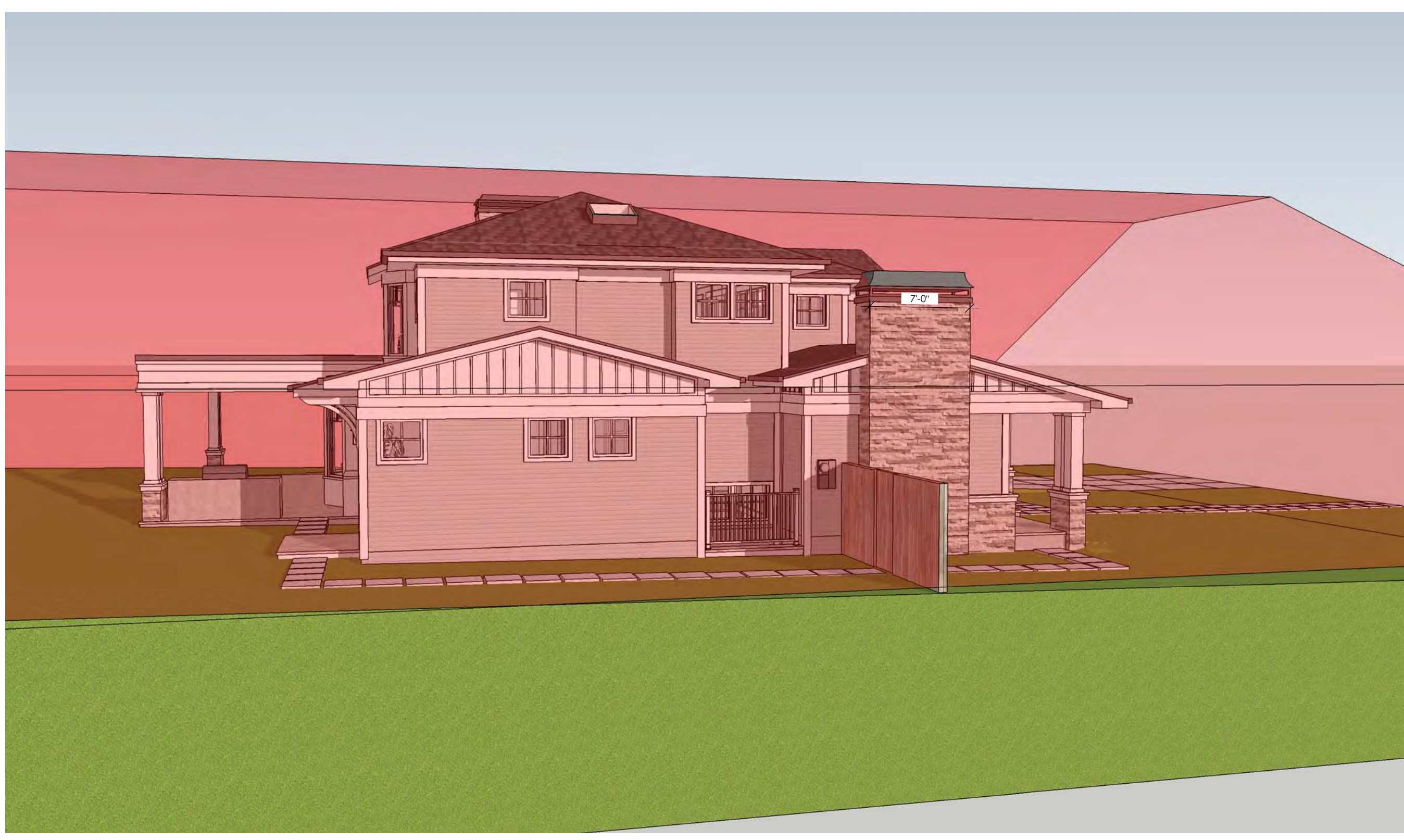


1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

ON-CHIEH RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 126 MOUNT HAMILTON AVENUE, LOS ALTOS
 GLORIA ON AND YOWJIE (YJ) CHIEN



FRONT VIEW - 3



LEFT VIEW - 1



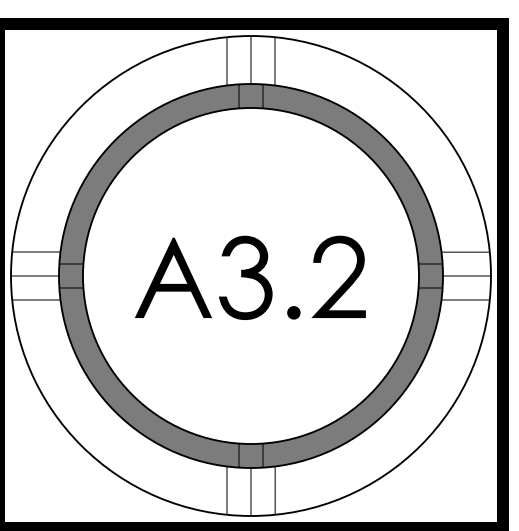
RIGHT VIEW - 4

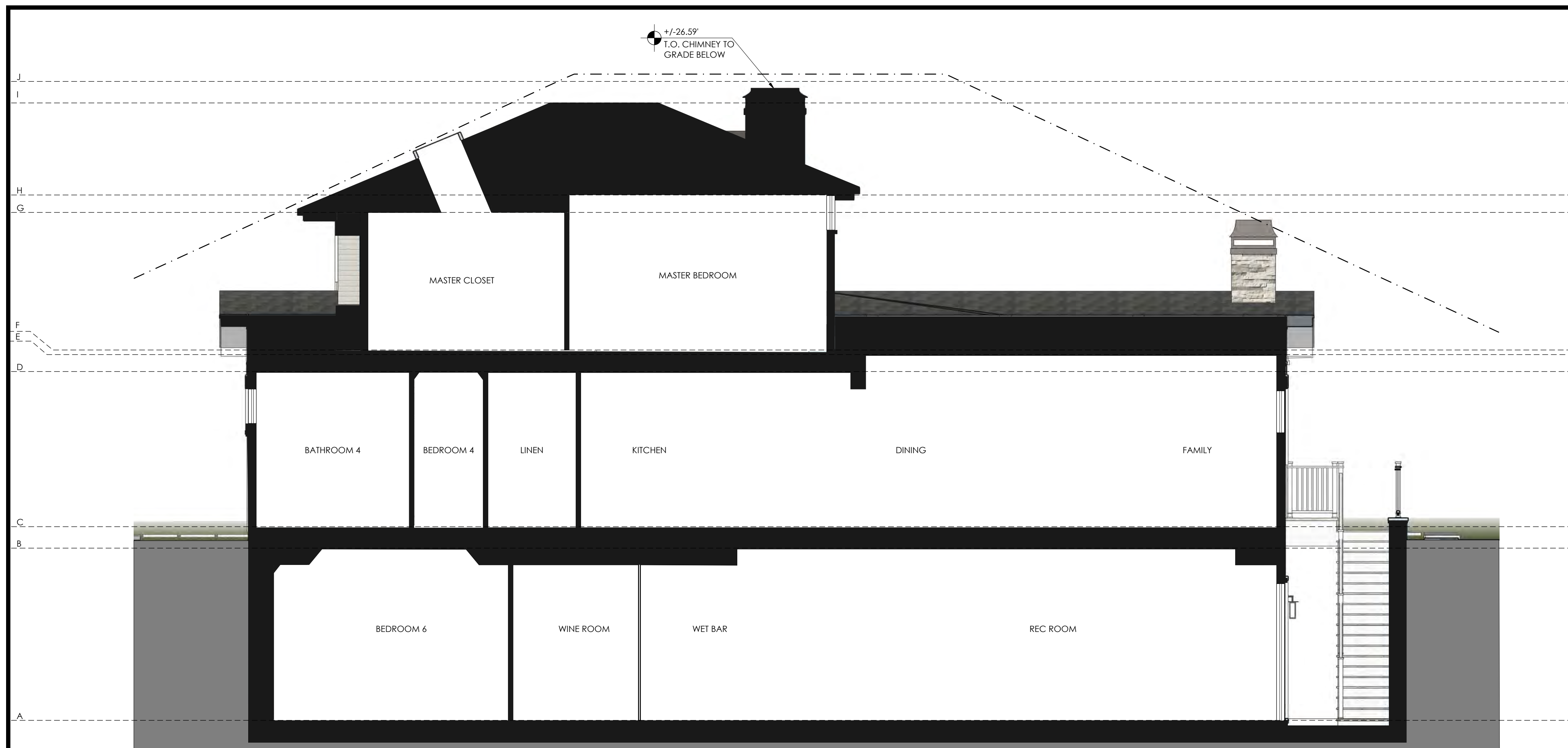


REAR VIEW - 2

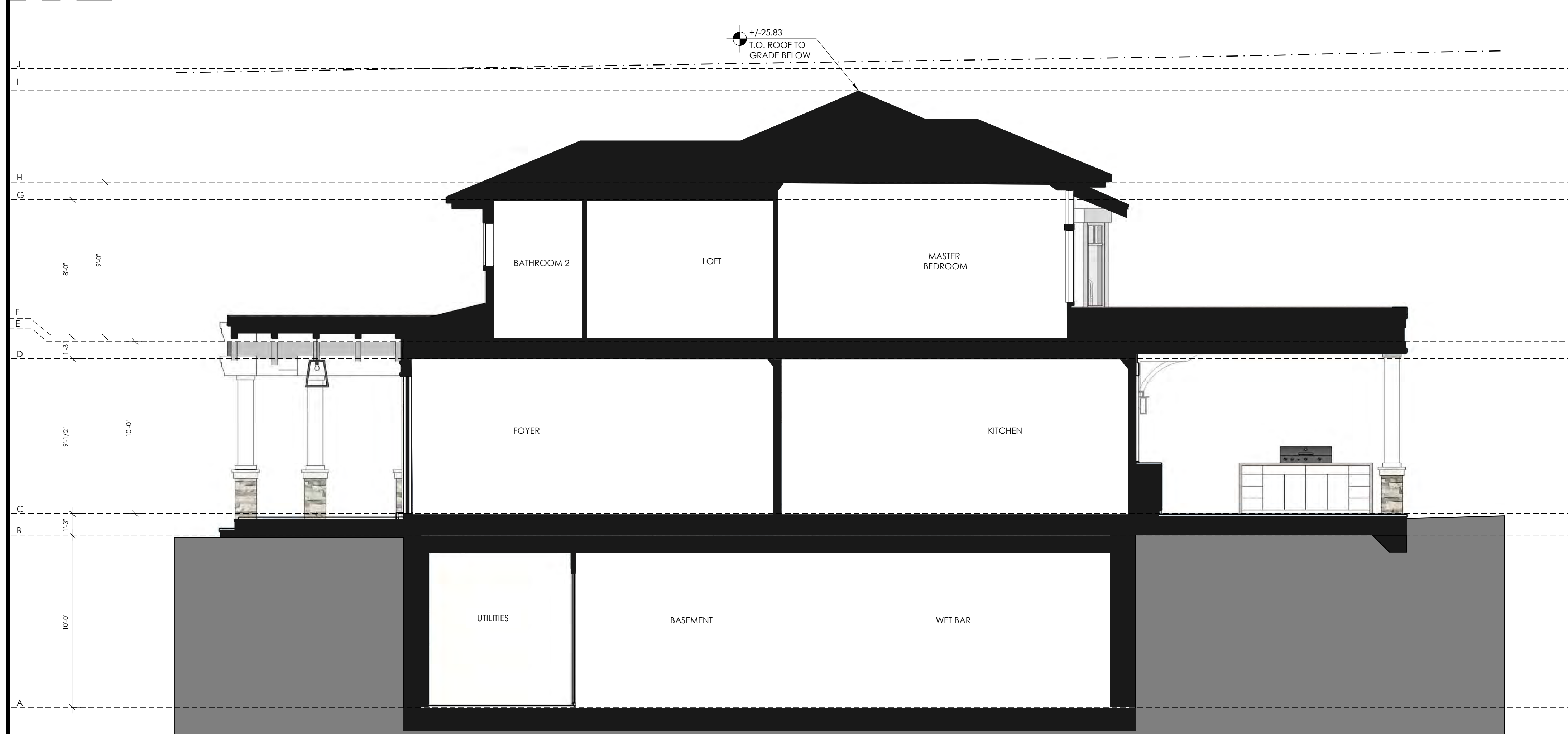
PROJECT NO.	REVISION	DATE	DESCRIPTION	DESIGNED BY	IG	GN, IG
18-012		03.22.2019.	DESIGN REVIEW			
		05.13.2019.	DESIGN REVIEW RESUBMITTAL			
		1.29.2020.	DESIGN REVIEW RESUBMITTAL			

DAYLIGHT PLANE

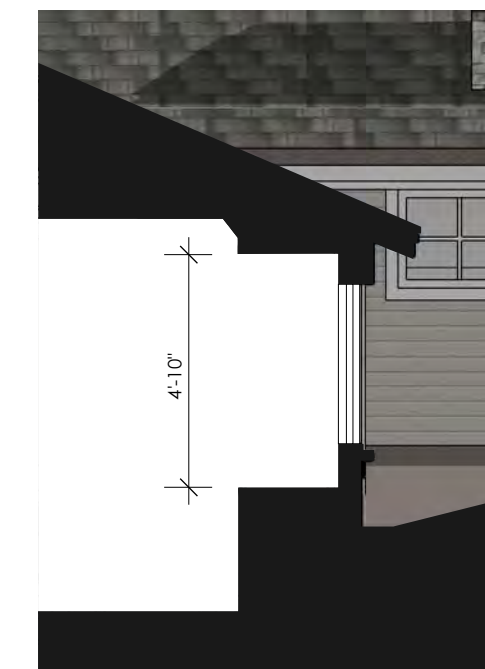




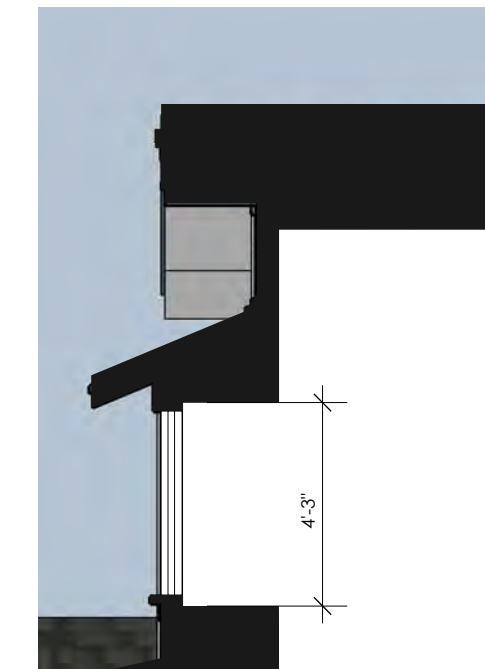
SECTION 1 1/4" 1



SECTION 2 1/4" 2



BAY WINDOW SECTION 1 1/4" = 1"



BAY WINDOW SECTION 2 1/4" = 1"

ELEVATION GRID LINE KEY

A	BASEMENT FINISH FLOOR = +/- 91.39'
B	BASEMENT CEILING HEIGHT = +/- 101.39'
C	1ST FLOOR TOP OF STRUCTURE = +/- 102.64'
D	1ST FLOOR CEILING HEIGHT (U.N.O.) = +/- 111.64'
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G	2ND FLOOR CEILING HEIGHT (U.N.O.) = +/- 120.89'
H	MASTER BR CEILING HEIGHT = +/- 121.89'
I	PROPOSED BUILDING HEIGHT = +/- 127.35'
J	MAX BUILDING HEIGHT ALLOWED = 27'-0" +/- 128.52'

ELEVATION GRID LINE KEY - -

KEYNOTES

-	-
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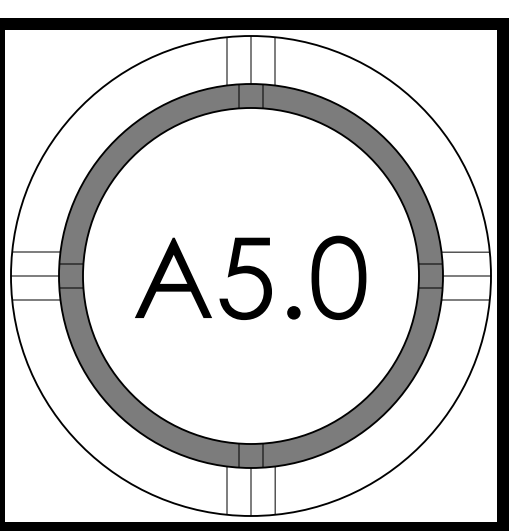
1000 S. Winchester Blvd
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ON-CHIEH RESIDENCE
NEW SINGLE FAMILY RESIDENCE
126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOWJIE (YJ) CHIEN



REVISION	DATE	DESCRIPTION	DESIGNED BY	IG	GN, IG
1	03.22.2019	DESIGN REVIEW	IG		
2	05.13.2019	DESIGN REVIEW RESUBMITTAL	IG		
3	1.29.2020	DESIGN REVIEW RESUBMITTAL	GN, IG		

SECTIONS



**CHIEN
RESIDENCE**

126 MT HAMILTON AVE
LOS ALTOS, CA
APN: 167-36-023

W E C
& ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



LEGEND:

- AC ASPHALT CONCRETE
- BC BUILDING CORNER
- BW BACK OF WALK
- CB CATCH BASIN
- CMP CORRUGATED METAL PIPE
- CO CLEAN OUT
- CRN CROWN
- DW DRIVEWAY
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FCOR FENCE CORNER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FH FIRE HYDRANT
- FW FRONT OF WALK
- G GROUND
- GC GARAGE CORNER
- GF GARAGE FACE/FRONT
- GFC GROUND AT FENCE
- GM GAS METER
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- O/H OVERHEAD
- PC PROPERTY CORNER
- RW RETAINING WALL
- SL STREET LIGHT
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- TBC TOP BACK ROLLED CURB
- TC TOP OF CURB
- TOB TOP OF BANK
- TOE TOE OF BANK
- TP TOP OF PAVEMENT
- TRC TOP OF ROLLED CURB
- TW TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- SS- SANITARY SEWER LINE
- SD- STORM DRAIN LINE
- T- TELEPHONE LINE
- W- WATER LINE

BASIS OF BEARINGS:

THE BEARING, N89°58'00"E, OF THE CENTER LINE OF MT. HAMILTON AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 64 OF MAPS AT PAGE 28, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BASIS OF ELEVATION:

TBM ELEV=100.00 (ASSUMED)

UTILITY NOTE:

UNDERGROUND UTILITIES. SHOWN PER SURFACE EVIDENCE AND RECORD MAPS. MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

NOTE:

1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

ISSUED

No.	Description	Date

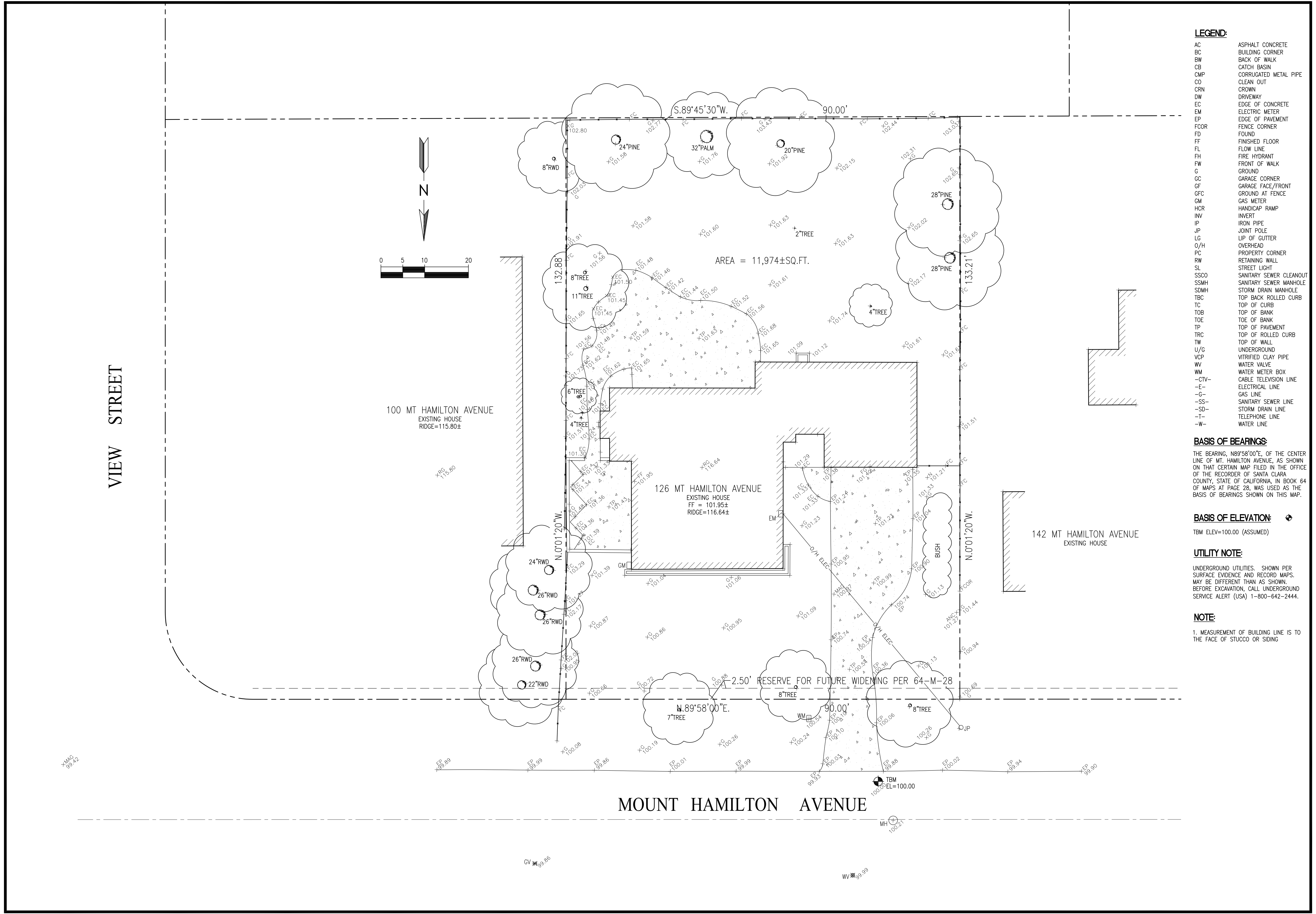
DATE: DEC 22, 2017
SCALE: 1"=10'
DRAWN: BG
JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC
SURVEY**

SHEET NO.

C.0



MOUNT HAMILTON AVENUE

VIEW STREET

100 MT HAMILTON AVENUE
EXISTING HOUSE
RIDGE=115.80±

126 MT HAMILTON AVENUE
EXISTING HOUSE
FF = 101.95±
RIDGE=116.64±

142 MT HAMILTON AVENUE
EXISTING HOUSE

AREA = 11,974±SQ.FT.

2.50' RESERVE FOR FUTURE WIDENING PER 64-M-28

N.89°58'00"E.

S.89°45'30"W.

90.00'

N.0°01'20"W.

N.0°01'20"W.

TBM
100.00
EL=100.00

MH
100.21

GV
99.85

WV
99.99

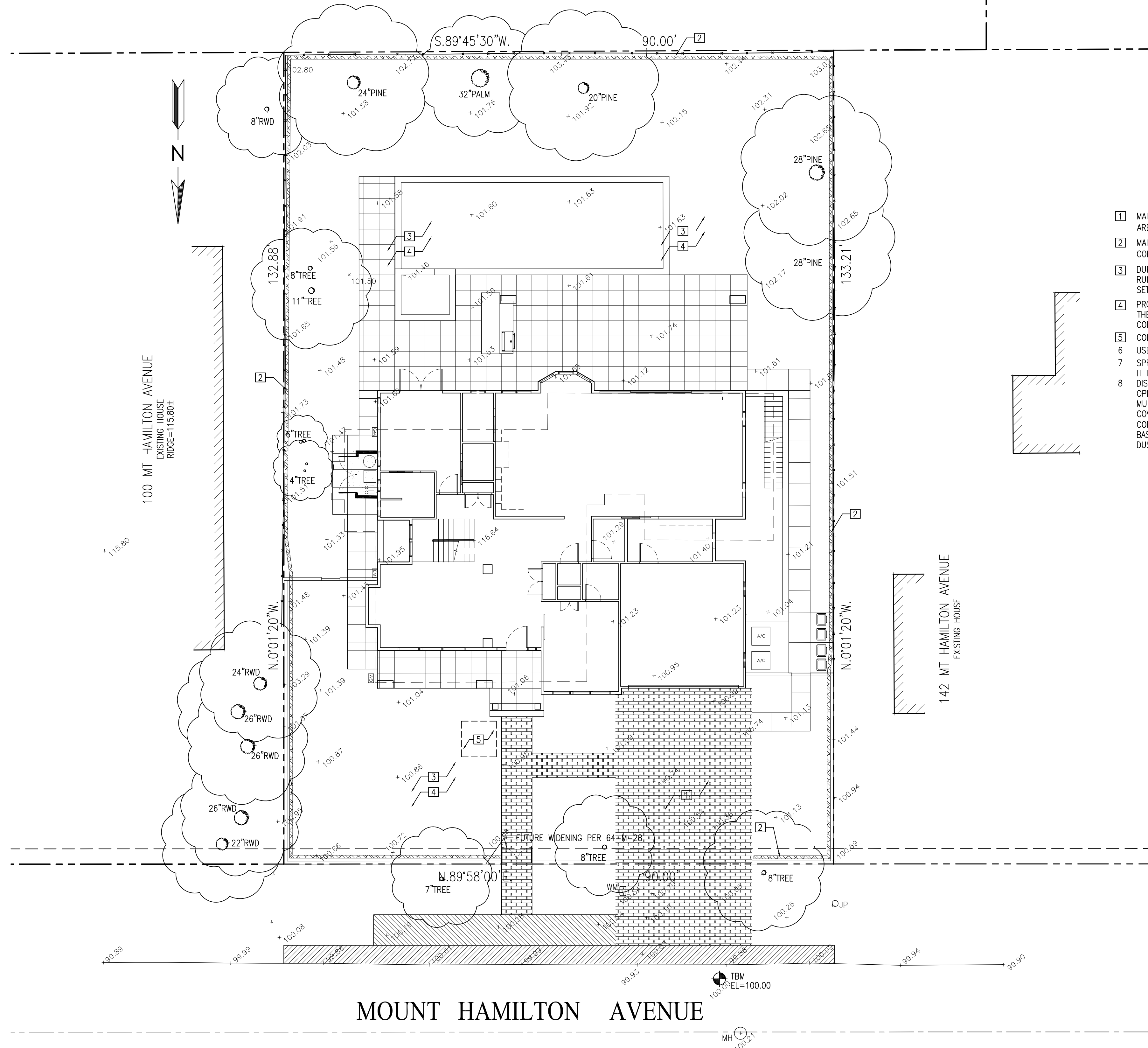
WV
99.42

EROSION CONTROL AND BEST MANAGEMENT PRACTICE:

1. CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN/NOTES, IF PROVIDED, ARE MINIMUM REQUIREMENTS, THE FULL EXTENTS OF WHICH ARE TO BE DETERMINED BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION SITE.
2. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED AS REQUIRED AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS FOLLOWING EACH STORM AND SHALL CLEAR THE OUTLET PIPES OF ANY BLOCKAGE.
4. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
5. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTER, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
6. CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE PUBLIC RIGHT-OF WAY IS PERMITTED.
7. PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES. PROVIDE ROCKED DRIVEWAY FOR SITE ACCESS DURING CONSTRUCTION.

GENERAL NOTES

2



- 1 MAINTAIN STABILIZED CONSTRUCTION AREA. SEE DETAIL 2/C.3
- 2 MAINTAIN FIBER ROLL FOR EROSION CONTROL. SEE DETAIL 1/C.3
- 3 DURING CONSTRUCTION ALLOW SEDIMENT-LADEN RUNOFF TO FORM PONDING AND ALLOW SEDIMENTS TO SETTLE OUT PRIOR TO DISCHARGE
- 4 PROVIDE AND MAINTAIN VEGETATION COVERAGE AROUND THE THE EXTEND OF THE DISTURBED AREA DURING CONSTRUCTION UNTIL PHASED GRADING ACTIVITIES
- 5 CONCRETE WASHOUT AREA, SEE DETAIL 4/C.3
- 6 USE (DONT OVERUSE) WATER FOR DUST CONTROL.
- 7 SPRINKLING THE GROUND SURFACE WITH WATER UNTIL IT IS MOIST BEFORE GRADING ACTIVITIES.
- 8 DISTURBED SOIL NOT INCLUDED IN IMMEDIATE OPERATIONS MUST BE PROTECTED BY VEGETATION, MULCHING OR OTHER EFFECTIVE MEANS OF GROUND COVER. CONTRACTOR SHALL SWEEP THE STREET ON A WEEKLY BASIS, OR ADDITIONALLY AS NEEDED TO CONTROL DUST.

CHIEN RESIDENCE

126 MT HAMILTON AVE
LOS ALTOS, CA
APN: 167-36-023



2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6466
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: JAN 12, 2019
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

EROSION CONTROL PLAN

SHEET NO.

C.2

EROSION CONTROL PLAN SCALE: 1"=10'

1

PERMEABLE DRAINAGE SWALE

REQUIRED WHERE MATERIAL IN SHOULDER CHANGES

PERMEABLE PARKING AREA

NOTES:

- AC PLUG SHALL BE 4" THICK OR MATCH EXISTING PAVEMENT THICKNESS, WHICHEVER IS GREATER.
- AGGREGATE BASE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
- INSTALL PAVERS AND ALL BASE MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- ALTERNATE DRAINAGE SWALE MAY BE CONSTRUCTED WITH 1-1/2" OR 3/4" INCH COMPACTED CLASS 2 OR 4 INCH THICK ON COMPACTED NATIVE SOIL.

LEGEND:

- Concrete pavers, or approved permeable material from SU-20B
- Aggregate base
- AC plug
- Existing pavement
- Permeable parking area
- Bedding sand
- Native material
- Base material
- Subbase material
- PCC
- Notes

Approved: *[Signature]* 12/12/19 Date: 12/12/19

REVISION		ENGINEERING DIVISION	
Description	Date		
		STREET SHOULDER IMPROVEMENT POLICY (SHEET 3 OF 3)	
		SU-20C	

NOTES:

- IF THE STREET PAVEMENT WIDTH IS 36 FEET OR GREATER, NO SHOULDER IMPROVEMENTS ARE PERMITTED WITH THE EXCEPTION OF LANDSCAPING AND IRRIGATION.
- POLICY DOES NOT APPLY FOR REPAIRS, RESEALING, AND REPAVING IN KIND OF EXISTING SHOULDERS, NOR DOES IT REQUIRE THAT SHOULDERS MUST BE PAVED.
- THE SHOULDER OF A NEWLY CONSTRUCTED OR 50% OR GREATER SQUARE FOOTAGE REMODELED RESIDENCE IS REQUIRED TO BE BROUGHT INTO COMPLIANCE WITH THIS POLICY.
- DRAINAGE SWALE:
 - 3" WIDE.
 - MAXIMUM CROSS SLOPE 5%.
 - DRAINAGE SWALE SHALL BE CONSTRUCTED USING PERMEABLE MATERIALS PER DETAIL SU-20C.
- PARKING AREA SHALL FEATURE ONE OF THE FOLLOWING MATERIALS:
 - PERMEABLE CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS: CONCRETE PAVES BOTH SOLID AND GRIDDED SYSTEMS (WITH OPEN CELLS FOR AGGREGATE, GRAVEL, OR GRASS) HAVE BEEN DEVELOPED IN A LARGE VARIETY OF SHAPES, TEXTURES, PATTERNS, AND COLORS. THE CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. GAPS OF CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS SHALL BE FILLED WITH SAND. OPEN CELL CONCRETE BLOCKS VARY IN SIZE BASED ON BLOCK TYPE AND SHALL BE FILLED WITH GRAVEL OR GRASS, ALLOWING WATER TO ENTER THE SUBGRADE. CONCRETE PAVERS AND OPEN CELL CONCRETE BLOCKS SHALL BE INSTALLED OVER A SAND BEDDING COURSE (MINIMUM 1" THICK OR PER PAVEMENT MANUFACTURER'S RECOMMENDATION). FURTHER WATER RESERVOIR CAPACITY CAN BE ADDED BY INSTALLING OPEN GRADED BASE AND STONE SUBBASE WITH AN OPTIONAL UNDERDRAIN (TO BE ROUTED TO THE PERIMETER OF THE PAVERS OR LOCATIONS SUBJECT TO LATERAL LOADING). SUBGRADE EXCAVATION DEPTH REQUIRED IS 8-12 INCHES, BUT CAN BE GREATER IN DEPTH IF ADDITIONAL RESERVOIR CAPACITY IS DESIRED.
 - COMPACTED AGGREGATE BASE (AB): 1-1/2" INCH OR 3/4" INCH CLASS 2 AGGREGATE BASE (6" INCHES THICK ON COMPACTED NATIVE SOIL)
 - COMPACTED STABILIZED DECOMPOSED GRANITE (DG): SMALL SIZED GRANITE AGGREGATE MIXED WITH A STABILIZING AGENT, COMPACTED AND PLACED OVER EXISTING PERMEABLE SURFACES AND 6 INCHES OF AGGREGATE BASE IF SUBGRADE IS LESS SUITABLE. SUBGRADE EXCAVATION REQUIRED IS 8-12 INCHES, BUT CAN BE GREATER IN DEPTH IF ADDITIONAL RESERVOIR CAPACITY IS CONSIDERED. DG LAYER SHALL BE MINIMUM 4 INCHES THICK. GRADE TO DRAIN.
- BIOSWALE/RAIN GARDEN IN LANDSCAPE AREA DESIGNED TO RECEIVE RUNOFF FROM DRAINAGE SWALE/PARKING AREA. DESIGN AND SHAPE OF BIOSWALE/RAIN GARDEN BY ARCHITECT OR ENGINEER. MINIMUM DEPTH SHALL BE 2.5". REFER TO THE C-3 STORMWATER HANDBOOK FOR DESIGN PARAMETERS AND SPECIFICATIONS OF SOILS OR PLANTS. AREA SHALL BE DEPENDING ON LENGTH OF FRONTAGE (DISTANCE MEASURED PARALLEL TO EDGE OF ROAD BETWEEN PROPERTY LINES) AS FOLLOWS:
 - FRONTAGE < 75': 50 SF MINIMUM
 - 75' < FRONTAGE < 100': 100 SF MINIMUM
 - 100' < FRONTAGE < 150': 200 SF MINIMUM
 - FRONTAGE > 150': 300 SF MINIMUM
- LOTS LOCATED ALONG DESIGNATED ROUTES TO SCHOOL MAY REQUIRE MODIFICATION TO THIS STANDARD DETAIL AS APPROVED BY THE CITY ENGINEER. OTHER MODIFICATIONS MAY BE MADE AS APPROVED BY THE CITY ENGINEER.

Approved: *[Signature]* 12/12/19 Date: 12/12/19

REVISION		ENGINEERING DIVISION	
Description	Date		
		STREET SHOULDER IMPROVEMENT POLICY (SHEET 2 OF 3)	
		SU-20B	

PLAN VIEW

SECTION A-A

LEGEND:

- AC ASPHALT CONCRETE
- PROPERTY LINE
- CENTERLINE
- EXISTING OR NEW LANDSCAPING
- STREET TREE (NEW OR EXISTING)
- BIOSWALE/RAIN GARDEN
- NEW PERMEABLE SURFACE
- NEW DRAINAGE SWALE
- FLOWPATH
- NOTES, SEE SU-20B

Approved: *[Signature]* 12/12/19 Date: 12/12/19

REVISION		ENGINEERING DIVISION	
Description	Date		
		STREET SHOULDER IMPROVEMENT POLICY (SHEET 1 OF 3)	
		SU-20A	

NOTE: STRAW ROLLS MUST BE PLACED ALONG SLOPE CONTOURS

NOTE: SEDIMENT, ORGANIC MATTER, AND NATIVE SEEDS ARE CAPTURED BEHIND THE ROLLS

NOTE: SPACING DEPENDS ON SOIL TYPE AND SLOPE STEEPNESS

NOTES:

- STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5' (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
- VERTICAL SPACING FOR SLOPE INSTALLATIONS:
 - 1:1 SLOPES = 10 FEET APART
 - 2:1 SLOPES = 20 FEET APART
 - 3:1 SLOPES = 30 FEET APART
 - 4:1 SLOPES = 40 FEET APART
 - <4:1 SLOPE = ONE ROW AT LOW POINT
- REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

Approved: *[Signature]* 1/4/20 Date: 1/4/20

REVISION		ENGINEERING DIVISION	
Description	Date		
		STRAW ROLLS	
		EC-4	

SHOULDER PAVING

8

END OF LINE AREA DRAIN

SECTION A: SWALE AT PAVED AREA

IN-LINE AREA DRAIN

Approved: *[Signature]* 12/12/19 Date: 12/12/19

REVISION		ENGINEERING DIVISION	
Description	Date		
		AREA DRAIN DETAILS	
		SCALE: N.T.S.	
		9	

SHOULDER PAVING

5

LIGHTWELL DRAIN SUMP PUMP SCALE: N.T.S.

6

BUBBLER BOX DETAIL SCALE: N.T.S.

7

NOTES:

- INSTALL PUMP(S) PER MANUFACTURER'S RECOMMENDATION.
- SEE PLAN FOR ADDITIONAL ELEVATION DETAILS.
- WATERPROOFING AROUND CONCRETE WALL/BOTTOM AND AT PIPE PENETRATION TO FOLLOW WATERPROOFING MATERIAL MANUFACTURER'S RECOMMENDATION.

Approved: *[Signature]* 12/12/19 Date: 12/12/19

REVISION		ENGINEERING DIVISION	
Description	Date		
		SHOULDER PAVING	
		SCALE: N.T.S.	
		5	

SHOULDER PAVING

3

SECTION A-A NOT TO SCALE

SECTION B-B NOT TO SCALE

NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Approved: *[Signature]* 1/4/20 Date: 1/4/20

REVISION		ENGINEERING DIVISION	
Description	Date		
		CONCRETE WASHOUT AREA	
		4	

FIBER ROLL DETAIL

1

NOTES:

- PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
- INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: *[Signature]* 1/4/20 Date: 1/4/20

REVISION		ENGINEERING DIVISION	
Description	Date		
		STABILIZED CONSTRUCTION SITE ENTRANCE	
		EC-2	

CHIEN RESIDENCE

126 MT HAMILTON AVE
LOS ALTOS, CA
APN: 167-36-023

W E C & ASSOCIATES

2625 MIDDLEFIELD RD #658
PALO ALTO, CA 94306
TEL: (650) 823-6406
FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: JAN 12, 2019
SCALE: AS SHOWN
DRAWN: J
JOB: 10078

SHEET TITLE:

DETAILS

SHEET NO.

C.3

ON-CHIEN RESIDENCE

126 MT HAMILTON

LOS ALTOS, CA

PRELIMINARY CONCEPT

LOT COVERAGE CALCULATIONS:

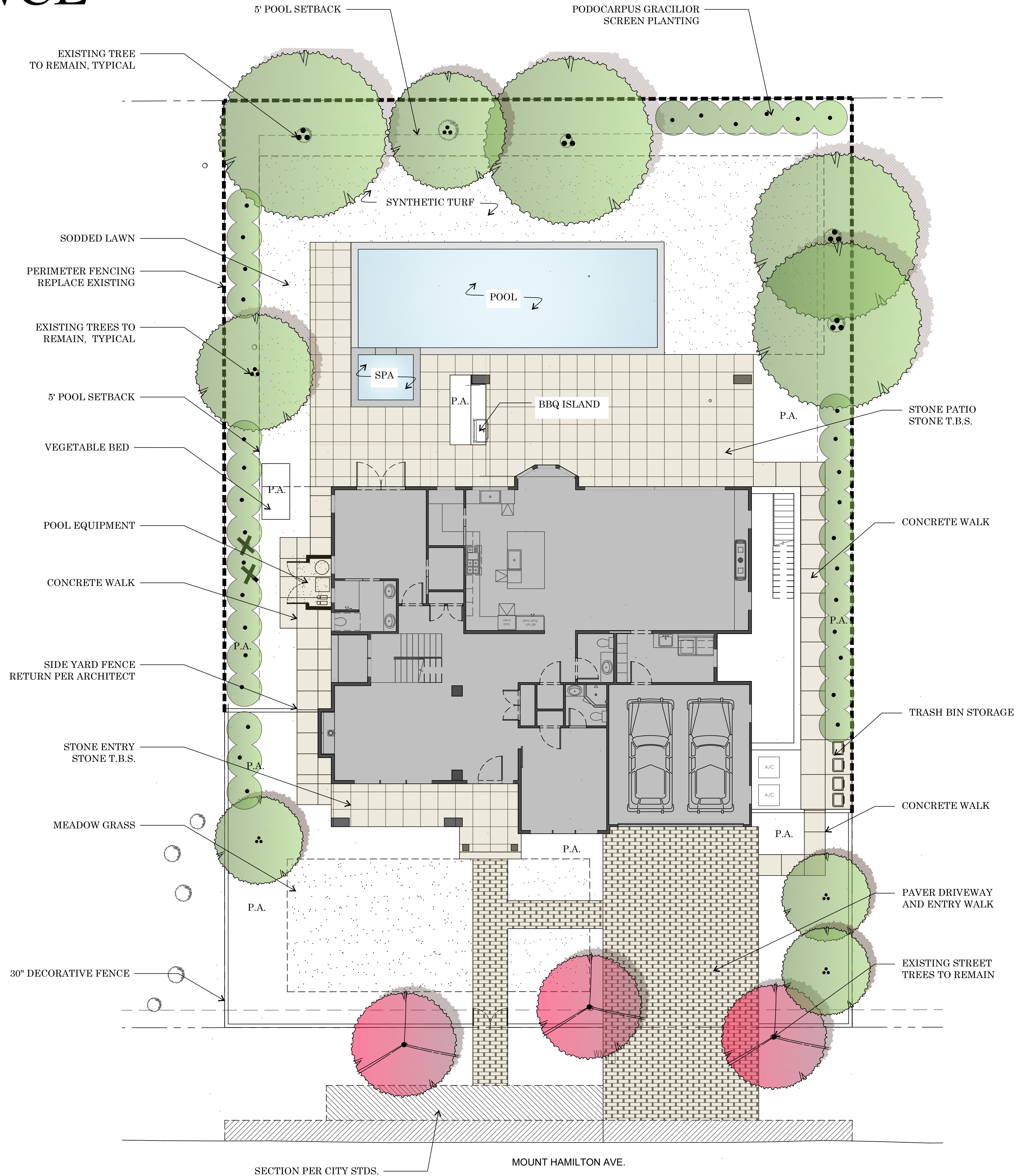
• NET LOT AREA -	11,974 SF
• HARDSCAPE COVERAGE: ARCHITECTURE -	2,740 SF
• HARDSCAPE COVERAGE: LANDSCAPE -	3,161 SF
• TOTAL SOFTSCAPE -	6,073 SF
• FRONT YARD AREA -	2,250 SF
• FRONT YARD HARDSCAPE -	770 SF (34%)

PRELIMINARY PLANT LIST:

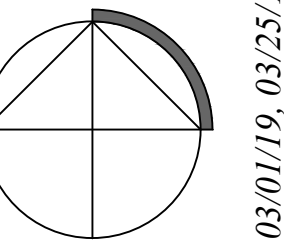
BOTANICAL NAME	COMMON NAME
TREES	
LAURUS NOBILIS 'SARATOGA'	SARATOGA BAY LAUREL
MAGNOLIA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA
PODOCARPUS GRACILIOR	FERN PINE
SHRUBS	
GAURA LINDHEIMERI	N. C. N.
LOMANDRA 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH
LOROPETALUM 'PLUM DELIGHT'	CHINESE FRINGE FLOWER
MUHLBERGIA DUBIA	PINE MUHLY
PITTOSPORUM TOBIRA	JAPANESE MOCK ORANGE
RHAPHIOLEPIS UMBELLATA	YEDDO HAWTHORNE
GROUNDCOVER	
CAREX TUMULICOLA	BERKELEY SEDGE
MUHLBERGIA CAP. 'WHITE CLOUD'	WHITE AWN MUHLY
SALVIA GREGGII 'RED'	RED AUTUMN SAGE
WESTRINGIA F. 'LOW HORIZON'	LOW HORIZON COAST ROSEMARY
VINES:	
HARDENBERGIA VIOLACEA	LILAC VINE
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE
MEADOW GRASS:	
AGROSTIS PALLENS	WEST COAST NATIVE BENTGRASS
SODDED LAWN:	
'BOLERO PLUS' 90% BOLERO DWARF FESCUE 10% BLUEGRASS	

NOTES

- I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.
- I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.



L-1
07/30/19



1/8" = 1'-0"

T H NORTON
landscape architecture, inc.
1220 DIAMOND WAY
Suite 245
CONCORD, CA 94520
phone: 925 822 3085
www.thnorton.com

NOTE: P.A. = PLANTER AREA

NOT FOR CONSTRUCTION

PLOTS: 12/16/18, 12/18/18, 02/27/19, 03/01/19, 03/25/19, 07/30/19

ON-CHIEN RESIDENCE

126 MT HAMILTON

LOS ALTOS, CA

PRELIMINARY CONCEPT



SARATOGA BAY LAUREL

MATURE SIZE: 20' Hx15' W GROWTH: MODERATE
USE: SCREEN



LITTLE GEM SOUTHERN MAGNOLIA

MATURE SIZE: 25' Hx25' W GROWTH: SLOW USE: SCREEN/ACCENT



FERN PINE

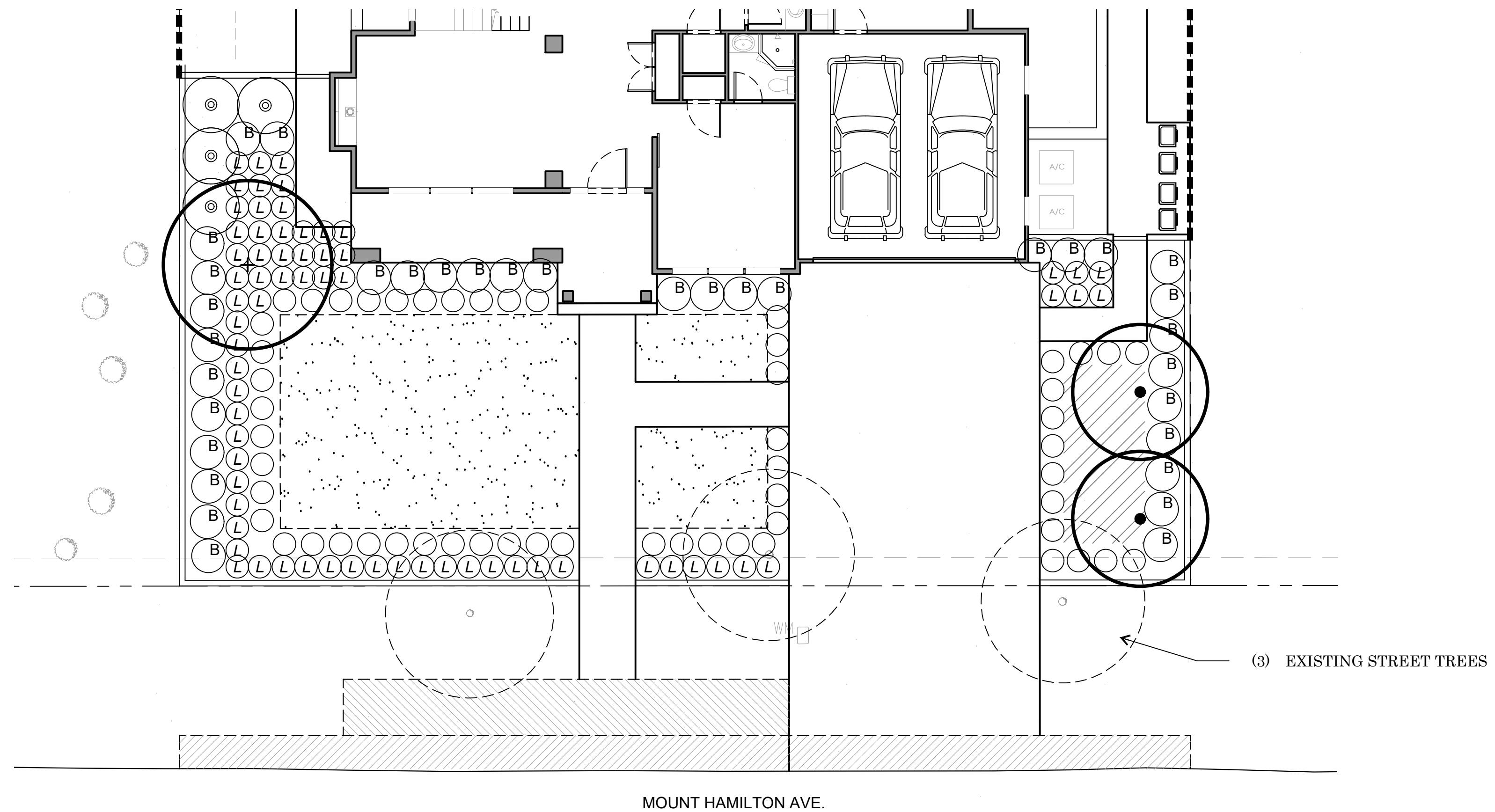
MATURE SIZE: 15' Hx5' W GROWTH: FAST USE: SCREEN

PRELIMINARY WATER BUDGET

126 MT. HAMILTON											
Zone	Water Use	PF	Method	IE	ETAF	HA	ETAF*HA	ETWU			
1 - SHRUB FRONT	M	0.4	DRIP	0.81	0.5	1,355	669	17,798			
2 - TREE FRONT	M	0.5	DRIP	0.81	0.6	160	99	2,627			
3 - MEADOW FRONT	L	0.2	DRIP	0.81	0.2	765	189	0			
4 - SHRUB REAR	L	0.2	DRIP	0.81	0.2	2,432	600	15,972			
5 - TREE REAR	M	0.4	DRIP	0.81	0.5	320	158	4,203			
6 - SOD REAR	H	0.8	DRIP	0.81	1.0	1,624	1,604	42,662			
LS TOTALS						6,656	3,319	83,262			
M _A W _A = (E _{to}) (0.62) [(0.55 × L _A) + [(1 - 0.55) × S _{LA}]]											
M _A W _A	115,403	Gallons									
	15,427	HCF									
ETWU = (E _{to}) (0.62) (E _{TAF}) (AREA)											
ETWU	106,319	Gallons									
SLA	Water Use	ETAF	HA	ETAF*HA	ETWU						
SLA TOTALS	HIGH	1.0	678	678	18,033						
SHRUB						6,656	100%				
LAWN (25% MAX.)						0	0%				

PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE/SPACING	WUCOLS	NOTES
TREES				
+ MAGNOLIA G. 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	24" BOX STD.	MODERATE	BEST AVAILABLE
⊙ PODOCARPUS GRACILOIR	FERN PINE	15 GAL.	MODERATE	SHRUB FORM
● LAURUS 'SARATOGA'	SARATOGA BAY LAUREL	24" BOX STD.	LOW	
SHRUBS				
Ⓛ LOMANDRA L. 'PLATINUM BEAUTY'	VARIEGATED DWARF MAT RUSH	5 GALLON	LOW	
Ⓟ BUXUS GREEN BEAUTY	JAPANESE BOXWOOD	5 GALLON	LOW	
GROUNDCOVER				
▨ SALVIA GREGGII 'RED'	RED AUTUMN SAGE	1 GAL @ 24" O.C.	LOW	377 SF
○ WESTRINGIA 'LOW FAST'	LOW FAST COAST ROSEMARY	1 GALLON		
SOD				
⋯ AGROSTIS PALLENS	NATIVE BENTGRASS	SOD	LOW	377 SF



PLANTING PLAN - FRONT YARD

L-2 1/8" = 1'-0"

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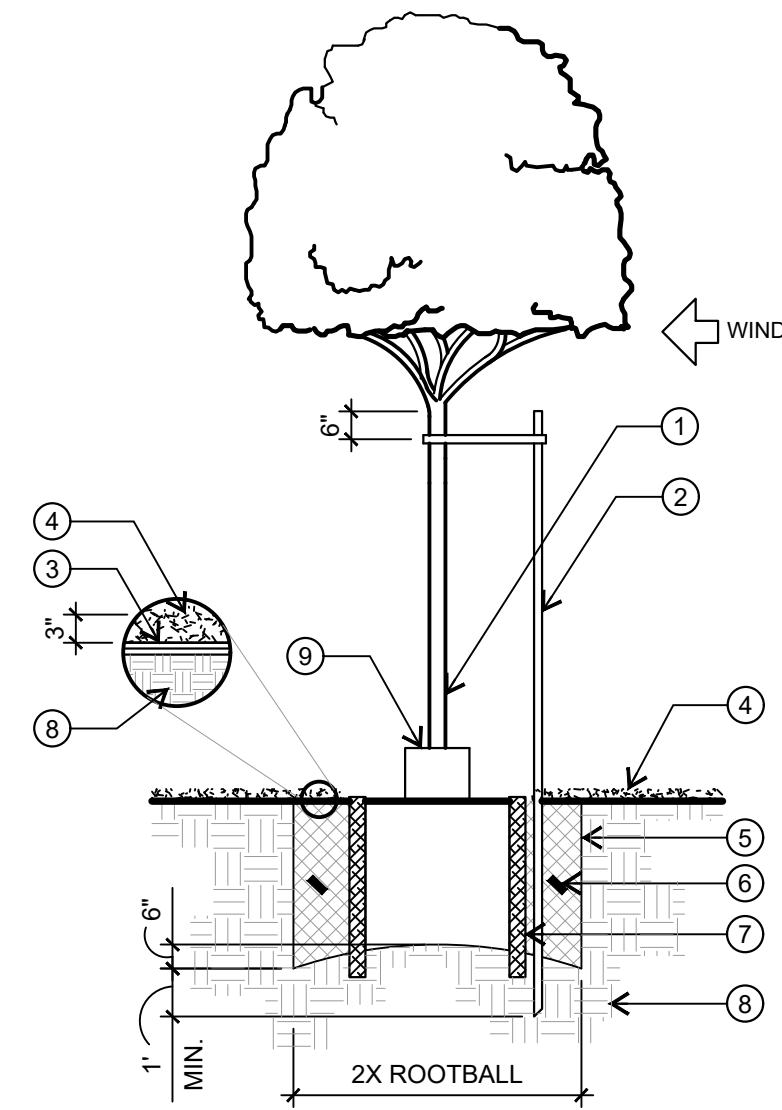
PLOTS: 12/16/18, 12/18/18, 02/27/19, 03/01/19, 03/25/19, 07/30/19

ON-CHIEN RESIDENCE

126 MT HAMILTON

LOS ALTOS, CA

PRELIMINARY CONCEPT



LEGEND

- ① MAIN TRUNK OF TREE
- ② (1) REDDY STAKE - SEE BELOW FOR SIZE AND SPECIFICATION. TO BE PLACED ON WINDWARD SIDE
- ③ NETAFIM TECHLINE CV - INSTALL AT FINISH GRADE FOR TREE RINGS. REFER TO IRRIGATION PLAN DETAILS FOR DETAILS.
- ④ 3" MULCH LAYER PULLED BACK 4" MIN. FROM STEM
- ⑤ PLANT PIT TO BE 2 TIMES WIDTH OF ROOT-BALL AND 6" BELOW BOTTOM OF ROOTBALL. BACKFILL MIX PER SPECIFICATIONS.
- ⑥ PLANT TABS PER MANUFACTURER'S RECOMMENDATIONS
- ⑦ BREATHER TUBE - SEE DETAIL, THIS SHEET
- ⑧ NATIVE SOIL
- ⑨ TRUNK GUARD IN TURF AREAS

NOTES:

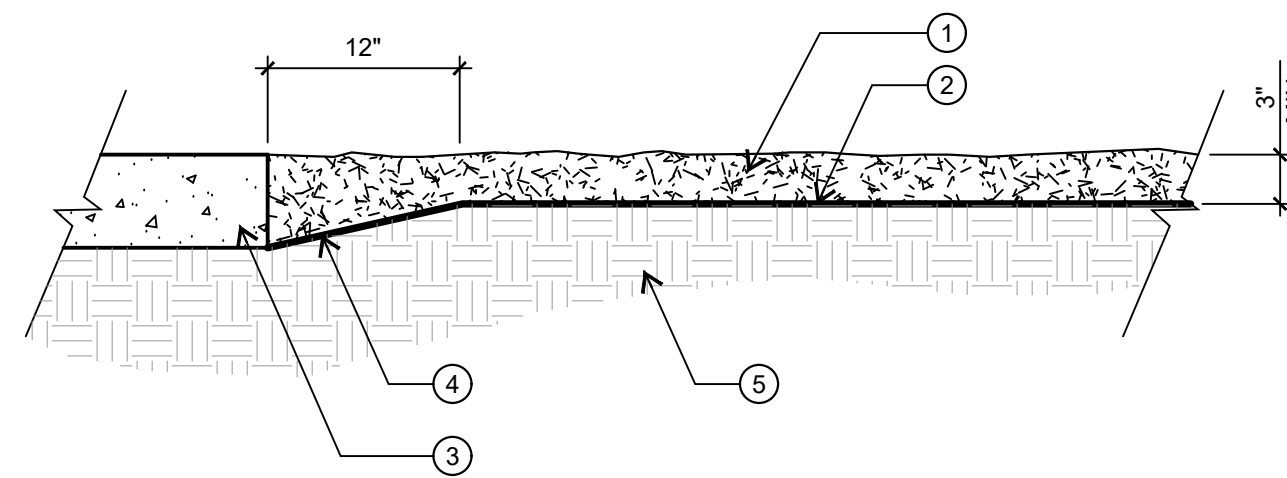
INSTALL ROOT BARRIERS ON TREES PLANTED WITHIN 5' OF ANY STRUCTURE OR HARDSCAPE.

PULL MULCH 4" MIN. AWAY FROM THE CROWN OF THE PLANT

REDDY STAKE SCHEDULE:

- 24" BOX AND SMALLER = R2 STAKE
- 36" - 48" BOX = MEGA STAKE
- ST. TREES W/ GRATE = GRATE STAKE

TREE STAKING



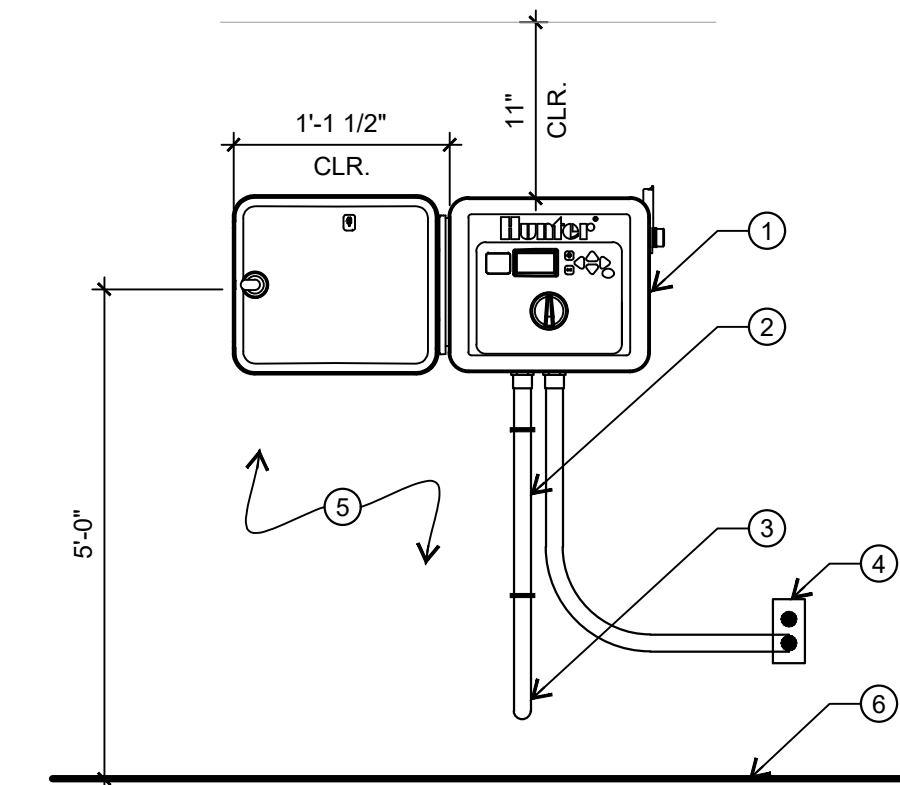
LEGEND

- ① MULCH, PER SPECIFICATIONS
- ② FINISH GRADE
- ③ HARDSCAPING / HEADERBOARD
- ④ SHOVEL-CUT EDGE
- ⑤ NATIVE SOIL

NOTES

- PRIOR TO PURCHASE/PLACEMENT OF THE MULCH, THE CONTRACTOR SHALL SUBMIT A SAMPLE TO THE INSPECTOR FOR APPROVAL.
- MULCH UNDER TREES AND SHRUBS AS DIRECTED ON THE PLANS AND BLEND INTO EDGES AT GROUND COVER AREAS.
- MOISTEN MULCH AFTER INSTALLATION TO ASSIST IN COMPACTION.
- PLACE NO MULCH WITHIN 6" RADIUS OF THE CROWN OF A WOODY PLANT.

MULCH INSTALLATION



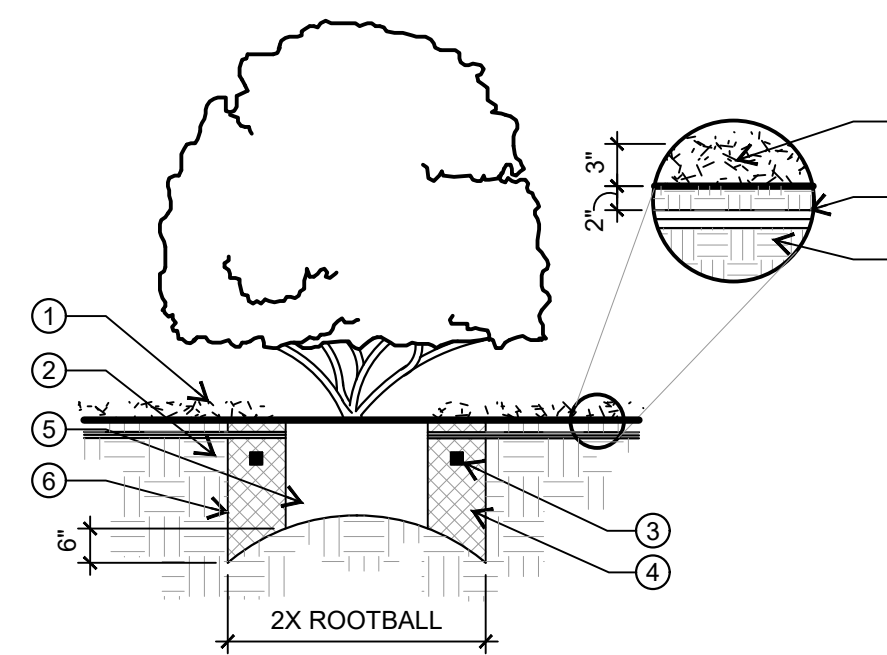
LEGEND

- ① WALL-MOUNTED CONTROLLER. INSTALL PER MANUFACTURER SPECIFICATIONS.
- ② SCH. 40 CONDUIT FOR LOW-VOLTAGE IRRIGATION WIRE. INSTALL PER MANUFACTURER SPECIFICATIONS.
- ③ 3/4" PVC ELECTRICAL SWEEP 90-DEGREE ELL THRU BUILDING TO TOP OF FG.
- ④ BUILDER-SUPPLIED 120V WALL PLUG OR J-BOX. PROVIDE WATERPROOF CONDUIT CONNECTION FROM J-BOX TO CONTROLLER FOR EXTERIOR APPLICATIONS.
- ⑤ EXTERIOR WALL
- ⑥ FINISH SURFACE (FS) / FINISH GRADE (FG)

NOTES

- ALL WIRING SHALL BE INSTALLED PER LOCAL CODES.
- PROVIDE PIPE CLAMPS FOR ALL CONDUIT (MIN. 2 PLACES PER PIPE).
- PROVIDE WATERPROOF SEAL FOR ALL WALL PENETRATIONS.
- PROVIDE LB OR PULLING ELBOW AT CONTROL WIRE ENTRY TO GARAGE.

WALL MOUNTED CONTROLLER



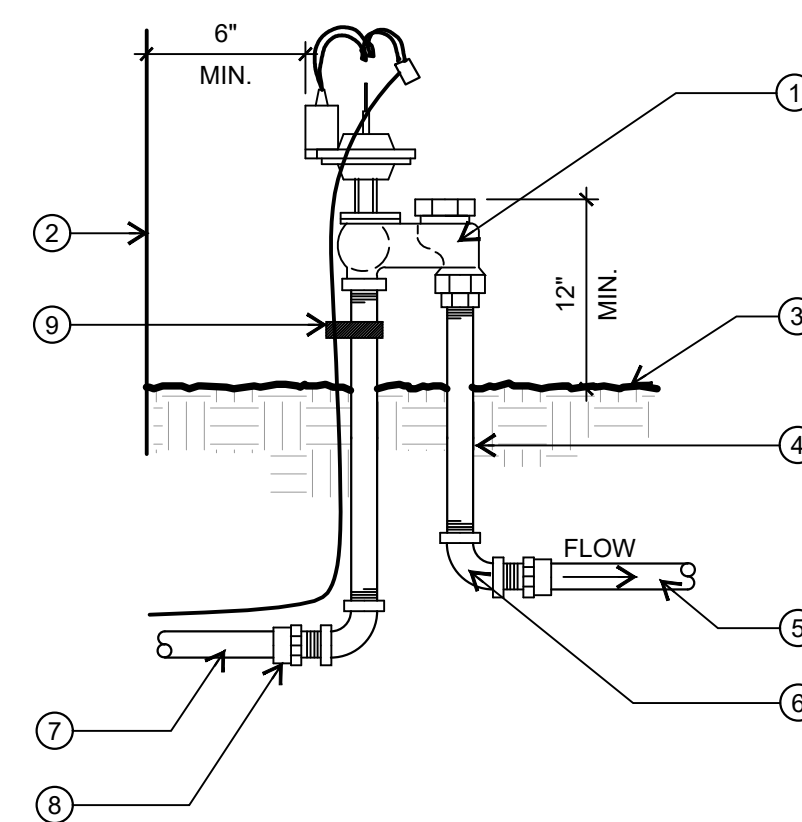
LEGEND

- ① MULCH - PER DETAILS AND SPECIFICATIONS
- ② NATIVE SOIL
- ③ PLANT TABS PER MANUFACTURER'S RECOMMENDATIONS
- ④ BACKFILL MIX PER SPECIFICATIONS
- ⑤ CONTAINER PLANT ROOT BALL
- ⑥ PLANT PIT TO BE 2 TIMES THE WIDTH OF THE ROOTBALL AND 6" BELOW THE BOTTOM OF THE ROOTBALL
- ⑦ NETAFIM TECHLINE CV - BURY 2" BELOW FINISH GRADE FOR SHRUB AREAS. REFER TO IRRIGATION PLAN DETAILS FOR DETAILS.

NOTES:

UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOTBALL WITH WATER HOSE. DO NOT CRACK ROOTBALL

SHRUB INSTALLATION



LEGEND

- ① ANGLE VALVE, PER PLAN
- ② EDGE OF STRUCTURE, HARDSCAPE, WALLS, ETC.
- ③ FINISH GRADE
- ④ SCH. 80 PVC NIPPLES
- ⑤ SCH. 40 PVC LATERAL LINE
- ⑥ SCH. 40 PVC 90 DEGREE ELL, TYPICAL (2) PLACES
- ⑦ MAINLINE, PER PLAN
- ⑧ SCH. 40 PVC SXT ADAPTOR
- ⑨ TEFLON TAPE LOOSE THREADS TO VALVE

NOTES

- ALWAYS LOCATE VALVES IN SHRUB BEDS
- LOCATE VALVES A MINIMUM OF 6" FROM STRUCTURES, HARDSCAPING, OR TOE OF SLOPES
- VALVES SHOULD SIT 12" ABOVE GROUND. FOR VALVES SERVICING SLOPES, PROVIDE ATMOSPHERIC VACUUM BREAKER (AVB) ABOVE HIGHEST HEAD.

REMOTE CONTROL VALVE-ANTI SIPHON

L-3 1/8" = 1'-0"

T H NORTON
landscape architecture, inc.
1220 DIAMOND WAY
Suite 245
CONCORD, CA 94520
phone: 925 822 3085
www.thnorton.com

PLOTS: 12/16/18, 12/18/18, 02/27/19, 03/01/19, 03/25/19, 07/30/19

Kielty Arborist Services
 Certified Arborist WE#0476A
 P.O. Box 6187
 San Mateo, CA 94403
 650-515-9783

December 5, 2018

Gloria On & Yowjie Chien
 gloriaon@gmail.com
 gsx323@gmail.com

Site:126 Mount Hamilton Avenue, Los Altos CA,

Dear Gloria On & Yowjie Chien,

As requested on Monday, November 26, 2018, I visited the above site for the purpose of inspecting and commenting on the trees. A new home is proposed for this site and your concern as to the future health and safety of existing trees has prompted this visit. Site plan A1.0a dated 10/23/18 was used for this report.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. Each tree was put into a health class using the following rating system:

- F- Very Poor
- D- Poor
- C- Fair
- B- Good
- A- Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

Tree#	Species	DBH	CON	HT/SP	Comments
126 Mount Hamilton /12/5/18 (2)					
Survey:					
1P	Purple leaf plum (<i>Prunus cerasifera</i>)	9.7	B	15/10	Good vigor, fair form, street tree.
2P	Purple leaf plum (<i>Prunus cerasifera</i>)	10.2	B	15/12	Good vigor, fair form, street tree.
3P	Purple leaf plum (<i>Prunus cerasifera</i>)	9.8	B	15/15	Good vigor, fair form, street tree.
4*P	Redwood (<i>Sequoia sempervirens</i>)	15est	A	70/15	Good vigor, good form.
5*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
6*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
7*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
8*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
9R	Oleander (hedge) (<i>Nerium oleander</i>)	2"x40	C	7/20	Fair vigor, fair form.
10P	Deodar cedar (<i>Cedrus deodara</i>)	29.8	C	75/25	Fair vigor, poor form, codominant at 40 feet with fair union, history of limb loss, recommended to reduce smaller leader and cable tree where possible.
11P	Deodar cedar (<i>Cedrus deodara</i>)	30.1	D	75/25	Fair vigor, poor form, codominant at 40 feet with included bark, history of limb loss, recommended to prune or remove.
12P	Deodar cedar (<i>Cedrus deodara</i>)	24.8	B	60/25	Good vigor, fair form.
13P	Canary island palm (<i>Phoenix canariensis</i>)	32.0	B	30/15	Good vigor, good form.

Tree#	Species	DBH	CON	HT/SP	Comments
126 Mount Hamilton /12/5/18 (3)					
Survey:					
14P	Deodar cedar (<i>Cedrus deodara</i>)	27.8	B	60/25	Good vigor, good form.
15*	Redwood (<i>Sequoia sempervirens</i>)	10est	C	40/15	Fair vigor, far form, drought stressed.
16R	Loquat (<i>Eriobotrya japonica</i>)	8.7	F	20/12	DEAD
17	Loquat (<i>Eriobotrya japonica</i>)	7.9-8.0	C	25/20	Fair vigor, fair form, one sided.
18	Loquat (<i>Eriobotrya japonica</i>)	7.2-6	D	15/12	Poor vigor, fair form, in decline.
19	Loquat	3"x3	D	15/10	Poor vigor, fair form, in decline.

P-Indicates protected tree by city ordinance R-Indicates proposed tree removal
***-Indicates neighbors tree**

Site observations:

The landscape at 126 Mount Hamilton has been fairly well maintained in the past. The trees on site are all on the perimeter of the property. The majority of the trees are in fair to good condition.



Summary:
 Purple leaf plum trees #1-3 are in good condition. These trees are planted in front of the property, within the public right of way. Because these are considered to be city street trees, they will need to be protected throughout the entire length of the project. It is recommended to provide dry season irrigation to these trees every 2 weeks during the construction, until the top foot of soil is saturated.

Showing plum trees

126 Mount Hamilton /12/5/18 (4)

Redwood trees #4-8 are located on the neighbor's property to the east. These trees are in good condition and will require tree protection fencing throughout the entire length of construction. Tree protection fencing will need to extend off of the property line fence out to a distance of 12 feet from the trees where possible. Redwood trees require frequent irrigation to maintain a healthy canopy. Currently they are getting irrigation on the property side from the irrigation of the turf. It is recommended to irrigate these trees within the tree protection fencing every 2 weeks during the dry season until the top foot of soil is saturated.

Oleander hedge #9 is in fair condition. This hedge is proposed to be removed. The hedge provides minimal screening for the property.



Showing cedar tree #11

Deodar cedar trees #10-11 are located on the west side of the property, at the property line, and have been poorly maintained in the past. Both trees have been topped in the past. Cedar tree #10 is codominant with 2 tops at 40 feet. Because the union at 40 feet looks to be wide set, the risk of failure due to the codominant tops is low. It is recommended to reduce the smaller of the 2 leaders and cable the leaders together. Cedar tree #11 is in poor condition due to being codominant at 40 feet with multiple new leaders creating areas of included bark. Included bark forms in the junctions of codominant stems where there is a narrow angle union, meaning the junction looks like a "V" rather than a "U." As the tree continues to grow the narrow unions will essentially fill with bark and create a growing area of structural weakness in the tree. When noticing a very narrow angle (creating a "V" at the junction of branches) it is likely that stress put on the either of the codominant stems can cause splitting, or even cause the stem to break off at the junction. As leaders grow they have the potential to push against each other often until the point of failure. Also each leader is heavy to the direction away from the trunks and creates more stress to the tree. This tree is recommended to be removed or heavily pruned beyond ANSI Standards to reduce the risk of a large leader failure.

126 Mount Hamilton /12/5/18 (5)



Deodar cedar trees #12 and #14 are in good condition and have been well maintained in the past. Both trees offer a good amount of screening for the property. Canary Island palm tree #13 is located between the two cedar trees.

Showing trees #12-14

Neighbor's redwood tree #15 is in fair condition. The canopy appears to be thin likely due to drought stress. It is recommended to maintain any existing irrigation on the property side near this tree.

Loquat trees #16-19 are in poor condition with the exception of loquat tree #17 that is in fair condition. Loquat tree #16 is dead and should be removed. Loquat trees #18 and #19 are in significant decline. None of these trees are of a protected size.

Impacts from proposed construction/ recommendations:

The existing driveway is too narrow and needs to be widened to conform with standard driveway regulations. Purple leaf plum trees #1 and #2 will be impacted from the widening of the driveway. Tree protection zones for these two trees will need to be placed as close as possible to the proposed driveway area, and out to the dripline of the trees where possible. These trees will need to be heavily irrigated within the tree protection zones as mitigation for the minor impacts associated with the driveway work. Both trees shall be irrigated every 2 weeks during the dry season until the top foot of soil is saturated. Excavation for the driveway when within 12 feet of these trees must take place by hand. All roots must be exposed and remain as damage free as possible. Roots within the base rock area are recommended to be saved by having base rock packed around the roots. Roots that need to be cut for the driveway surface must be cleanly cut. The Project Arborist shall be called out to the site to witness the hand excavation for these trees. The following tree protection plan will help insure the health of the existing trees to be retained

126 Mount Hamilton /12/5/18 (6)

Tree Protection Plan:

Tree Protection Zones

The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas. Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing for the protected trees on site should be installed no closer to the trunk than the dripline (canopy spread) in order to protect the integrity of the tree. The location of the tree protection fencing may be modified by the planning director. When it is not possible to place tree protection fencing at the dripline because of the proposed work or existing hardscapes, the tree protection fencing shall be placed at the edge of the proposed work or hardscapes. No equipment or materials shall be stored or cleaned inside the protection zones. Areas where tree protection fencing needs to be reduced for access, should be mulched with 6" of coarse wood chips with 1/2 inch plywood on top. The plywood boards should be attached together in order to minimize movement. The spreading of chips will help to reduce compaction and improve soil structure. All tree protection measures must be installed prior to any demolition or construction activity at the site. The non-protected trees are recommended to be protected in the same manner as the protected trees on site. No signs, wires, or any other object shall be attached to the trees. If impacts are expected to any of the trees on site, proper mitigation measures will need to be put into action to reduce overall impacts to the trees.

Landscape Buffer

Where tree protection does not cover the entire root zone of the trees, or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Root Cutting

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Grading

The existing grade level around the trees shall be maintained out to the dripline of the trees when possible. Anytime existing grades are to be changed underneath the dripline of a protected tree more than 3" special mitigation measures will need to be put into action to reduce impacts to the trees. Aeration will need to be provided to root zones of trees that are to experience fill soil being placed within the tree root zones. Grades shall not be lowered when within 3 times the

126 Mount Hamilton /12/5/18 (7)

diameter of a protected tree on site. Lowering grades will result in roots needing to be cut and is highly discouraged.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand within the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

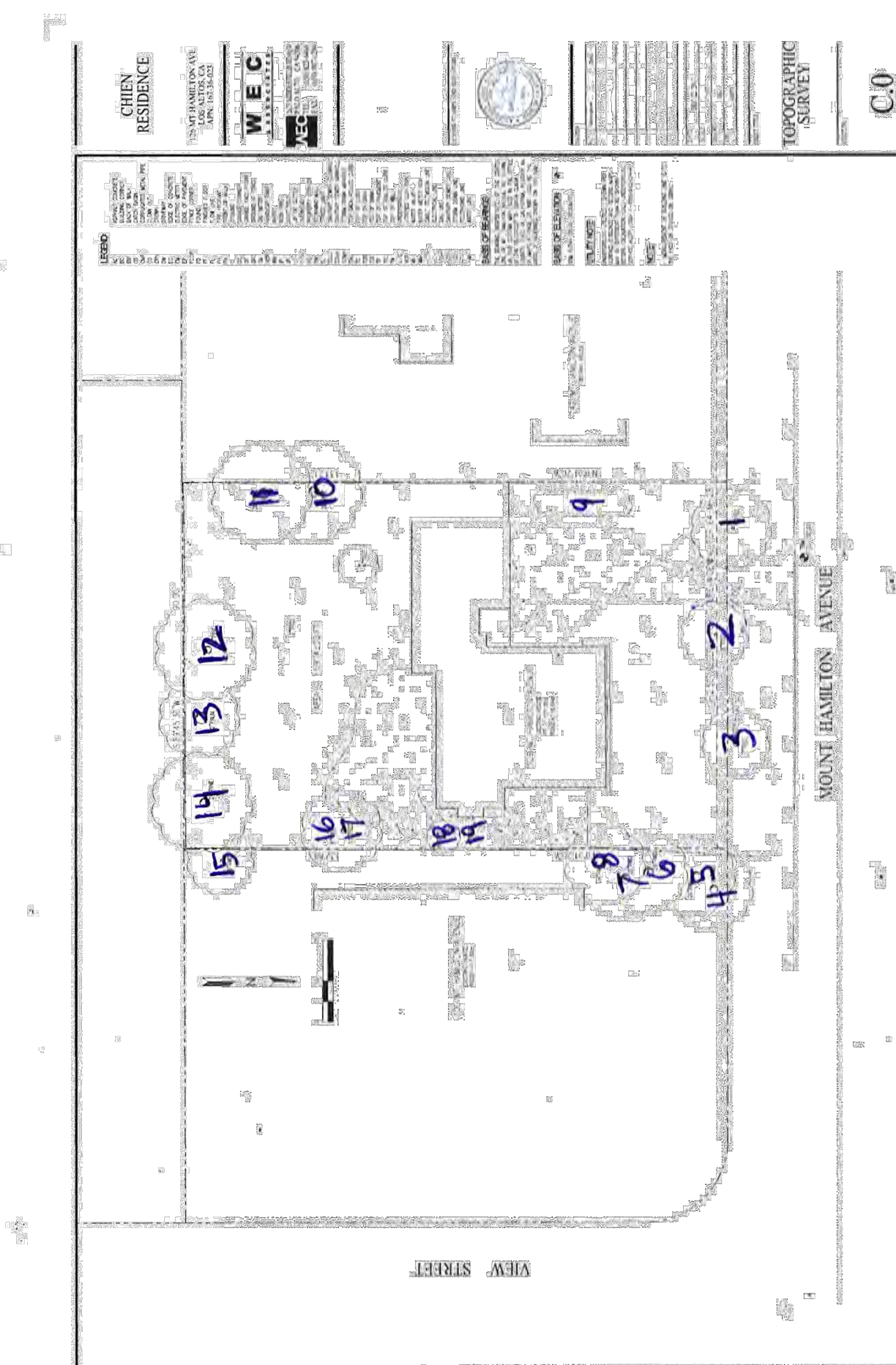
Irrigation

Native trees(oaks)-No irrigation shall be applied to any of the oak tree root zones unless their root zones are traumatized. The only time oak trees shall be irrigated is during the months of May and October in years of extreme drought.
 Imported trees- On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April - November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

Inspections

It is the contractor's responsibility to contact the site arborist when work is to take place underneath the canopy or dripline of a protected tree on site. Kielty Arborist Services can be reached by email at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin). The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
 Kevin Kielty Certified Arborist WE#0476A



Kielty Arborist Services
Certified Arborist WE#0476A
P.O. Box 6187
San Mateo, CA 94403
650-515-9783

August 8, 2019

Gloria On & Yowjie Chien
gloriaon@gmail.com
gsx323@gmail.com

Site: 126 Mount Hamilton Avenue, Los Altos CA,

Dear Gloria On & Yowjie Chien,

As requested on Thursday, August 8, 2019, I was asked to review the revised pool location as seen on site plan A1.0a dated 5/13/19. Your concerns as to the future health and safety of the trees on site has prompted this letter.

Pool location review:

The pool location has been revised to be outside the tree driplines and as far from the trees as possible. Tree protection fencing at the tree driplines will protect the tree root zones. No impacts from the construction of the pool are expected if tree protection fencing can be maintained at the dripline. Below is a list of the trees, and the distance from the tree to the pool excavation.

Tree#	Species	Diameter	Distance from pool excavation
10P	Deodar cedar <i>(Cedrus deodara)</i>	29.8	23' 6"
11P	Deodar cedar <i>(Cedrus deodara)</i>	30.1	23' 1"
12P	Deodar cedar <i>(Cedrus deodara)</i>	24.8	13' 6"
13P	Canary island palm <i>(Phoenix canariensis)</i>	32.0	14' 7.5"
14P	Deodar cedar <i>(Cedrus deodara)</i>	27.8	15' 8.5"

The distances from the trees to the excavation is far enough away where impacts are not expected. Roots to be encountered are likely to be on the small size (under 1 inch in diameter) Minor irrigation every 2 weeks is recommended within the tree protection zones, until the following winter rain season.

Sincerely,
Kevin Kielty Certified Arborist WE#0476A

FAN COIL UNIT SCHEDULE

MARK	MANUF. & MODEL	SERVICE	CFM	ESP (IN.)	MBH		ELECTRICAL			REFRIG. PIPE (IN.) LIQUID - SUCTION	OPER. WT. (LBS.)	QTY.	REMARKS
					COOLING	HEATING	V. / PH. / HZ.	MOCP	MCA				
FCU 1	SAMSUNG AM009MNDCHAA OR APPROVED EQUAL	GYM AREA	318	0.59	9.5	10.5	208-230/1/60	15	1.375	1/4 - 1/2	69.4	1	(1)(2)(3)(4)(5)
FCU 2	SAMSUNG AM007MNDCHAA OR APPROVED EQUAL	HOME THEATER	318	0.59	7.5	8.5	208-230/1/60	15	1.375	1/4 - 1/2	56.2	1	(1)(2)(3)(4)(5)
FCU 3	SAMSUNG AM007MNDCHAA OR APPROVED EQUAL	BEDROOM 6 & BEDROOM 7	318	0.59	7.5	8.5	208-230/1/60	15	1.375	1/4 - 1/2	56.2	1	(1)(2)(3)(4)(5)
FCU 4	SAMSUNG AM007MNDCHAA OR APPROVED EQUAL	BEDROOM 4	318	0.59	7.5	8.5	208-230/1/60	15	1.375	1/4 - 1/2	56.2	1	(1)(2)(3)(4)(5)
FCU 5	SAMSUNG AM012MNDCHAA OR APPROVED EQUAL	REC ROOM	353	0.59	12.0	13.5	208-230/1/60	15	1.375	1/4 - 1/2	69.4	1	(1)(2)(3)(4)(5)
FCU 6	SAMSUNG AM007MNDCHAA OR APPROVED EQUAL	LIVING/FOYER & BEDROOM 5	318	0.59	7.5	8.5	208-230/1/60	15	1.375	1/4 - 1/2	56.2	1	(1)(2)(3)(4)(5)
FCU 7	SAMSUNG AM009MNDCHAA OR APPROVED EQUAL	KITCHEN, DINING & FAMILY	318	0.59	9.5	10.5	208-230/1/60	15	1.375	1/4 - 1/2	69.4	1	(1)(2)(3)(4)(5)
FCU 8	SAMSUNG AM012MNDCHAA OR APPROVED EQUAL	MASTER BEDROOM & LOFT	353	0.59	12.0	13.5	208-230/1/60	15	1.375	1/4 - 1/2	69.4	1	(1)(2)(3)(4)(5)
FCU 9	SAMSUNG AM007MNDCHAA OR APPROVED EQUAL	BEDROOM 2 & BEDROOM 3	318	0.59	7.5	8.5	208-230/1/60	15	1.375	1/4 - 1/2	56.2	1	(1)(2)(3)(4)(5)

- CEILING CONCEALED TYPE (DUCTED) FAN COIL UNIT.
- COOLING CAPACITIES ARE BASED ON INDOOR COIL EAT OF 80F/67F, OUTDOOR 95F.
- HEATING CAPACITIES ARE BASED ON INDOOR COIL EAT OF 70F, OUTDOOR OF 47F.
- PROVIDE WITH MERV 8 FILTER BOX, SECONDARY DRAIN PAN, CONDENSATE PUMP, AND DISCONNECT SWITCH.
- INSTALL AS PER MANUFACTURER'S RECOMMENDATION.

BRANCH BOX SELECTOR SCHEDULE

MARK	MANUF. & MODEL	INDOOR FAN COIL UNIT	OUTDOOR VRF UNIT	ELECTRICAL			REMARKS
				V. / PH. / HZ.	MOCP	MCA	
BC 1	SAMSUNG MCU-R4NEKON OR APPROVED EQUAL	FCU 1, FCU 2, FCU 3	HP 1	208/1/60	15.00	1.6	(1)(2)
BC 2	SAMSUNG MCU-R4NEKON OR APPROVED EQUAL	FCU 4, FCU 5	HP 1	208/1/60	15.00	1.6	(1)(2)
BC 3	SAMSUNG MCU-R4NEKON OR APPROVED EQUAL	FCU 6, FCU 7, FCU 8, FCU 9	HP 2	208/1/60	15.00	1.6	(1)(2)

- NEW BRANCH CONTROLLER BOX.
- INSTALL AS PER MANUFACTURER'S RECOMMENDATION.

GALVANIZED SHEET METAL DUCT THICKNESS TABLE

(FOR LOW PRESSURE DUCTWORKS W/S.P. LESS THAN 2" W.G., LESS THAN 2000 FPM)

RECTANGULAR

DIMENSION:	4"-18"	19"-30"	31"-54"	55"-84"
GAUGE:	26 ga.	24 ga.	22 ga.	20 ga.

ROUND

DIMENSION:	3"-14"	15"-23"	24"-37"	37"-50"
GAUGE:	26 ga.	24 ga.	22 ga.	20 ga.

DUCT CONSTRUCTION SHALL COMPLY WITH 2016 CMC TABLES 6-1 & 6-2 AND APPENDIX A, UMC STANDARD 6-2 AND SMACNA CONSTRUCTIONS STANDARD, WHICHEVER THE MOST STRINGENT SHALL PREVAIL.

OUTDOOR VRF UNIT WITH HEAT RECOVERY SCHEDULE

MARK	MANUF. & MODEL	SERVICE	ELECTRICAL			SEER	EER	HSPF	COP	TOTAL COOLING CAPACITY (MBH)	TOTAL HEATING CAPACITY (MBH)	REFRIG. PIPE (IN.) LIQUID - SUCTION	TOTAL STD UNIT WT. (LBS.)	REMARKS
			V. / PH. / HZ.	MOCP	MCA									
HP 1	SAMSUNG AM048NXMDCRAA OR APPROVED EQUAL	FCU 1, FCU 2, FCU 3, FCU 4, FCU 5	208/1/60	40	23	17.2	11.2	9.5	3.62	38.0	42.0	3/8 - 3/4	214	(1)(2)
HP 2	SAMSUNG AM036NXMDCRAA OR APPROVED EQUAL	FCU 6, FCU 7, FCU 8, FCU 9	208/1/60	40	23	17.2	11.2	9.5	3.62	38.0	42.0	3/8 - 3/4	214	(1)(2)

- PROVIDE WITH REFRIGERANT PIPE KIT AND REFRIGERANT R410A.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS.

EVAPORATOR UNIT SCHEDULE

MARK	MANUFACTURER & MODEL	SERVICE	SUPPLY AIR (CFM)	TOTAL COOLING CAP (BTUH)	ELECTRICAL DATA					OPER. WEIGHT (LBS.)	QTY.	REMARKS
					HP	STARTING AMPS	VOLT	PH	HZ			
EV 1	WHISPERKOOL 4000 EVAPORATOR	WINE ROOM	321	3650	1/3	2.0	115	1	60	80	1	(1)

- INSTALL AS PER MANUFACTURER'S RECOMMENDATION.

CONDENSER UNIT SCHEDULE

MARK	MANUFACTURER & MODEL	SERVICE	TOTAL COOLING CAP (BTUH)	ELECTRICAL DATA					OPER. WEIGHT (LBS.)	REMARKS
				HP	STARTING AMPS	VOLT	PH	HZ		
CU 1	WHISPERKOOL 4000 CONDENSER	EV 1	3650	1/2	23.5	230	1	60	56	(1)

- INSTALL AS PER MANUFACTURER'S RECOMMENDATION.

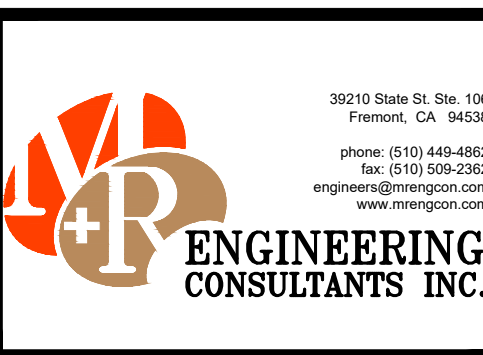
DUCT SYSTEMS		
HEATING & COOLING QUICK-SIZING TABLE		
AIRFLOW CFM	SUPPLY OR RETURN MAIN DUCT SIZE	
	TABLE A	
200	8" RD	OR 6" X 8"
300	9" RD	OR 8" X 8"
400	10" RD	OR 10" X 8"
500	11" RD	OR 14" X 8" 10" X 10"
600	12" RD	OR 16" X 8" 12" X 10"
700	13" RD	OR 18" X 8" 14" X 10" 12" X 12"
800	14" RD	OR 22" X 8" 16" X 10" 14" X 12"
1000	16" RD	OR 28" X 8" 20" X 10" 16" X 12"
1200	17" RD	OR 32" X 8" 24" X 10" 20" X 12"
1400	18" RD	OR 28" X 10" 24" X 12"
1600	20" RD	OR 32" X 10" 28" X 12"
1800	21" RD	OR 30" X 12"
2000	22" RD	OR 34" X 12"

AIRFLOW CFM	SUPPLY BRANCH DUCT SIZE	
	TABLE B	
80	5" RD	
120	6" RD OR 3-1/2" X 10"	
160	7" RD	



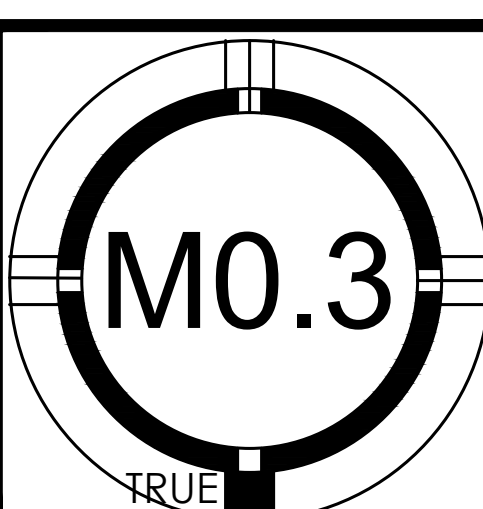
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P : (408) 998 - 0983
F : (408) 404 - 0144

ON-CHIEH RESIDENCE
NEW SINGLE FAMILY RESIDENCE
126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOWJIE (YJ) CHIEH



PROJECT NO. 17-044	DATE	
	DESCRIPTION	
REVISION DATE		

MECHANICAL SCHEDULES



DRYER EXHAUST BOOSTER FAN SCHEDULE

MARK	MANUF. & MODEL	SERVICE	CFM	ESP (IN.)	ELECTRICAL		OPER. WT. (LBS.)	QTY	REMARKS
					V. / PH. / HZ.	WATTS			
BF 1	FANTECH DBF4XLT	DRYER EXHAUST	150	0.20	115/1/60	83	10	1	1 2 3 4

- 1 PROVIDE WITH DBF4XLT KIT(MOUNTING BRACKET, DUCT CLAMP, INDICATOR PANEL), WALL CAP, AND BACKDRAFT DAMPER.
- 2 INSTALL WHEN THE DRYER DUCT IS 14 FEET OR MORE WITH 2 ELBOWS OR AS PER THE DRYER MANUFACTURER'S INSTRUCTIONS.
- 3 FAN SHALL HAVE BUILT IN PRESSURE SENSOR KIT.
- 4 INSTALL PER MANUFACTURER'S INSTRUCTIONS.

HOOD SCHEDULE

MARK	MANUF. & MODEL	SERVICE	CFM	ELECTRICAL		SONES	QTY	UNIT WT. (LBS.)	REMARKS
				V. / PH. / HZ.	WATTS				
H 1	THERMADOR HPIN48HS-VT1101OP(BLOWER)	UNIT KITCHEN RANGE	1000	120/1/60	80	9.0	1	101	1 2

- 1 INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 2 ISLAND DOMESTIC RANGE HOOD WITH 6" ROUND DUCT CONNECTOR.

EXHAUST FAN SCHEDULE

MARK	MANUF. & MODEL	LOCATION	SERVICE	CFM	ESP (IN.)	SONES	ELECTRICAL		OPER. WT. (LBS.)	QTY.	REMARKS
							V. / PH. / HZ.	WATTS			
EF 1	PANASONIC FV-11-15VKL1 OR APPROVED EQUAL	CEILING	WHOLE HOUSE VENT	131	0.25	0.8	120/1/60	21.0	15	1	1 2 3 5 6
EF 2	PANASONIC FV-11VQCL5 OR APPROVED EQUAL	CEILING	BA-2, 3, 4, 5, 6, 7/ MBA & LAUNDRY	89	0.25	0.7	120/1/60	25.7	15	9	1 2 4 5 6

- 1 PROVIDE FAN WITH MANUAL/WALL SWITCH.
- 2 PROVIDE FAN WITH CEILING GRILLE, ROOF CAP WITH SCREEN, HANGING VIBRATION ISOLATOR, AND BACK DRAFT DAMPER.
- 3 FAN TO RUN CONTINUOUSLY AS WHOLE HOUSE FAN.
- 4 PROVIDE FAN WITH INTEGRAL HUMIDITY SENSOR(30-80% ADJUSTABLE) AND MOTION SENSOR, SET INITIAL SET POINT AT 60%.
- 5 BATHROOM EXHAUST FAN SHALL BE "ENERGY STAR" COMPLIANT AND DUCTED TO TERMINATE OUTSIDE OF THE BUILDING(CGBSC 4.506.1.1)
- 6 INSTALL PER MANUFACTURER'S INSTRUCTIONS.

AIR DISTRIBUTION SCHEDULE

MARK	MANUFACTURER & MODEL OR EQUAL	SERVICE	TYPE	FINISH	MODULE SIZE	NECK SIZE	REMARKS
LBD-1	TITUS/CT-480 OR APPROVE EQUAL	SUPPLY	AS SHOWN ON PLAN	WHITE	12"x6"	AS SHOWN ON PLAN	1 2
LBD-2	TITUS/CT-480 OR APPROVE EQUAL	SUPPLY	FLOOR	WHITE	24"x6"	AS SHOWN ON PLAN	1 2
RG-1	TITUS/CT-580 OR APPROVE EQUAL	RETURN	WALL	WHITE	12"x6"	AS SHOWN ON PLAN	1
RG-2	TITUS/CT-580 OR APPROVE EQUAL	RETURN	AS SHOWN ON PLAN	WHITE	24"x6"	AS SHOWN ON PLAN	1

- 1 INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 2 PROVIDE WITH FACTORY BUILT PLENUM BOX.

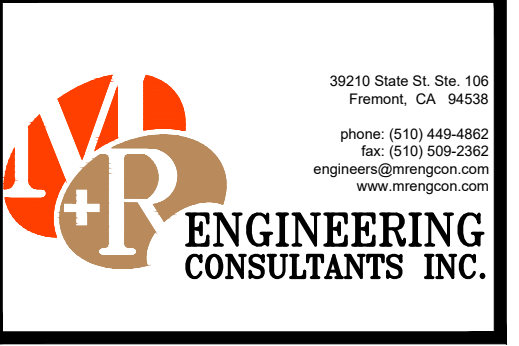
WHOLE BUILDING VENTILATION CALCULATION

<p>MINIMUM VENTILATION RATE, Eq.4.1:</p> $Q_{fan} = 0.01(A_{floor}) + 7.5(N_{br} + 1)$ $Q_{fan} = 0.01(5433) + 7.5(7 + 1)$ $Q_{fan} = 54.33 + 60$ $Q_{fan} = 114.33$ <p>Qfan=115 CFM MINIMUM</p>
<p>MINIMUM CALCULATED VENTILATION RATE IS 115 CFM. THE TOILET EXHAUST FAN (EF-1) IS SUFFICIENT TO PROVIDE THE MINIMUM REQUIREMENT OF THE WHOLE HOUSE VENTILATION. THE MECHANICALLY FAN VENTILATION METHOD IS USED TO EXHAUST 131 CFM OF AIR PER FLOOR, WHICH MEETS OR EXCEEDS THE MINIMUM CALCULATED VENTILATION RATE OF 115 CFM.</p>
<p>LEGEND:</p> <p>Qfan = REQUIRED VENTILATION (CFM) A_{floor} = TOTAL CONDITIONED FLOOR AREA</p> <p>Nbr = NUMBER OF BEDROOMS</p> <p>Qr = VENTILATION REQ. FROM Eq. 4.1</p> <p>f = DAILY FRACTIONAL ON TIME</p> <p>e = VENTILATION EFFECTIVENESS (TABLE 4.8)</p> <p>Qf = MIN. FAN FLOW RATE DURING ON CYCLE (cfm)</p>



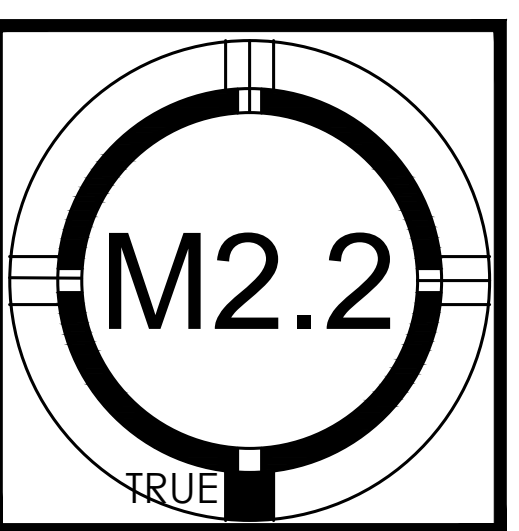
1000 S Winchester Blvd
San Jose, CA 95128
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ON-CHEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE
126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOWJIE (YJ) CHEN



PROJECT NO.	17-044
REVISION DATE	
DESCRIPTION	
DRAWN BY	
CHECKED BY	
DATE	

MECHANICAL
FIRST FLOOR PLAN

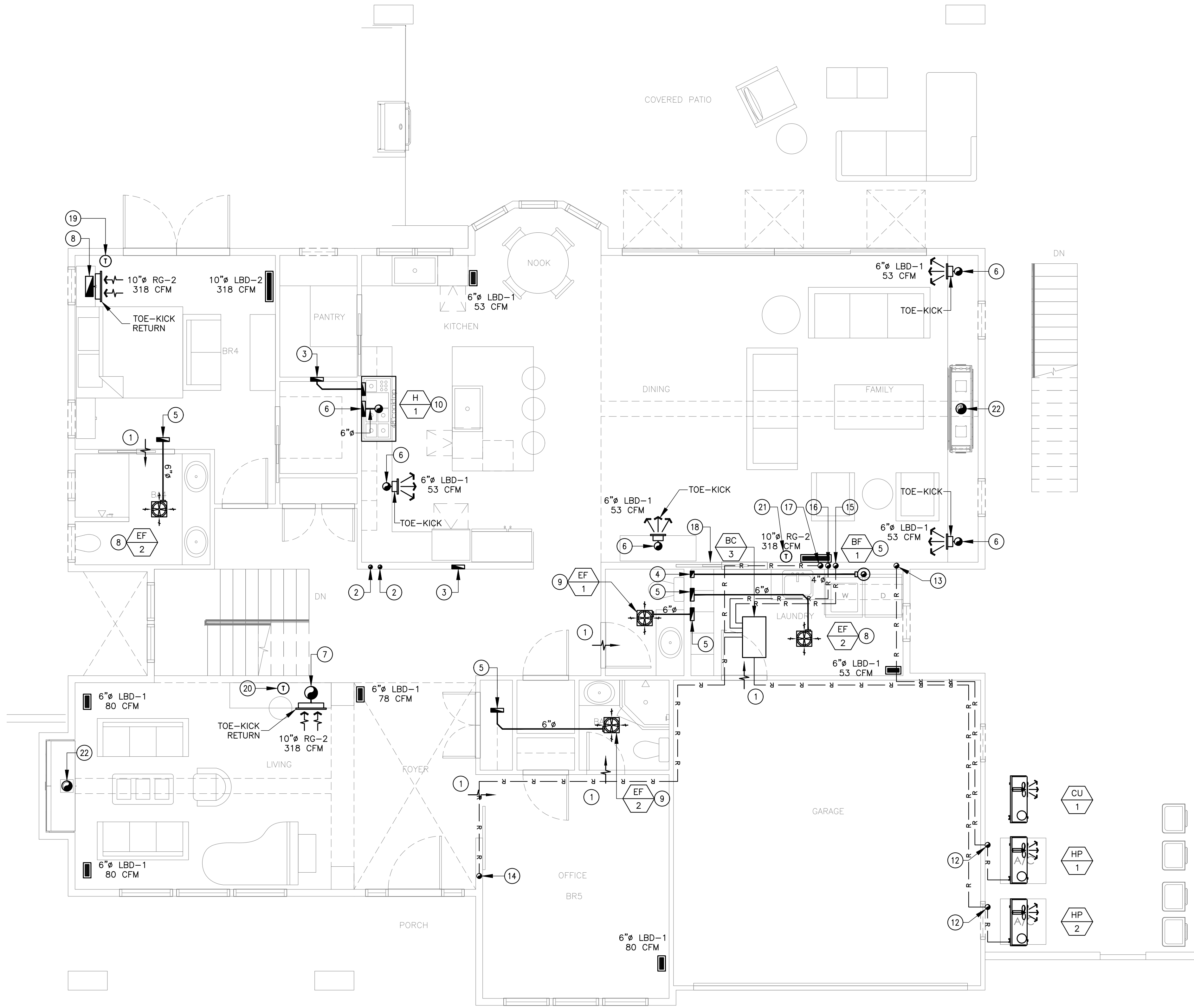


GENERAL NOTES

- A. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION AND SIZE OF ALL DUCTING/PIPING AND UTILITIES PRIOR TO START OF WORK. IN THE EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT AND ENGINEER IN WRITING PRIOR TO START OF WORK.
- B. ALL DUCTING/PIPING LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE WITH ALL TRADES AND OWNER'S REPRESENTATIVE AND VERIFY EXACT ROUTING PRIOR TO START OF WORK.
- C. FINAL THERMOSTAT/REMOTE SENSOR SHALL BE COORDINATED WITH THE ARCHITECT AND GENERAL CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
- D. PROVIDE YOUNG REGULATOR BALANCING DAMPER AS NEEDED FOR THE DIFFUSER THAT IS NOT EASILY ACCESSIBLE FOR BALANCING.
- E. REFRIGERANT PIPE ROUTING AND SIZING SHALL BE BY MANUFACTURER'S RECOMMENDATION. INSTALL PER MANUFACTURER'S INSTRUCTION.
- F. CONVERT ROUND DUCT TO RECTANGULAR DUCT AS NEEDED WITH THE SAME STATIC PRESSURE.

KEY NOTES

- ① PROVIDE 1/2" DOOR UNDERCUT. COORDINATE WITH ARCHITECT.
- ② 3" WATER HEATER VENT AND FLUE PIPE T/A. TO RUN BETWEEN WALL FRAMINGS. USE STAINLESS STEEL OR CPVC OR ANY MANUFACTURER'S APPROVED MATERIAL.
- ③ 3"x10" EXHAUST AIR DUCT RISER T/A. TO RUN BETWEEN WALL FRAMINGS.
- ④ 3"x5" GAUGE 24 RIGID METAL DRYER EXHAUST DUCT RISER WITH SMOOTH INTERIOR SURFACE T/A. EXHAUST DUCT SHALL NOT EXCEED TOTAL VERTICAL AND HORIZONTAL LENGTH OF 14 FT WITH 2 90 DEGREE ELBOWS. PROVIDE WITH BACK DRAFT DAMPER AND VENT CAP TERMINATION.
- ⑤ NEW WASHER DRYER BOOSTER FAN. SEE SHEET NO. M0.3 FOR UNIT SPECIFICATION AND #5/M3.1 FOR MOUNTING DETAIL.
- ⑥ 6" SUPPLY AIR DUCT RISER F/B. CONNECTED TO FCU-7.
- ⑦ 10" RETURN AIR DUCT RISER T/B. CONNECTED TO FCU-6.
- ⑧ 16"x6" RETURN AIR DUCT RISER T/B. CONNECTED TO FCU-4.
- ⑨ NEW EXHAUST FAN. SEE SHEET NO. M0.2 FOR UNIT SPECIFICATION AND DETAIL #6/M3.1 FOR INSTALLATION.
- ⑩ NEW WASHER DRYER BOOSTER FAN. SEE SHEET NO. M0.2 FOR UNIT SPECIFICATION AND #5/M3.1 FOR MOUNTING DETAIL.
- ⑪ NEW RESIDENTIAL KITCHEN HOOD. SEE SHEET NO. M0.3 FOR UNIT SPECIFICATION.
- ⑫ REFRIGERANT PIPING DOWN TO HEAT PUMP THEN TROUGH WALL AND TO BRANCH BOX. SECURE PIPES FROM WALL. PROTECT FROM WEATHER WITH GALVANIZED OR SS STEEL.
- ⑬ REFRIGERANT PIPE RISER T/B. TO CONNECT TO BC-1 AND BC-2 LOCATED AT BASEMENT.
- ⑭ REFRIGERANT PIPE RISER T/B. TO CONNECT TO FCU-6 AND LOCATED AT BASEMENT.
- ⑮ REFRIGERANT PIPE RISER T/B. TO CONNECT TO FCU-7 AND LOCATED AT BASEMENT.
- ⑯ REFRIGERANT PIPE RISER T/A. TO CONNECT TO FCU-8 AND LOCATED BA3 AT 2ND FLR.
- ⑰ REFRIGERANT PIPE RISER T/A. TO CONNECT TO FCU-9 AND LOCATED MBA AT 2ND FLR.
- ⑱ PROVIDE 24"x6" DOOR LOUVER. COORDINATE WITH ARCHITECT.
- ⑲ FCU-4 THERMOSTAT. COORDINATE WITH ARCHITECT. SEE DETAIL #5/M3.1.
- ⑳ FCU-6 THERMOSTAT. COORDINATE WITH ARCHITECT. SEE DETAIL #5/M3.1.
- ㉑ FCU-7 THERMOSTAT. COORDINATE WITH ARCHITECT. SEE DETAIL #5/M3.1.
- ㉒ 6" EXHAUST AIR DUCT PENETRATES THRU CHIMNEY. PROVIDE WITH VENT CAP, BACKDRAFT DAMPER, AND INSECT SCREEN. SHALL HAVE MIN 10 FEET AWAY FROM ANY AIR INTAKE.



1 MECHANICAL FIRST FLOOR PLAN
M2.2 SCALE: 1/4"=1'-0"

142 Mount Hamilton Ave.
Los Altos, CA 94022

[REDACTED]
June 1, 2020

City of Los Altos
Planning Division
Attn: Guido F. Persicone
1 North San Antonio Rd.
Los Altos, CA 94022

Appeal of the Design Review Commission Meeting May 20, 2020 decision regarding 126 Mount Hamilton Ave.

To the City Clerk and City Council of the City of Los Altos:

Please consider this letter an appeal of the 3 to 2 decision of the Design Review Commission on May 20, 2020, regarding the approval of the construction plans for 126 Mount Hamilton Ave.

I am filing this appeal using the City Hall drop box and by email. The required fee accomplishes the physical filing.

I thank City staff for their professionalism and assistance during this entire process.

I have lived at 142 Mount Hamilton Ave. since 1987. My home is next door to 126 Mount Hamilton Ave.

Municipal Code 14.76.060 dictates the requirements for residential construction in the City of Los Altos. City staff has determined that the plans have complied with the technical specifics of the City Code and my appeal accepts this conclusion.

My objection is based on subdivision E of the City Code. Specifically, the second story of the proposed construction at 126 Mount Hamilton Ave. is inconsistent with the character of the adjacent neighborhood.

It is on this basis that the two Design Review Commissioners, Mr. Harding and Mr. Kirik, objected to the submitted plans.

On appeal, this is a determination for the City Council.

I consider the character our neighborhood to be the full block of seven homes at the addresses of 100 through 190 of Mount Hamilton Ave. All are one-story ranch-style homes. The homes, directly across the street at 95 through 145 Mount Hamilton Ave. are all one-story homes. Mount Hamilton Court, which is directly across the street of this project, has twelve homes and only two of them are two-story homes. Most of these homes have a footprint of less square footage than the basement of the proposed home. Many of these homes have been re-modeled over the years, the residents have kept to one-story. Out of a total of twenty-five neighboring homes, on Mount Hamilton Ave, Mount Hamilton Court, and surrounding streets, only three are two-story.

In conclusion, I request that the City Council reverse the decision of the Design Review Commission of May 20, 2020, and make a determination that the plans for 126 Mount Hamilton Ave. are not consistent with the character of the neighborhood within the meaning of subdivision E of the City Code based upon the objective fact of the current construction of the homes in the neighborhood.

Respectfully submitted,

Eugene M. Hyman



DATE: May 20, 2020

AGENDA ITEM #3

TO: Design Review Commission

FROM: Calandra Niday, Assistant Planner

SUBJECT: SC19-0010 – 126 Mount Hamilton Avenue

RECOMMENDATION:

Approve design review application SC19-0010 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new two-story house. The proposed project includes 2,740 square feet on the first story, 1,206 square feet on the second story, and a 2,704 square-foot basement. This application was previously reviewed by the Design Review Commission on October 2, 2019 and April 15, 2020. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family Medium Lot
ZONING: R1-10
PARCEL SIZE: 11,974 square feet
MATERIALS: Standing seam metal roofing, Hardieplank lap siding, stone veneer, wood and glass garage door, clad wood windows, bronze exterior lighting and wood trim details

	Existing	Proposed	Allowed/Required
COVERAGE:	2,304.2 square feet	3,559.1 square feet	3,592.2 square feet
FLOOR AREA:			
First floor	2,238.5 square feet	2,740.4 square feet	
Second floor	-	1,205.9 square feet	
Total	2,238.5 square feet	3,946.3 square feet	3,947.4 square feet
SETBACKS:			
Front	29.9 feet	27.8 feet	25 feet
Rear	55.9 feet	52.4 feet	25 feet
Right side (1 st /2 nd)	9.8 feet/-	14.42 feet/23.8 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	9.9 feet/-	13.42 feet/20.5 feet	10 feet/17.5 feet
HEIGHT:	15.6 feet	25.8 feet	27 feet

BACKGROUND

Design Review Commission Action

On October 2, 2019, the Design Review Commission held a public meeting to consider the proposed project. Following a presentation from the project architect and property owner, three neighbors provided public feedback, with concerns being raised about the size and scale of the proposed residence and the compatibility with the surrounding neighborhood. Following public comment, the Commission discussed the proposed project. While generally supportive of the architectural design, the Commission also expressed concerns about bulk and mass of the second story and overall neighborhood compatibility. Based on this consensus, the Commission voted unanimously (4-0), with Commissioner Glew absent, to continue the project with the direction to address the following:

- Compatibility with the neighborhood;
- Communicate the proposed design with the neighbors;
- Include the streetscape design with the revised design plans; and
- Consider reducing the mass and bulk of the design, and potentially reduce the second story.

The October 2, 2019 Design Review Commission agenda report and meeting minutes are attached for reference and can be found in Attachments A and B.

On April 15, 2020, the Design Review Commission held a virtual public hearing to consider the proposed project. The Commission voted 3-2 to approve the project with the modification to install a heavy asphalt composition shingle roof to match the neighboring properties. However, there were technical difficulties and various members of the public were not able to speak on behalf of the project. A new virtual meeting is being held on May 20, 2020. The Planning Manager, Guido Persicone, has hosted trainings with various members of the public to review the new virtual format.

Since the April 15th meeting, the neighbor – Anne Hambly at 100 Mount Hamilton Avenue – has expressed opposition of the project. After the Planning Manager and Anne spoke, the City was informed that her main concern is the location of the pool equipment. In response to this concern, the applicant has agreed to go beyond the requirements of the City’s Noise Control Ordinance (Municipal Code Chapter 6.16) and relocate the pool equipment in the rear yard. The pool equipment relocation letter is attached for reference and can be found in Attachment G.

DISCUSSION

Design Revisions

In response to the Commission’s concerns, the applicant revised the project design by reducing the bulk and mass of the second story, reduced the second story glazing on the front and side elevations, added an elevator to service all levels of the residence, provided a streetscape to show compatibility with the neighboring properties, and conducted additional public outreach.

To help reduce the visual bulk and mass of the second story, the applicant lowered the height of the front entry feature which allowed the second story wall above the entry to be pushed back 4.2 feet. Lowering the front entry element resulted in a front gable that is included as part of the horizontal eave line across the front elevation, which is consistent with the eave lines of the neighboring properties. The visual mass of the second story was also reduced by pushing back Bedroom #2 by 3

feet. The proposed project has been redesigned with a slightly lower height from approximately 26 feet to 25.8 feet. Overall, the new simplified design of the proposed project results in a home that fits in well with the neighborhood context.

To address the neighborhood compatibility, the proposed residence uses a similar neutral color palette to match the surrounding homes within the neighborhood. The use of horizontal siding and stone wainscoting as the predominant exterior materials maintains a relationship with the facades seen in the neighborhood context. The project proposes modest plate heights of 9 feet at the first story and 8 feet at the second story to stay consistent with the eave lines of the surrounding residences. As requested by the Commission, a streetscape with the two adjoining properties on each side, is provided in Attachment D. The streetscape elevation demonstrates that the first story eave height of the proposed residence is consistent with the eave height of the neighboring properties. The streetscape also shows the similarity in materials and color palette of the proposed residence to the adjoining properties. As shown in Attachment D, Sheet A0.4b, there are many two-story residences within the greater neighborhood context with similar massing and scale as the proposed project. In addition, as shown in the aerial view in Attachment D, Sheet A0.4c, the overall setbacks and massing of the proposed project will be comparable to the other residences in the neighborhood context.

To reduce any privacy concerns, the glazing on the front and side elevations has been minimized. The amount of front facing glazing has been reduced by changing Bedroom #3 to be rear facing and moving the bay window from the front elevation to the rear elevation. The windows on the right side (west elevation) was reduced from five windows to four windows with sill heights of 4.2 feet and 6.6 feet. A visual representation of the project modifications is included in Attachment E. The second story side yard setbacks on the right side was increased from approximately 22.8 to 23.8 feet which exceeds the minimum standard of 17.5 feet. Overall, due to the increased setbacks and window sill heights, combined with the existing mature trees and extensive evergreen screening proposed along the side and rear property lines, the privacy impacts should be minimized and not considered unreasonable.

Furthermore, an elevator was added to service all levels, which in turn, resulted in minor floor plan changes to accommodate the elevator shaft. In addition to the design revisions, the property owner conducted additional outreach to neighbors as requested by the Commission. The property owner shared their updated plans and a letter detailing the changes made since the last meeting. A response letter from the applicant that provides a list of items that were updated in the plans and a copy of the letter sent to the neighbors are included in Attachment C. Overall, with design revisions and the recommended conditions, the project appears to have addressed the Commission's direction and staff is recommending approval.

Environmental Review

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Public Notification and Public Correspondence

A public meeting notice was posted on the property and mailed to 11 nearby property owners on Mount Hamilton Avenue, Mount Hamilton Court, and View Street. In addition, as requested by the neighbor Anne Hambly at 100 Mount Hamilton Avenue, the City has mailed public notification to an

additional 14 property owners on Mount Hamilton Court and 174 and 190 Mount Hamilton Avenue. The updated Public Notification Map is included in Attachment F. In addition, public correspondence is attached for reference and can be found in Attachment H.

Cc: Eugene Sakai, Applicant and Architect
Gloria On and YJ Chien, Property Owners

Attachments:

- A. Design Review Commission Meeting Agenda Report, October 2, 2019
- B. Design Review Commission Minutes, October 2, 2019
- C. Applicant Response Letter
- D. Streetscape Elevation & Context (Sheet A0.4-A0.4c)
- E. Project Modifications
- F. Vicinity and Public Notification Maps
- G. Pool Equipment Letter
- H. Public Correspondence

FINDINGS

SC19-0010 – 126 Mount Hamilton Avenue

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed structure complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC19-0010 – 126 Mount Hamilton Avenue

GENERAL

1. Expiration

The Design Review Approval will expire on April 15, 2022 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

This approval is based on the original plans and materials received on April 1, 2019 and then resubmitted on February 3, 2020, except as may be modified by these conditions.

3. Pool Equipment Relocation

Relocate the pool equipment along the rear elevation. The swimming pool motor and equipment are required to be enclosed with a noise attenuating structure.

4. Protected Trees

As shown in the site plan, Trees Nos. 1-8, 10, 12-15, and 17-19 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

5. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

7. Landscaping

The landscape plan is subject to the City's Water Efficient Landscape Regulations pursuant to Chapter 12.36 of the Municipal Code.

8. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

9. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.

INCLUDED IN BUILDING PERMIT SUBMITTAL

10. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

11. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

12. Tree Protection Note

On the Site Plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

13. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City’s Water Efficient Landscape Regulations and include signed statements from the project’s landscape professional and property owner.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project’s Qualified Green Building Professional, Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning units on the site plan including the model number and manufacturer of the units. Provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Conditions of Approval Letter

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

19. Tree Protection

Tree protection fencing shall be installed around the driplines of Trees Nos. 1-8, 10, 12-15, and 17-19 as shown in the Site Plan. Tree protection fencing shall be chain link and a minimum of

five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

20. Tree Protection Letter

Submit a letter from Kevin Kielty (Kielty Arborist Services) confirming that the tree protection measures were implemented during project construction.

21. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

22. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

ATTACHMENT A



DATE: October 2, 2019

AGENDA ITEM #4

TO: Design Review Commission
FROM: Calandra Niday, Assistant Planner
SUBJECT: SC19-0010 – 126 Mount Hamilton Avenue

RECOMMENDATION:

Approve design review application SC19-0010 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new two-story house. The proposed project includes 2,740 square feet on the first story, 1,206 square feet on the second story, and a 2,704 square-foot basement. The following table summarizes the project's technical details:

GENERAL PLAN DESIGNATION:	Single-Family Medium Lot
ZONING:	R1-10
PARCEL SIZE:	11,974 square feet
MATERIALS:	Standing seam metal roofing, Hardieplank lap siding, stone veneer, wood and glass garage door, clad wood windows, bronze exterior lighting and wood trim details

	Existing	Proposed	Allowed/Required
COVERAGE:	2,304.2 square feet	3,568.9 square feet	3,592.2 square feet
FLOOR AREA:			
First floor	2,238.5 square feet	2,740.4 square feet	
Second floor	-	1,206.3 square feet	
Total	2,238.5 square feet	3,946.7 square feet	3,947.4 square feet
SETBACKS:			
Front	29.9 feet	27.8 feet	25 feet
Rear	55.9 feet	52.4 feet	25 feet
Right side (1 st /2 nd)	9.9 feet/-	14.4 feet/22.8 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	9.8 feet/-	15.3 feet/20.5 feet	10 feet/17.5 feet
HEIGHT:	15.6 feet	26 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located on Mount Hamilton Avenue, directly south of the intersection with Mount Hamilton Court. The neighborhood along Mount Hamilton Avenue is considered a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The homes in this neighborhood are primarily lower-scale single-story residences with uniform horizontal eave lines except for one two-story residence located along the rear of the subject property at 72 View Street. Residences in this neighborhood have similar setbacks, hipped or gable roof structures and share a variety of exterior siding materials. The street along Mount Hamilton Avenue is wide with unimproved shoulders and does not have uniform street tree and vegetation patterns; however, most properties have mature street trees and shrubs that obscures views of houses from the street.

DISCUSSION

Design Review

According to the Design Guidelines, in Consistent Character Neighborhoods, appropriate designs have elements, materials, and scale found in the neighborhood, and sizes that are not significantly larger than other houses in the neighborhood. The emphasis should be on designs that fit-in and lessen abrupt changes.

The existing residence on the property, which is a traditional one-story home with gable ends will be demolished and a new two-story residence with a basement will be constructed. The basement will be accessible through a lightwell proposed along the right side of the residence. The project uses a traditional architectural design with contemporary elements. The design consists of multiple roof forms including two side facing gables on the first story, a shed roof element under the front second story gable, and a sequence of hipped roof forms at the second story that results in a layered appearance. The multiple roof forms result in a design that is more complex than other residences in the immediate vicinity. There is an opportunity to simplify the roof forms on the second story to be more consistent with the neighborhood context. However, the second story gable element along with the bay window and layered hipped roof forms reduces the massing of the second story and is well articulated. The front gable over the front porch entry breaks up the uniform horizontal eave line along the first story on the front elevation. The second story massing is balanced over the first story with a gable element slightly off-center and to the right of the first story entry. In addition to the front entry porch, a large covered patio is proposed at the rear portion of the residence.

The height of the proposed residence is 26 feet to the existing grade. The primary height of the wall plates on the first story are 9 feet, with an increased wall plate height of 10 feet at the family room along the west elevation towards the rear of the property. At the front of the east elevation, the front living room has a wall plate height of 9-feet, 9.5-inches, with a reduced wall plate height of 9 feet in bedroom No. 4. The wall plate heights for the second story are mostly 8 feet tall, with the exception of the master bedroom where the wall plate height is 10-feet, 3-inches. Generally, the lower eave lines and lower plate heights are towards the front of the property while the increased eave lines and plate heights are towards the rear of the property.

The proposed exterior siding material is Hardieplank lap siding which is a material that is more durable and longer lasting than wood siding while providing a similar appearance. The proposed standing seam metal roofing creates a more contemporary style appearance compared to other homes on Mount Hamilton Avenue. However, the use of horizontal siding and stone wainscoting as the predominant exterior materials maintains a relationship with the facades seen in the existing neighborhood. The project's material board is included as Attachment C. Overall, the exterior materials are designed to lessen abrupt changes and are used to soften the transition of a predominantly one-story residential neighborhood.

Privacy

The second story includes three windows on the left side (east elevation) and five windows on the right side (west elevation). On the east elevation, there is one small window in the master bathroom and a passive window in the stairwell, both with sill heights of four-feet, two-inches. Also, on the east elevation, there is a window above the foyer which has views obscured from the chimney. The project proposes increased second story side yard setbacks of approximately 20.5 feet on the left side, where 17.5 feet is required in a R1-10 District. In addition, the project proposes to plant 26 new evergreen screening trees (*Podocarpus garcilior*) along the side and rear property lines to screen the views of adjacent neighbors.

On the west elevation, there are two passive windows in bedroom 3 and one small window in the accompanying bathroom each with a sill height of four-feet, eight-inches. Small windows with sill heights greater than four-feet, six-inches in height limit direct views into adjacent properties and should reduce privacy concerns. Also, on the west elevation, there are two passive windows in the master bedroom with sill heights of 7 feet. The project proposes increased second story side yard setbacks of approximately 22.8 feet on the right side where 17.5 feet is typically required. In addition, the two small windows in the master bedroom on the west elevation are setback over 40 feet from the left side property line and views are obscured from the chimney.

On the rear of the residence (south elevation), there are two small second story windows, one bay window, and one large window; however, the project proposes an increased rear yard setback of approximately 52.4 feet, where a setback of 25 feet is required. In addition, there are three existing mature trees along the rear property line, including two deodar cedar trees and one canary island palm tree. Approximately 6 fern pine (*Podocarpus gracilior*) screening trees will be installed along the rear property line to help screen views into the adjacent neighboring property.

Overall, due to the increased setbacks and window sill heights, combined with the existing mature trees and extensive evergreen screening proposed along the side and rear property lines, the privacy impacts should be minimized and not considered unreasonable.

Trees and Landscaping

There are a total of 13 existing trees on the project site consisting of many Purple leaf plums, Deodar cedars, a Canary island palm, an Oleander hedge, and Loquat trees. In addition, there are 6 Coast redwood trees located on the neighboring property to the east with tree driplines that extend along the perimeter of the subject property. The redwood trees on the neighboring property, the large Deodar cedar trees in the rear and side property lines, and the three Purple leaf plum trees located along the property frontage will require tree protection fencing throughout the entire length of construction.

The project is proposing to retain all trees with the exception of three trees, including the Oleander hedge (tree #9), the Deodar cedar tree (tree #11), and the dead Loquat tree (tree #16). The Oleander hedge and Loquat tree are not large enough to be considered a protected tree under the City's Tree Protection Regulations (Municipal Code Chapter 11.08). The Deodar cedar tree (tree #11) is shown to be in poor condition and has formed codominant stems that has resulted in splitting. An arborist report was prepared by Kevin Kielty (Kielty Arborist Services) which further details the current conditions of the existing trees and is included in Attachment D. The arborist report also outlines a tree protection plan for the remaining healthy trees on the site. The last page of the arborist report includes an evaluation of the new pool location. Staff worked with the applicant to relocate the pool to be outside the tree driplines of the existing large deodar cedar trees towards the rear property line.

The landscape plan (see Sheets L-1 to L-3 of the Plan Set) proposes one 'Little Gem' magnolia tree and two Laurus Saratoga trees in the front yard as well as 26 Podocarpus garcilior evergreen screening trees along the sides and rear property lines, and a variety of other shrubs and groundcover type plants throughout the site. Overall, the project will be maintaining the existing healthy mature trees, installing new trees and screening throughout the site, and meets the City's landscaping regulations and street tree guidelines. Since the project includes a new house and has more than 500 square feet of new landscape area, it is subject to the City's Water Efficient Landscape Ordinance.

Environmental Review

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Public Notification

A public meeting notice was posted on the property and mailed to 11 nearby property owners on Mount Hamilton Avenue, Mount Hamilton Court, and View Street. The Public Notification Map is included in Attachment B.

Cc: Eugene Sakai, Applicant and Architect
Gloria On and YJ Chien, Property Owners

Attachments:

- A. Neighborhood Compatibility Worksheet
- B. Area, Vicinity and Public Notification Maps
- C. Materials Board
- D. Arborist Report

FINDINGS

SC19-0010 – 126 Mount Hamilton Avenue

With regard to the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed structure complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the proposed structure, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed structure in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed structure has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC19-0010 – 126 Mount Hamilton Avenue

GENERAL

1. Approved Plans

This approval is based on the plans and materials received on April 1, 2019 and then resubmitted on August 27, 2019, except as may be modified by these conditions.

2. Protected Trees

As shown in the site plan, Trees Nos. 1-8, 10, 12-15, and 17-19 shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

3. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

4. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

5. Landscaping

The landscape plan is subject to the City's Water Efficient Landscape Regulations pursuant to Chapter 12.36 of the Municipal Code.

6. Fire Sprinklers

Fire sprinklers shall be required pursuant to Section 12.10 of the Municipal Code.

7. Underground Utilities

Any new utility service drops shall be located underground from the nearest convenient existing pole pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project.

INCLUDED IN BUILDING PERMIT SUBMITTAL

9. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

10. Tree Protection Note

On the Site Plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

11. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Section 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional, Designer/Architect and property owner.

13. Underground Utility Location

Show the location of underground utilities pursuant to Section 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

14. Air Conditioner Sound Rating

Show the location of any air conditioning units on the site plan including the model number and manufacturer of the units. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

15. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

16. Tree Protection

Tree protection fencing shall be installed around the driplines of Trees Nos. 1-8, 10, 12-15, and 17-19 as shown in the Site Plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

PRIOR TO FINAL INSPECTION

17. Tree Protection Letter

Submit a letter from Kevin Kielty (Kielty Arborist Services) confirming that the tree protection measures were implemented during project construction.

18. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

19. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Section 12.26 of the Municipal Code).

ATTACHMENT A



City of Los Altos

Planning Division

(650) 947-2750

Planning@losaltosca.gov

NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 126 Mount Hamilton Ave

Scope of Project: Addition or Remodel or New Home

Age of existing home if this project is to be an addition or remodel? _____

Is the existing house listed on the City's Historic Resources Inventory? No

Address: _____

Date: _____

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 14000 square feet

Lot dimensions: Length 110 feet

Width 140 feet

If your lot is significantly different than those in your neighborhood, then note its: area _____, length _____, and width _____.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? _____

What % of the front facing walls of the neighborhood homes are at the front setback 75 %

Existing front setback for house on left 21 ft./on right 27 ft.

Do the front setbacks of adjacent houses line up? No

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 7

Garage facing front recessed from front of house face 0

Garage in back yard 2

Garage facing the side 1

Number of 1-car garages ___; 2-car garages 8; 3-car garages ___

Address: _____

Date: _____

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 70

Two-story 30

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? No

Are there mostly hip , gable style , or other style roofs*?

Do the roof forms appear simple or complex ?

Do the houses share generally the same eave height No?

6. Exterior Materials: (*Pg. 22 Design Guidelines*)

What siding materials are frequently used in your neighborhood*?

wood shingle stucco board & batten clapboard

tile stone brick combination of one or more materials

(if so, describe) Many houses have more than one material

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

asphalt shingle

If no consistency then explain: _____

7. Architectural Style: (*Appendix C, Design Guidelines*)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? Ranch Shingle Tudor Mediterranean/Spanish

Contemporary Colonial Bungalow Other

Address: _____

Date: _____

8. Lot Slope: *(Pg. 25 Design Guidelines)*

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)

Slopes up away from street

Is your slope higher lower same in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

Trees, curbs

How visible are your house and other houses from the street or back neighbor's property?

Most houses, not all, are visible from the street. Our house is not very visible from the back.

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

Trees on and around property. Gravel right-of-way.

10. Width of Street:

What is the width of the roadway paving on your street in feet? 27

Is there a parking area on the street or in the shoulder area? Yes

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? gravel

Address: _____

Date: _____

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:
hip and gable roofs

General Study

- A. Have major visible streetscape changes occurred in your neighborhood?
 YES NO
- B. Do you think that most (~ 80%) of the homes were originally built at the same time?
 YES NO
- C. Do the lots in your neighborhood appear to be the same size?
 YES NO
- D. Do the lot widths appear to be consistent in the neighborhood?
 YES NO
- E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?
 YES NO
- F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)
 YES NO
- G. Do the houses appear to be of similar size as viewed from the street?
 YES NO
- H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?
 YES NO

Address: _____

Date: _____

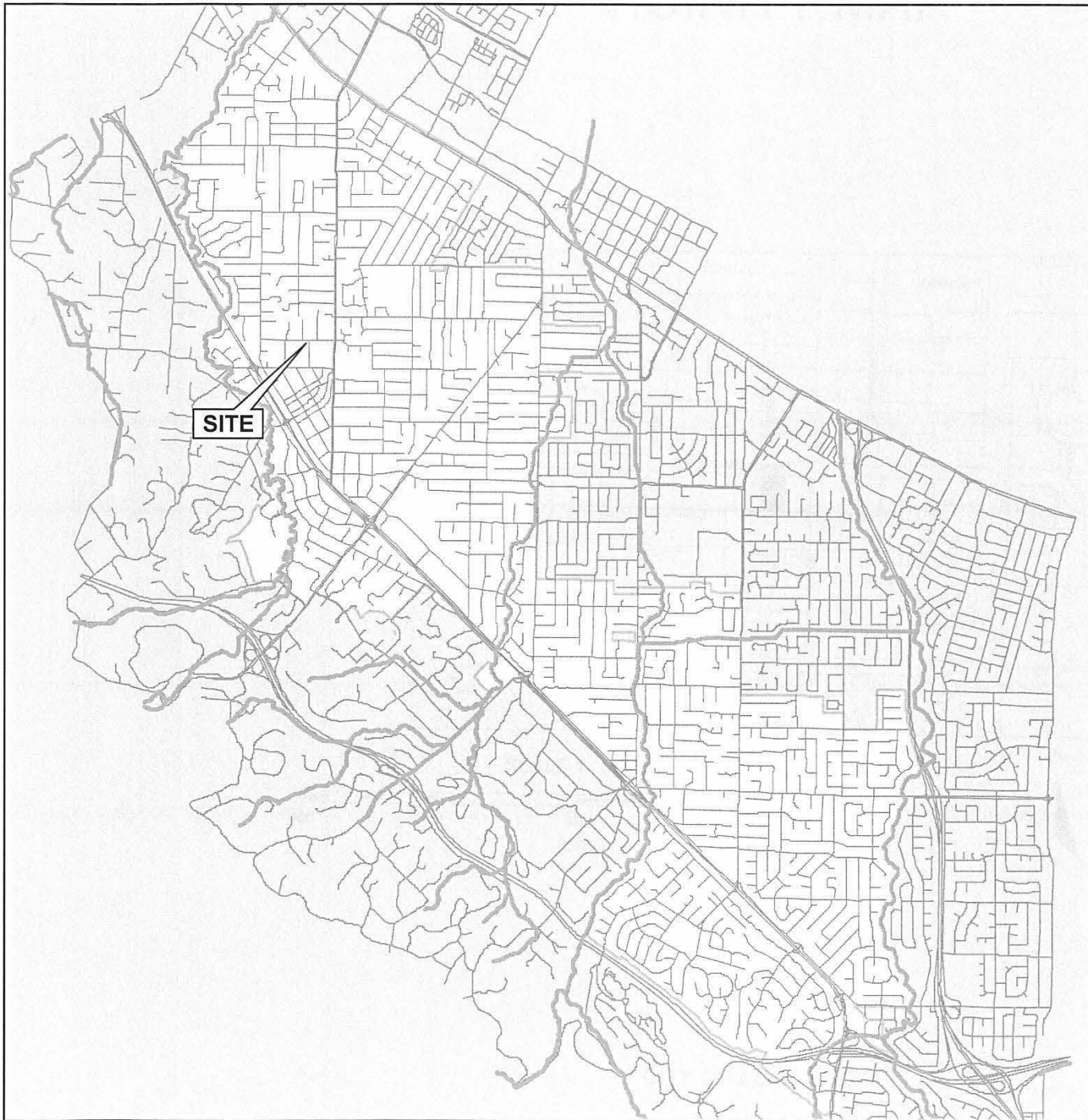
Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
100 Mt Hamilton Ave	33	27	side	one	18	board and batten	simple
77 View St	27	34	front	one	16	clapboard, brick	simple
142 Mt Hamilton Ave	27	31	front	one	18	stone, board and batten	simple
160 Mt Hamilton Ave	30	35	front	one	18	stucco	simple
72 View St	70	35	front	two	30	clapboard	complex
111 Bridgton Ct	21	21	rear	two	28	stucco, Spanish tile	complex
145 Mt Hamilton Ave	21	21	front	one	22	stucco, brick	simple
115 Mt Hamilton Ave	25	30	front	one	15	clapboard, brick	simple
95 Mt Hamilton Ave	33	18	front	two	27	stucco, brick	complex
112 Garland Way	32	20	rear	one	18	clapboard	simple

ATTACHMENT B

AREA MAP



CITY OF LOS ALTOS

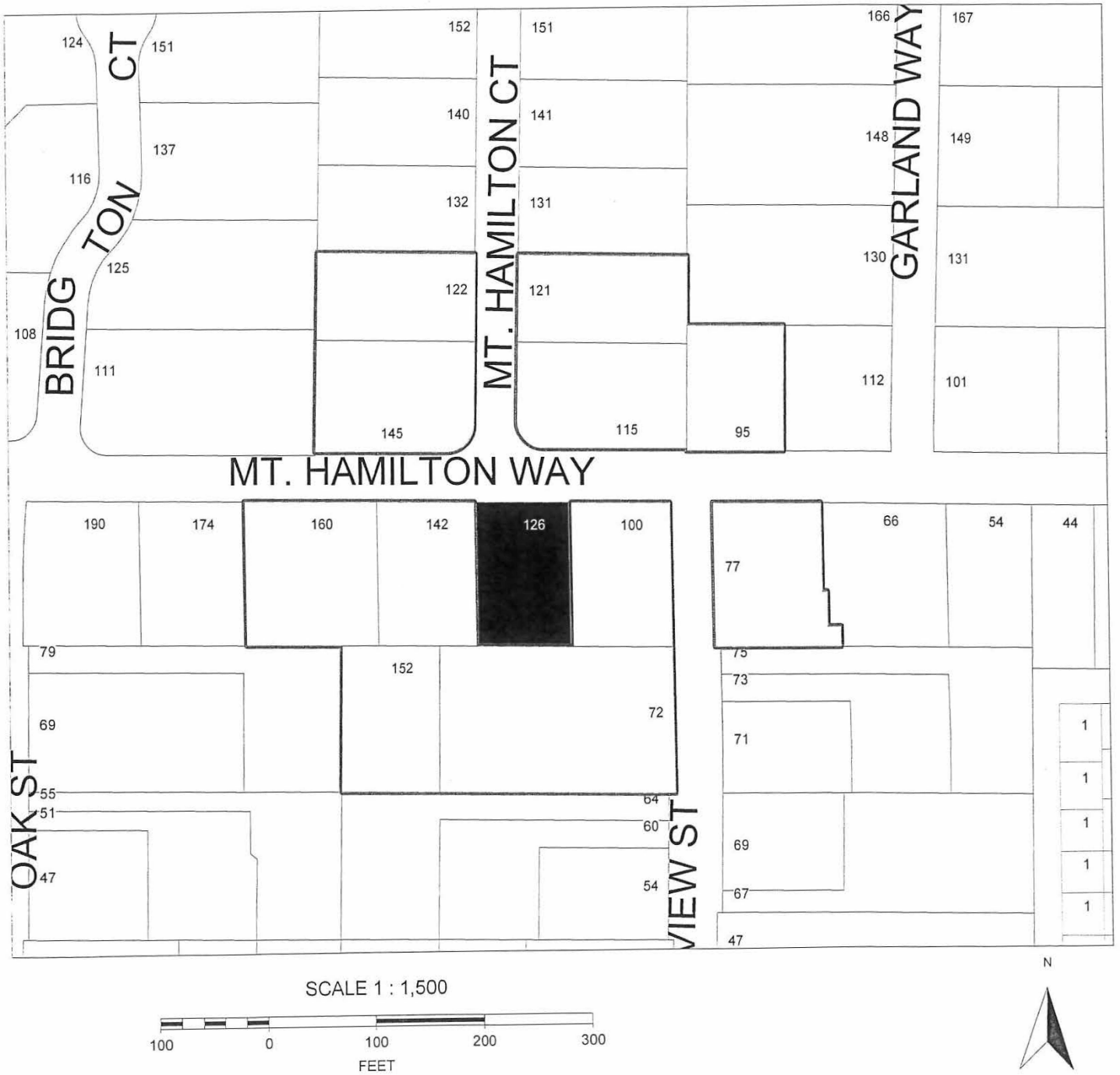
APPLICATION: SC19-0010
APPLICANT: Eugene Sakai
SITE ADDRESS: 126 Mt. Hamilton Avenue

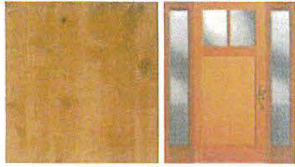


Not to Scale

ATTACHMENT 4

126 Mt. Hamilton Avenue Notification Map

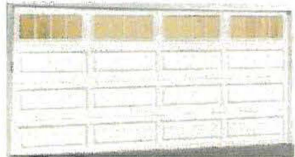




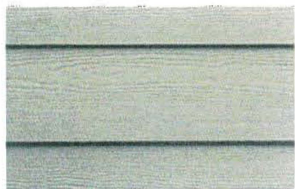
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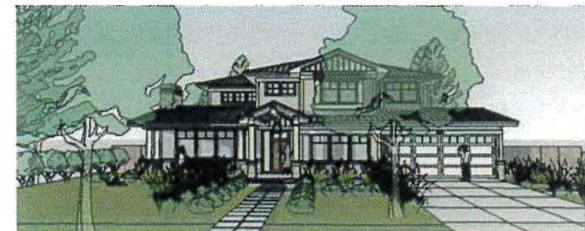
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MODERN 8" BACKLIT LED HOUSE NUMBERS
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ON-CHIEN RESIDENCE

126 MOUNT HAMILTON AVENUE, LOS ALTO.



MATERIAL BOARD



STUDIO S SQUARED
ARCHITECTURE

1000 S. Winchester Blvd
San Jose, CA 95128
ph: (408) 998 0983
www.studios2arch.com
houzz.com

ATTACHMENT C

ATTACHMENT D

Kielty Arborist Services

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

December 5, 2018

Gloria On & Yowjie Chien

gloriaon@gmail.com

gsx323@gmail.com

Site: 126 Mount Hamilton Avenue, Los Altos CA,

Dear Gloria On & Yowjie Chien,

As requested on Monday, November 26, 2018, I visited the above site for the purpose of inspecting and commenting on the trees. A new home is proposed for this site and your concern as to the future health and safety of existing trees has prompted this visit. Site plan A1.0a dated 10/23/18 was used for this report.

Method:

All inspections were made from the ground; the trees were not climbed for this inspection. The trees in question were located on an existing topography map provided by you. The trees were then measured for diameter at 54 inches above ground level (DBH or diameter at breast height). The trees were given a condition rating for form and vitality. Each tree was put into a health class using the following rating system:

- F- Very Poor
- D- Poor
- C- Fair
- B- Good
- A- Excellent

The height of the trees was measured using a Nikon Forestry 550 Hypsometer. The spread was paced off. Comments and recommendations for future maintenance are provided.

126 Mount Hamilton /12/5/18 (2)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
1P	Purple leaf plum (<i>Prunus cerasifera</i>)	9.7	B	15/10	Good vigor, fair form, street tree.
2P	Purple leaf plum (<i>Prunus cerasifera</i>)	10.2	B	15/12	Good vigor, fair form, street tree.
3P	Purple leaf plum (<i>Prunus cerasifera</i>)	9.8	B	15/15	Good vigor, fair form, street tree.
4*P	Redwood (<i>Sequoia sempervirens</i>)	15est	A	70/15	Good vigor, good form.
5*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
6*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
7*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
8*P	Redwood (<i>Sequoia sempervirens</i>)	18est	A	70/15	Good vigor, good form.
9R	Oleander (hedge) (<i>Nerium oleander</i>)	2"x40	C	7/20	Fair vigor, fair form.
10P	Deodar cedar (<i>Cedrus deodara</i>)	29.8	C	75/25	Fair vigor, poor form, codominant at 40 feet with fair union, history of limb loss, recommended to reduce smaller leader and cable tree where possible.
11P	Deodar cedar (<i>Cedrus deodara</i>)	30.1	D	75/25	Fair vigor, poor form, codominant at 40 feet with included bark, history of limb loss, recommended to prune or remove.
12P	Deodar cedar (<i>Cedrus deodara</i>)	24.8	B	60/25	Good vigor, fair form.
13P	Canary island palm (<i>Phoenix canariensis</i>)	32.0	B	30/15	Good vigor, good form.

126 Mount Hamilton /12/5/18 (3)

Survey:

Tree#	Species	DBH	CON	HT/SP	Comments
14P	Deodar cedar (<i>Cedrus deodara</i>)	27.8	B	60/25	Good vigor, good form.
15*	Redwood (<i>Sequoia sempervirens</i>)	10est	C	40/15	Fair vigor, fair form, drought stressed.
16R	Loquat (<i>Eriobotrya japonica</i>)	8.7	F	20/12	DEAD
17	Loquat (<i>Eriobotrya japonica</i>)	7.9-8.0	C	25/20	Fair vigor, fair form, one sided.
18	Loquat (<i>Eriobotrya japonica</i>)	7.2-6	D	15/12	Poor vigor, fair form, in decline.
19	Loquat	3"x3	D	15/10	Poor vigor, fair form, in decline.

P-Indicates protected tree by city ordinance **R**-Indicates proposed tree removal

*****-Indicates neighbors tree

Site observations:

The landscape at 126 Mount Hamilton has been fairly well maintained in the past. The trees on site are all on the perimeter of the property. The majority of the trees are in fair to good condition.



Summary:

Purple leaf plum trees #1-3 are in good condition. These trees are planted in front of the property, within the public right of way. Because these are considered to be city street trees, they will need to be protected throughout the entire length of the project. It is recommended to provide dry season irrigation to these trees every 2 weeks during the construction, until the top foot of soil is saturated.

Showing plum trees

Redwood trees #4-8 are located on the neighbor's property to the east. These trees are in good condition and will require tree protection fencing throughout the entire length of construction. Tree protection fencing will need to extend off of the property line fence out to a distance of 12 feet from the trees where possible. Redwood trees require frequent irrigation to maintain a healthy canopy. Currently they are getting irrigation on the property side from the irrigation of the turf. It is recommended to irrigate these trees within the tree protection fencing every 2 weeks during the dry season until the top foot of soil is saturated.

Oleander hedge #9 is in fair condition. This hedge is proposed to be removed. The hedge provides minimal screening for the property.



Showing cedar tree #11

Deodar cedar trees #10-11 are located on the west side of the property, at the property line, and have been poorly maintained in the past. Both trees have been topped in the past. Cedar tree #10 is codominant with 2 tops at 40 feet. Because the union at 40 feet looks to be wide set, the risk of failure due to the codominant tops is low. It is recommended to reduce the smaller of the 2 leaders and cable the leaders together. Cedar tree #11 is in poor condition due to being codominant at 40 feet with multiple new leaders creating areas of included bark. Included bark forms in the junctions of codominant stems where there is a narrow angle union, meaning the junction looks like a "V" rather than a "U." As the tree continues to grow the narrow unions will essentially fill with bark and create a growing area of structural weakness in the tree. When noticing a very narrow angle (creating a "V" at the junction of branches) it is likely that stress put on the either of the codominant stems can cause splitting, or even cause the stem to break off at the junction. As leaders grow they have the potential to push against each other often until the point of failure. Also each leader is heavy to the direction away from the trunks and creates more stress to the tree. This tree is recommended to be removed or heavily pruned beyond ANSI Standards to reduce the risk of a large leader failure.



Deodar cedar trees #12 and #14 are in good condition and have been well maintained in the past. Both trees offer a good amount of screening for the property. Canary Island palm tree #13 is located between the two cedar trees.

Showing trees #12-14

Neighbor's redwood tree #15 is in fair condition. The canopy appears to be thin likely due to drought stress. It is recommended to maintain any existing irrigation on the property side near this tree.

Loquat trees #16-19 are in poor condition with the exception of loquat tree #17 that is in fair condition. Loquat tree #16 is dead and should be removed. Loquat trees #18 and #19 are in significant decline. None of these trees are of a protected size.

Impacts from proposed construction/ recommendations:

The existing driveway is too narrow and needs to be widened to conform with standard driveway regulations. Purple leaf plum trees #1 and #2 will be impacted from the widening of the driveway. Tree protection zones for these two trees will need to be placed as close as possible to the proposed driveway area, and out to the dripline of the trees where possible. These trees will need to be heavily irrigated within the tree protection zones as mitigation for the minor impacts associated with the driveway work. Both trees shall be irrigated every 2 weeks during the dry season until the top foot of soil is saturated. Excavation for the driveway when within 12 feet of these trees must take place by hand. All roots must be exposed and remain as damage free as possible. Roots within the base rock area are recommended to be saved by having base rock packed around the roots. Roots that need to be cut for the driveway surface must be cleanly cut. The Project Arborist shall be called out to the site to witness the hand excavation for these trees. The following tree protection plan will help insure the health of the existing trees to be retained

Tree Protection Plan:*Tree Protection Zones*

The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas. Tree protection zones should be installed and maintained throughout the entire length of the project. Fencing for tree protection zones should be 6' tall, metal chain link material supported by metal 2" diameter poles, pounded into the ground to a depth of no less than 2'. The location for the protective fencing for the protected trees on site should be installed no closer to the trunk than the dripline (canopy spread) in order to protect the integrity of the tree. The location of the tree protection fencing may be modified by the planning director. When it is not possible to place tree protection fencing at the dripline because of the proposed work or existing hardscapes, the tree protection fencing shall be placed at the edge of the proposed work or hardscapes. No equipment or materials shall be stored or cleaned inside the protection zones. Areas where tree protection fencing needs to be reduced for access, should be mulched with 6" of coarse wood chips with ½ inch plywood on top. The plywood boards should be attached together in order to minimize movement. The spreading of chips will help to reduce compaction and improve soil structure. All tree protection measures must be installed prior to any demolition or construction activity at the site. The non-protected trees are recommended to be protected in the same manner as the protected trees on site. No signs, wires, or any other object shall be attached to the trees. If impacts are expected to any of the trees on site, proper mitigation measures will need to be put into action to reduce overall impacts to the trees.

Landscape Buffer

Where tree protection does not cover the entire root zone of the trees, or when a smaller tree protection zone is needed for access, a landscape buffer consisting of wood chips spread to a depth of six inches with plywood or steel plates placed on top will be placed where foot traffic is expected to be heavy. The landscape buffer will help to reduce compaction to the unprotected root zone.

Root Cutting

Any roots to be cut shall be monitored and documented. Large roots (over 2" diameter) or large masses of roots to be cut must be inspected by the site arborist. The site arborist, at this time, may recommend irrigation or fertilization of the root zone. All roots needing to be cut should be cut clean with a saw or lopper. Roots to be left exposed for a period of time should be covered with layers of burlap and kept moist.

Grading

The existing grade level around the trees shall be maintained out to the dripline of the trees when possible. Anytime existing grades are to be changed underneath the dripline of a protected tree more than 3" special mitigation measures will need to be put into action to reduce impacts to the trees. Aeration will need to be provided to root zones of trees that are to experience fill soil being placed within the tree root zones. Grades shall not be lowered when within 3 times the

diameter of a protected tree on site. Lowering grades will result in roots needing to be cut and is highly discouraged.

Trenching and Excavation

Trenching for irrigation, drainage, electrical or any other reason shall be done by hand when inside the dripline of a protected tree. Hand digging and the careful placement of pipes below or besides protected roots will significantly reduce root loss, thus reducing trauma to the tree. All trenches shall be backfilled with native materials and compacted to near its original level, as soon as possible. Trenches to be left open for a period of time, will require the covering of all exposed roots with burlap and be kept moist. The trenches will also need to be covered with plywood to help protect the exposed roots.

Irrigation

Native trees(oaks)-No irrigation shall be applied to any of the oak tree root zones unless their root zones are traumatized. The only time oak trees shall be irrigated is during the months of May and October in years of extreme drought.

Imported trees- On a construction site, I recommend irrigation during winter months, 1 time per month. Seasonal rainfall may reduce the need for additional irrigation. During the warm season, April – November, my recommendation is to use heavy irrigation, 2 times per month. This type of irrigation should be started prior to any excavation. The irrigation will improve the vigor and water content of the trees. The on-site arborist may make adjustments to the irrigation recommendations as needed. The foliage of the trees may need cleaning if dust levels are extreme. Removing dust from the foliage will help to reduce mite and insect infestation.

Inspections

It is the contractor's responsibility to contact the site arborist when work is to take place underneath the canopy or dripline of a protected tree on site. Kielty Arborist Services can be reached by email at kkarbor0476@yahoo.com or by phone at (650) 515-9783 (Kevin).

The information included in this report is believed to be true and based on sound arboricultural principles and practices.

Sincerely,
Kevin Kielty Certified Arborist WE#0476A

Kielty Arborist Services

Certified Arborist WE#0476A

P.O. Box 6187

San Mateo, CA 94403

650-515-9783

August 8, 2019

Gloria On & Yowjie Chien

gloriaon@gmail.com

gsx323@gmail.com

Site: 126 Mount Hamilton Avenue, Los Altos CA,

Dear Gloria On & Yowjie Chien,

As requested on Thursday, August 8, 2019, I was asked to review the revised pool location as seen on site plan A1.0a dated 5/13/19. Your concerns as to the future health and safety of the trees on site has prompted this letter.

Pool location review:

The pool location has been revised to be outside the tree driplines and as far from the trees as possible. Tree protection fencing at the tree driplines will protect the tree root zones. No impacts from the construction of the pool are expected if tree protection fencing can be maintained at the dripline. Below is a list of the trees, and the distance from the tree to the pool excavation.

Tree#	Species	Diameter	Distance from pool excavation
10P	Deodar cedar (<i>Cedrus deodara</i>)	29.8	23' 6"
11P	Deodar cedar (<i>Cedrus deodara</i>)	30.1	23' 1"
12P	Deodar cedar (<i>Cedrus deodara</i>)	24.8	13' 6"
13P	Canary island palm (<i>Phoenix canariensis</i>)	32.0	14' 7.5"
14P	Deodar cedar (<i>Cedrus deodara</i>)	27.8	15' 8.5"

The distances from the trees to the excavation is far enough away where impacts are not expected. Roots to be encountered are likely to be on the small size (under 1 inch in diameter) Minor irrigation every 2 weeks is recommended within the tree protection zones, until the following winter rain season.

Sincerely,

Kevin Kielty Certified Arborist WE#0476A

ATTACHMENT B

**MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF
THE CITY OF LOS ALTOS, HELD ON WEDNESDAY,
OCTOBER 2, 2019 BEGINNING AT 7:00 P.M. AT LOS ALTOS CITY HALL,
ONE NORTH SAN ANTONIO ROAD, LOS ALTOS, CALIFORNIA**

ESTABLISH QUORUM

PRESENT: Chair Kirik, Vice-Chair Bishop, Commissioners Harding and Ma
ABSENT: Commissioner Glew
STAFF: Senior Planner Golden, Assistant Planner Hassan and Assistant Planner Niday

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**
Approve minutes of the regular meeting of September 4, 2019.

Action: Upon a motion by Vice-Chair Bishop, seconded by Commissioner Harding, the Commission approved the minutes from the September 4, 2019 regular meeting as written.

The motion was approved (4-0) by the following vote:

AYES: Kirik, Bishop, Harding and Ma

NOES: None

ABSENT: Glew

DISCUSSION

2. **19-SC-01 – Daryl Harris – 119 Coronado Avenue**
Design review for a new two-story house. The project includes 3,170 square feet at the first story and 1,280 square feet on the second story. This project was continued from the May 1st, 2019 Design Review Commission meeting. *Project Planner: Hassan*

Vice-Chair Bishop recused himself because the property is within 500 feet of his residence.

Assistant Planner Hassan presented the staff report recommending approval of design review application 19-SC-01 subject to the listed findings and conditions and described the revised design.

Project applicant/architect Steve Collom and the property owner presented the project.

Commissioner Kirik stated he had a conversation with the rear neighbor, and they are satisfied with the screening for the shed.

Public Comment

Neighbor Stratton Jaquette expressed concern about the flat roof which he believes is out of character with the neighborhood; and is concerned about the property line to the right and loss of property to the neighbor.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Ma, the Commission approved design review application 19-SC-01 per the staff report findings and conditions.

The motion was approved (3-0) by the following vote:

AYES: Kirik, Harding and Ma

NOES: None

RECUSED: Bishop

ABSENT: Glew

Vice-Chair Bishop rejoined the meeting for the remainder of the agenda items.

3. SC19-0001 – Ajit Singh – 1683 Parkhills Avenue

Design review for a new two-story house with a basement. The project includes 2,087 square feet on the first story and 1,208 square feet on the second story. *Project Planner: Hassan*

Assistant Planner Hassan presented the staff report, recommending approval of design review application SC19-0001 subject to the listed findings and conditions.

Property owners Christine and Wayman Leung stated that their family is increasing in size and wants to have the entire family's bedrooms on one floor.

Public Comment

Neighbor Jonathan Lo stated his family submitted an email; is concerned about privacy; the design should minimize the number of windows facing the property on the second story; the bedrooms and bathrooms on their property will be impacted; and he understands sill plates are recommended to be increased in height, but requests smaller windows or a decrease in number of them.

Action: Upon a motion by Vice-Chair Bishop, seconded by Commissioner Harding, the Commission continued design review application SC19-0001, with the following direction:

- Provide a streetscape plan including the neighboring residences to show the context of the neighborhood;
- Reduce wall plate heights;
- Consider widening the house to reduce vertical mass and scale;
- Integrate the second story windows to better protect privacy of side neighbors;
- Leave the gate open during the Design Review period;
- Maintain style integrity with the neighborhood and/or gesture of style via architectural details;
- Need an arborist report to assess potential impacts to the trees;
- The columns should be proportional to the second story design;
- Perhaps use shingle siding to be more consistent with style; and
- Look at the architectural integrity within the project and as it relates to the neighborhood.

The motion was approved (4-0) by the following vote:

AYES: Kirik, Bishop, Harding and Ma

NOES: None

ABSENT: Glew

4. SC19-0010 – Eugene Sakai – 126 Mount Hamilton Avenue

Design review for a new two-story house. The project includes 2,740 square feet on the first story, 1,206 square feet on the second story, and a 2,704 square-foot basement. *Project Planner: Niday*

Assistant Planner Niday presented the staff report, recommending approval of design review application SC19-0010 subject to the listed findings and conditions.

Project architect/applicant Eugene Sakai presented the project and described the design philosophy of the proposed residence and overall design.

Property owner Gloria On said they have a multi-generational family, and need a larger space to accommodate their growing family.

Public Comment

Neighbor Liz Czaja stated that the proposed house is not consistent with the neighborhood; the size and scale of the house is out of character with the neighborhood; there is small street frontage and she is concerned about construction and traffic impacts to the neighborhood; and the project adds too much density and mass.

Neighbor Anne Hambly said she received a small outline of the proposal; tried to contact the owners about the diseased tree but was unable to; the neighborhood has provided comments; questions the consistent character neighborhood which is predominantly one-story; and is concerned about lead and asbestos.

Neighbor Alyce Boster said there are mistakes in the neighborhood compatibility worksheet; there are three two-story houses, but are on corner lots that are larger lots; stated the proposed house doesn't have the same character as the existing neighborhood; and the DRC has the responsibility in defining the neighborhood.

Action: Upon a motion by Commissioner Ma, seconded by Commissioner Harding, the Commission continued design review application SC19-0010, with direction to address the following:

- Compatibility with the neighborhood;
- Communicate the proposed design with the neighbors;
- Include the streetscape design with the revised design plans; and
- Consider reducing the mass and bulk of the design, and potentially reduce the second story.

The motion was continued (4-0) by the following vote:

AYES: Kirik, Bishop, Harding and Ma

NOES: None

ABSENT: Glew

5. Topics for Joint Meeting with the City Council

A discussion on potential topics for the joint meeting with the City Council.

The Chair requested commissioners to think about for next meeting and deferred the discussion to the October 16, 2019 DRC meeting.

COMMISSIONERS' REPORTS AND COMMENTS

None.

POTENTIAL FUTURE AGENDA ITEMS

None.

ADJOURNMENT

Chair Kirik adjourned the meeting at 8:50 PM.

Steve Golden
Senior Planner

ATTACHMENT C



Studio S Squared Architecture, Inc.

1000 S Winchester Blvd.
San Jose, CA 95128
ph: (408) 998-0983
fax: (408) 404-0144
www.studios2arch.com

February 28, 2020

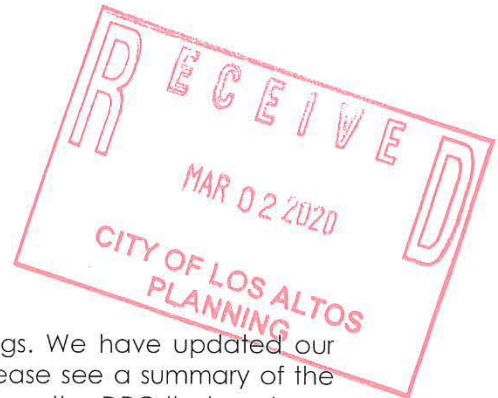
Town of Los Altos Planning Department

Community Development Department
One North San Antonio Road
Los Altos, California 94022
Attn: Calandra Niday, Assistant Planner

Re: 126 Mount Hamilton Ave
Single Family Design Review
Application No: SC19-0010

Dear Calandra Niday:

Thank you for taking the time to review our drawings. We have updated our drawings per the first DRC hearing on 10/02/2019. Please see a summary of the revisions below as well as a number of suggestions from the DRC that we have incorporated into the revised design.



DRC Comments:

Make the design more compatible with the neighborhood by reducing mass and bulk.

- We made a number of changes to the design in order to reduce the mass and bulk at the second story:
 - Per Commissioner Michael Ma's suggestion, we removed the double height portion of the entry which allowed us to push this 2nd story wall back 4'-2". This greatly reduced the visual mass of the second story.
 - Per Commissioner Michael Ma's suggestion, we also pushed bedroom 2 back 3'-0" in order to further reduce the visual mass of the second story.
- We have also remained sensitive to the neighborhood context by designing a transitional home with a similar color scheme to the neighborhood and a similar material palette of siding, stone, and neutral colors.

- We are also proposing modest plate heights with 9' at the first story and 8' at the second story in order for the first story eave height to be similar to those of the neighboring properties.
- We reduced the amount of front and side facing glazing to minimize any privacy concerns:
 - We changed bedroom 3 to be rear facing in order to reduce the amount of front facing glazing and eliminate the front facing bay window at bedroom 3.
 - We also reduced the size of some of the side facing windows.
- Per Commissioner Jude Kirk, Frank Bishop, and Samuel Harding's recommendation we added an elevator to service all levels. In turn, we made some minor floor plan changes to accommodate the elevator shaft.

Communicate the updated design with the neighbors.

- The property owners have dropped off 11x17 printed copies of the updated Site Plan, Elevations, and Perspectives as well as a letter summarizing the changes to their neighbors. Please find a copy of the letter below:

Near Neighbors,

Thanks for providing your valuable feedback during the hearing at city hall. We had noted the feedback and spent a long time discussing with our architect on how we can modify the design of the house in order to minimize the impact to our neighbors .

The following were changes made and we have also printed our new plans for your viewing:

- *We removed the double height portion of the entry which allowed us to push this 2nd story wall back 4'-2". This greatly reduced the visual mass of the second story.*
- *We pushed bedroom 2 back 3'-0" in order to further reduce the visual mass of the second story.*
- *We changed bedroom 3 to be rear facing in order to reduce the amount of front facing glazing and to eliminate the front facing bay window at bedroom 3.*
- *We added an elevator to service all levels.*
- *We made some minor floor plan changes around the new elevator to accommodate the shaft.*
- *We reduced the amount of front and side facing glazing to minimize any privacy concerns.*

If there are further questions, please kindly contact us at gsx323@gmail.com so we can also share that with our architects to get back to you.

Regards
Yowjie Chien and Gloria On

Provide a streetscape image of the house with one house to the left and one to the right in order to evaluate the house in its context.

- We have provided a streetscape image of the house with one house to the left and one to the right in order to evaluate the house in its context.
 - The Streetscape shows that the eave height on the first story of the proposed residence is similar to the eave height of the neighboring properties.
 - The Streetscape also shows the similarity in material and color palette of the proposed residence to the neighboring residences.

Thank you very much for your review and continued assistance with our project. Please do not hesitate to call our office should you have any questions.

Sincerely,



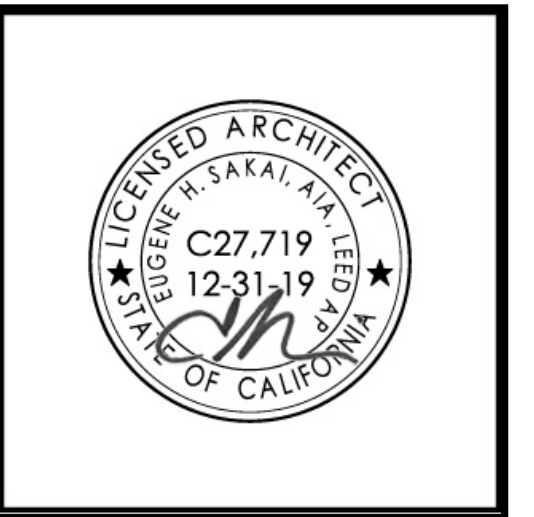
Eugene H. Sakai, AIA, LEED AP
President, Studio S² Architecture, Inc.

ATTACHMENT D



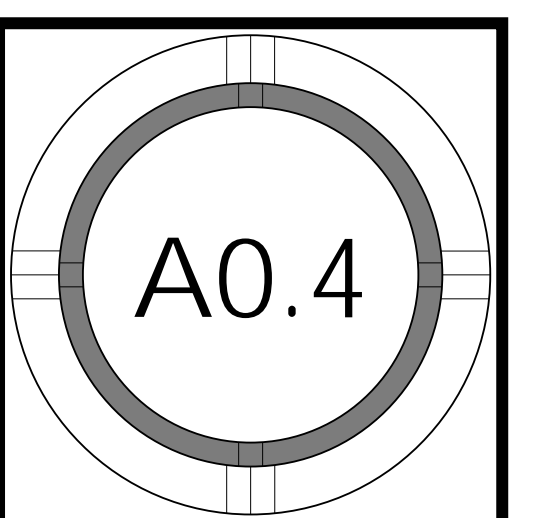
1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

ON-CHIEH RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 126 MOUNT HAMILTON AVENUE, LOS ALTOS
 GLORIA ON AND YOWJIE (YJ) CHIEH



REVISION	DATE	DESCRIPTION	DRAWN BY
	03.22.2019	DESIGN REVIEW	IG
	05.13.2019	DESIGN REVIEW RESUBMITTAL	IG
	1.29.2020	DESIGN REVIEW RESUBMITTAL	GN, IG

STREETSCAPE ELEVATION



1 3 5 7 11 15
 feet

STREETSCAPE ELEVATION 1"=10' 1



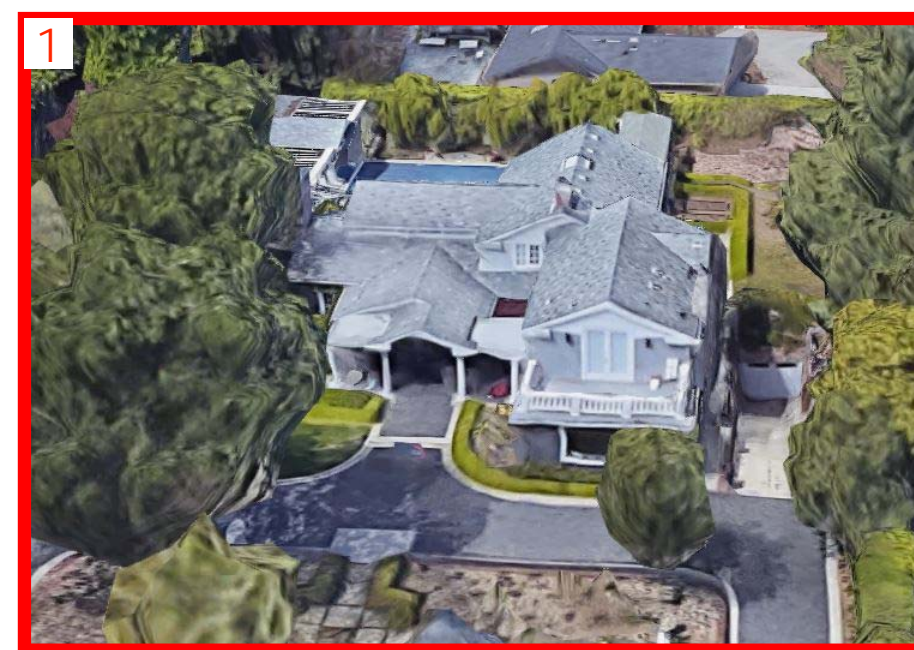
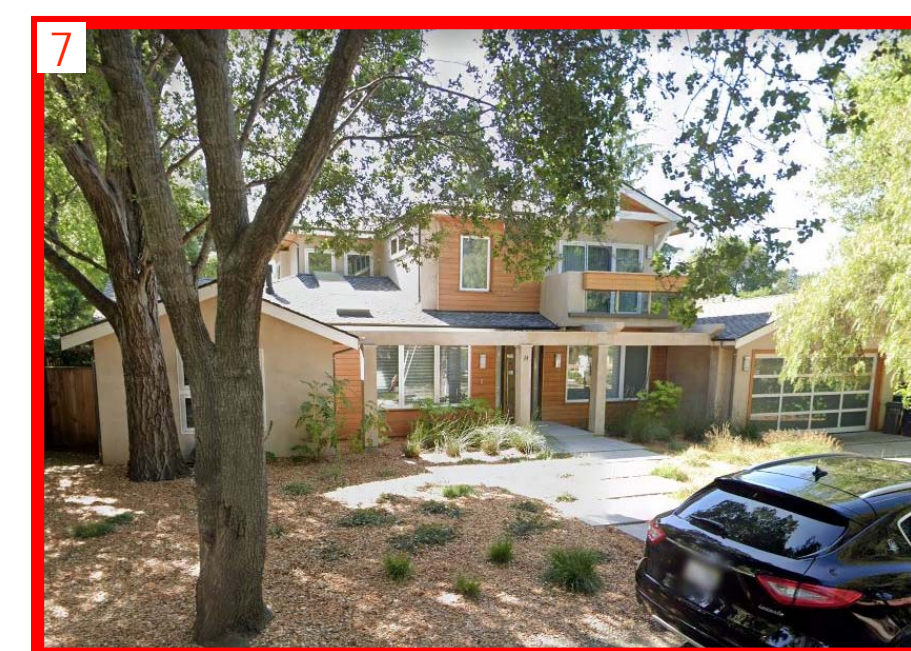
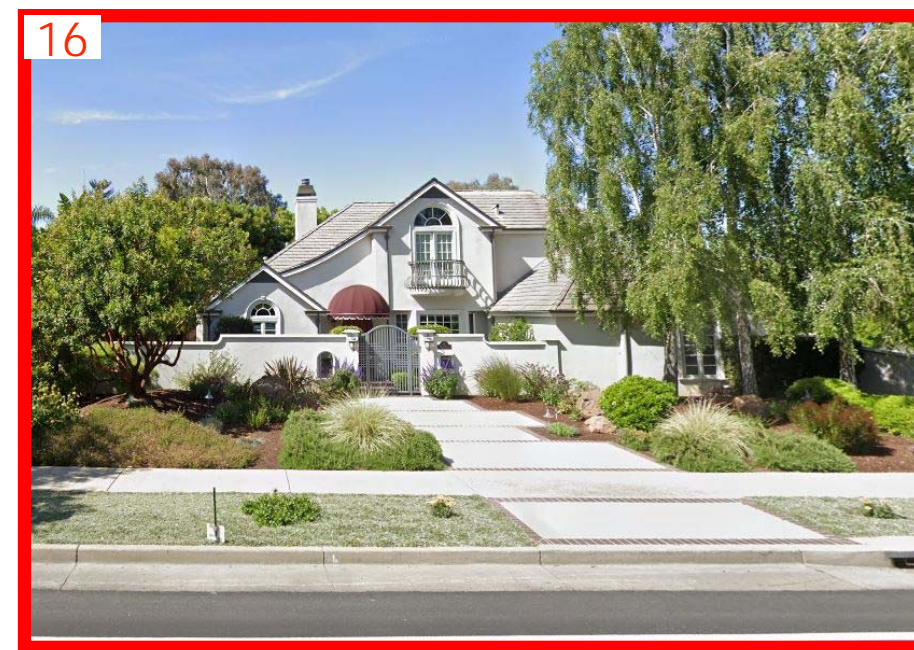
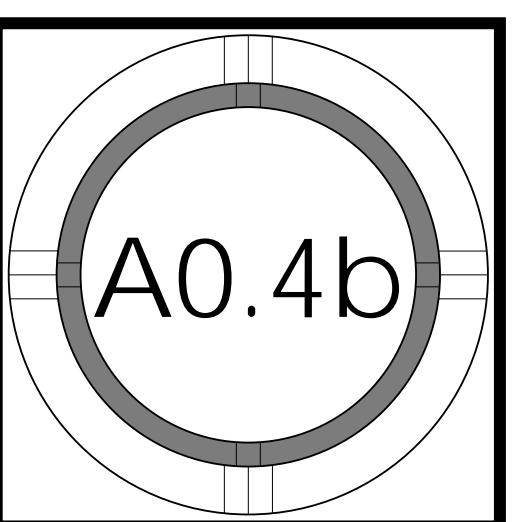
1000 S. Winchester Blvd
San Jose, CA 95128
P : (408) 998 - 0983

ON-CHEN RESIDENCE
NEW SINGLE FAMILY RESIDENCE
126 MOUNT HAMILTON AVENUE, LOS ALTOS
GLORIA ON AND YOWJIE (YJ) CHEN



REVISION	DATE	DESCRIPTION	DRAWN BY	IG
	03.22.2019	DESIGN REVIEW	IG	
	05.13.2019	DESIGN REVIEW RESUBMITTAL	IG	
	1.29.2020	DESIGN REVIEW RESUBMITTAL	GN, IG	

STREETSCAPE
CONTEXT





1000 S. Winchester Blvd
 San Jose, CA 95128
 P : (408) 998 - 0983

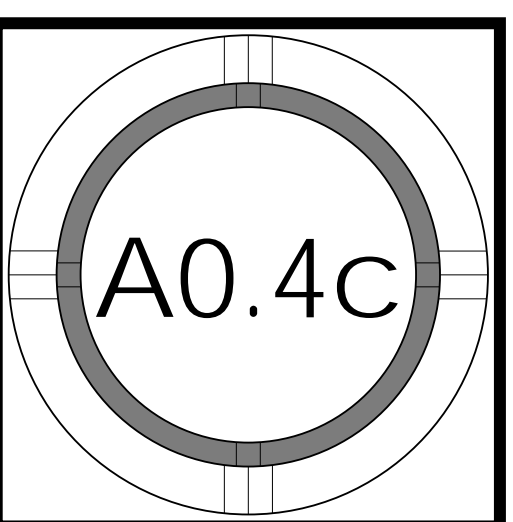


ON-CHEN RESIDENCE
 NEW SINGLE FAMILY RESIDENCE
 126 MOUNT HAMILTON AVENUE, LOS ALTOS
 GLORIA ON AND YOWJIE (YJ) CHEN



REVISION	DATE	DESCRIPTION	DRAWN BY
	03.22.2019	DESIGN REVIEW	IG
	05.13.2019	DESIGN REVIEW RESUBMITTAL	IG
	1.29.2020	DESIGN REVIEW RESUBMITTAL	GN, IG

STREETSCAPE
 CONTEXT

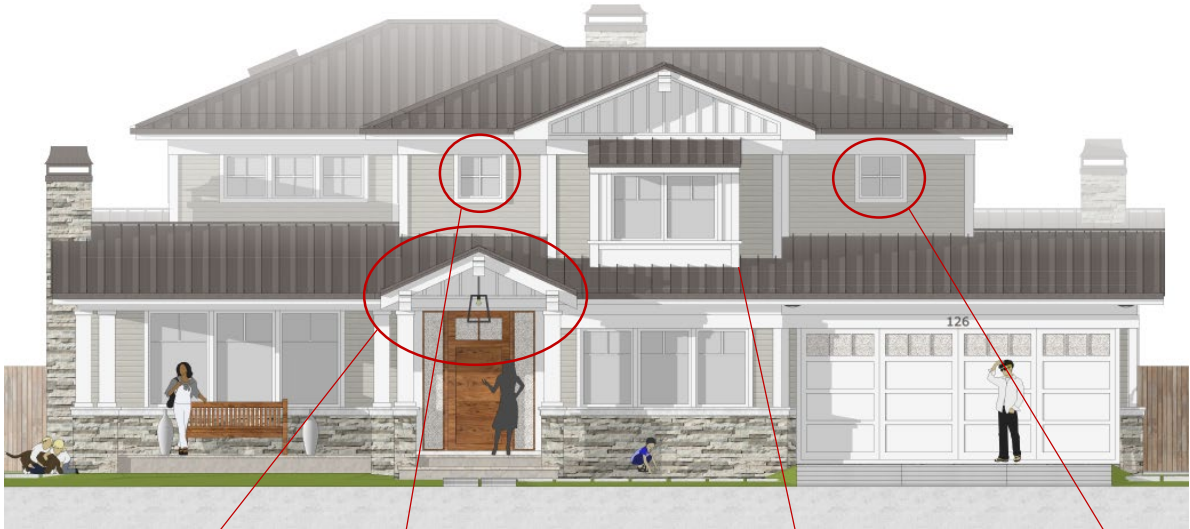


ATTACHMENT E

Project Modifications



Front Elevation / October 2019



Front Elevation / May 2020

To reduce the visual mass of the second story, the applicant lowered the front entry element and pushed the second story wall back 4 feet – 2 inches

The front-facing windows were reduced

To further reduce the bulk and mass of the second story, the applicant pushed back Bedroom #2 by 3 feet

In order to reduce the amount of front glazing, the front-facing bay window at Bedroom #3 has been removed

*For the full list of modifications, please refer to the Staff Report and Applicant Response Letter (Attachment C)



October 2019

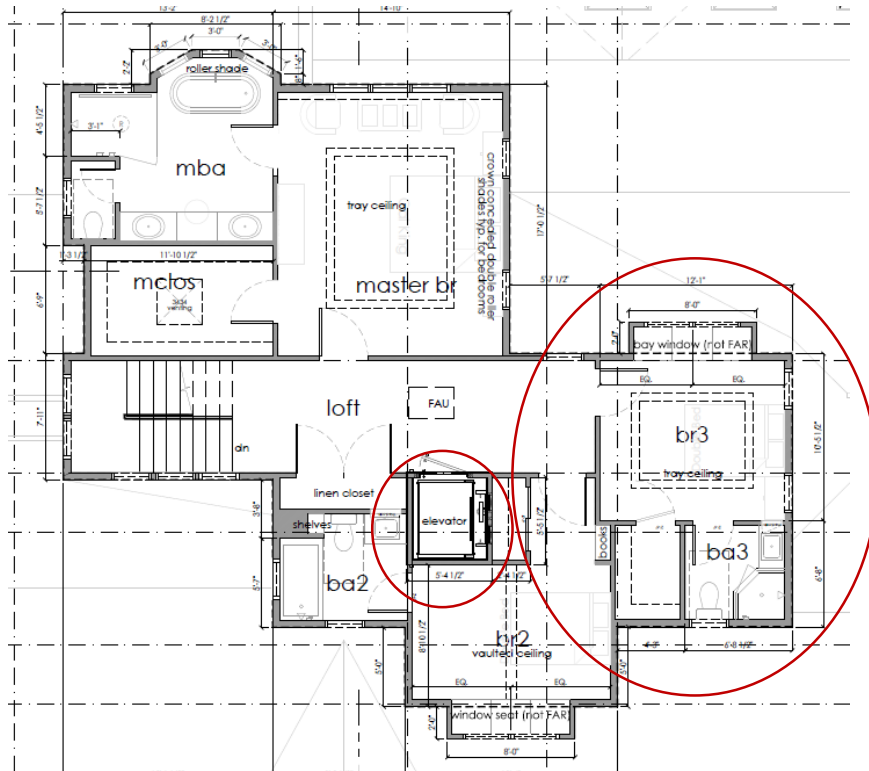


May 2020

The decrease in the second story massing is further shown in the above front roof perspective.

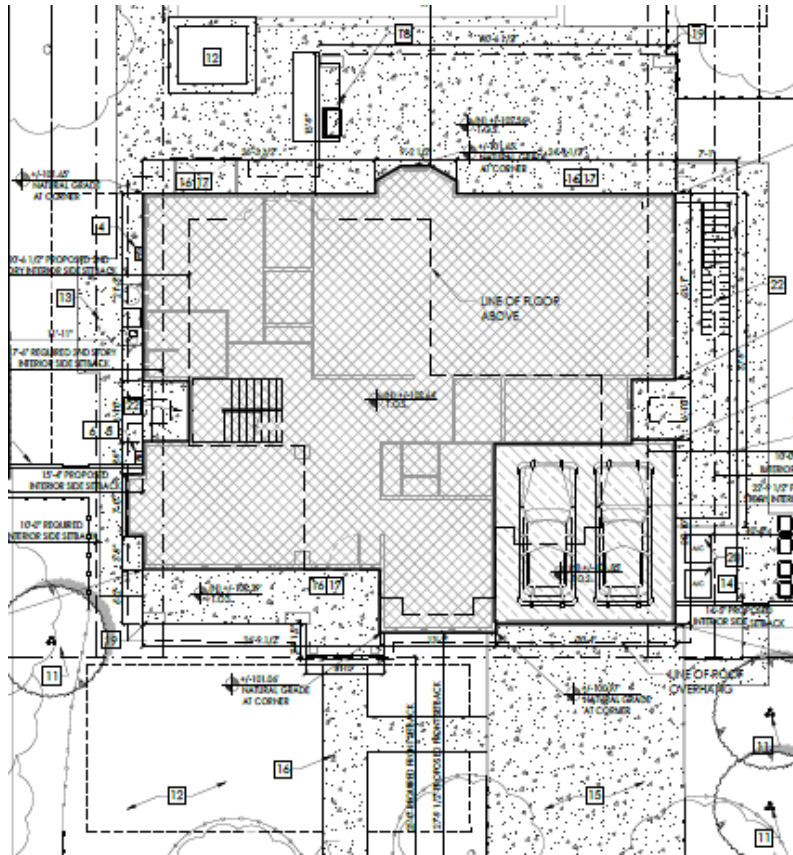


Second Story Floor Plan / October 2019

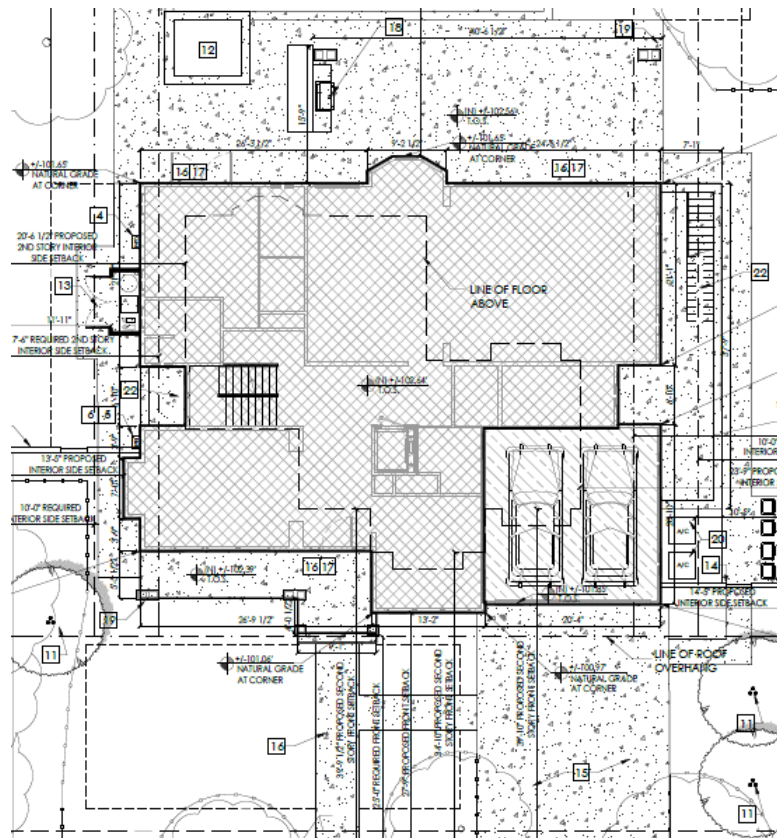


Second Story Floor Plan / Map 2020

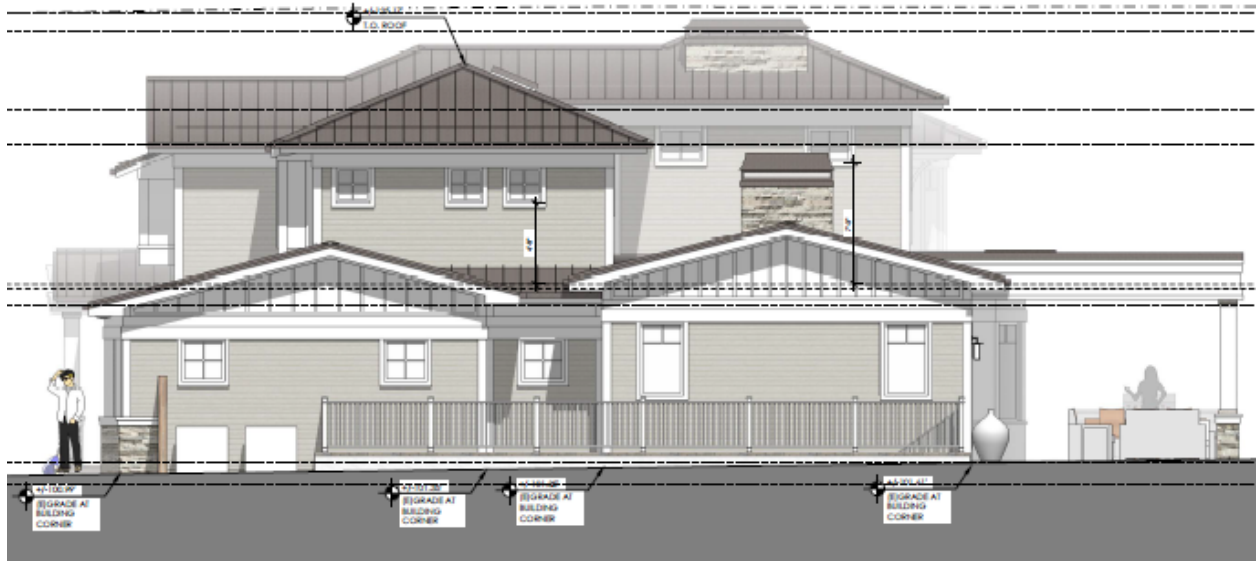
Modification: Bedroom #2 was pushed back 3 feet to reduce visual mass; Bedroom #3 was changed to be rear facing to reduce the amount of front-facing glazing; an elevator was added to service all levels.



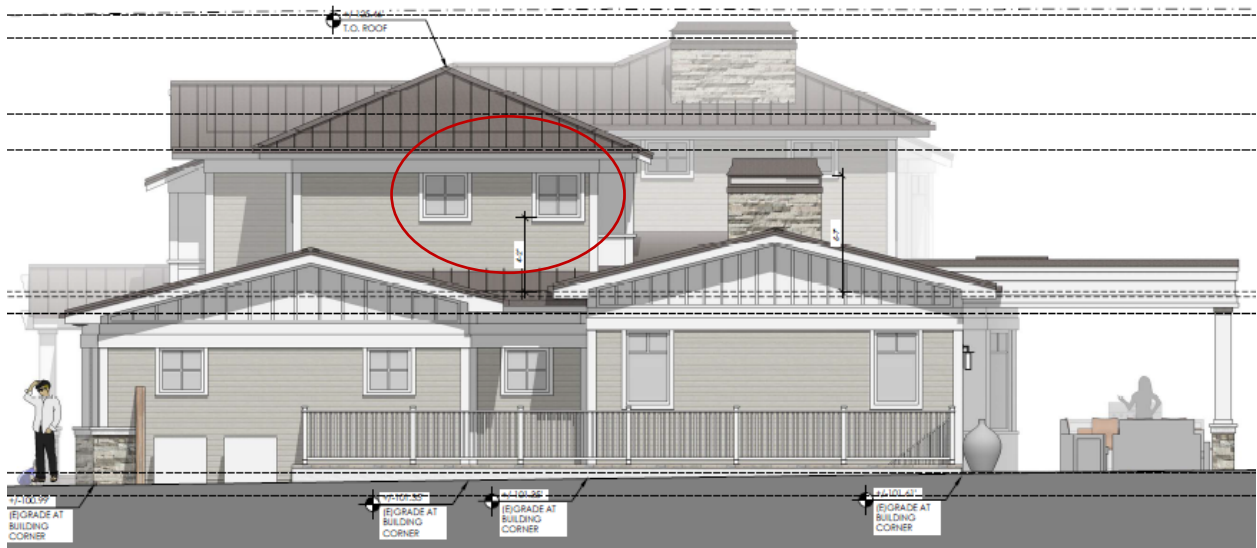
Site Plan / October 2019



Site Plan / May 2020

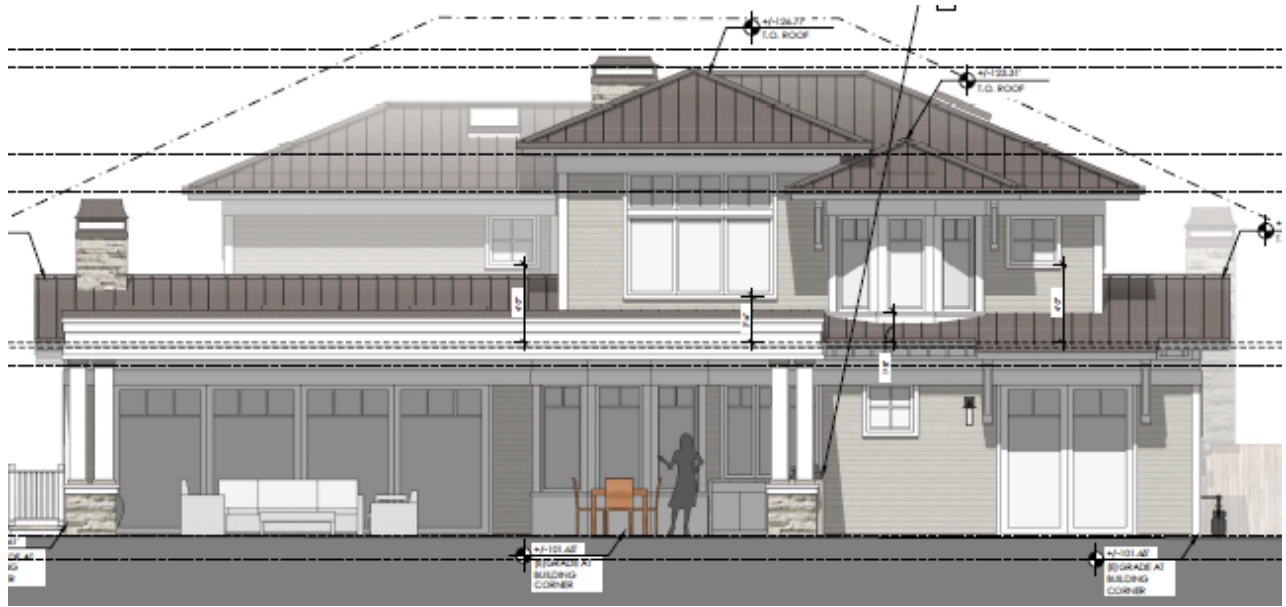


West Elevation (Right Side) / October 2019

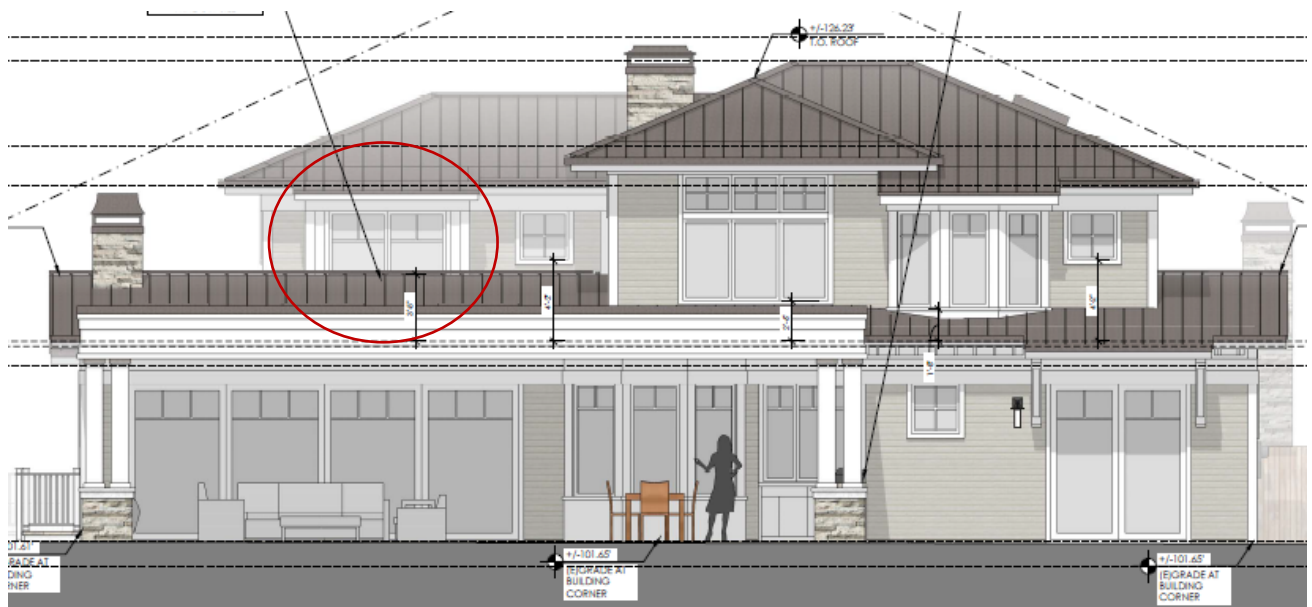


West Elevation (Right Side) / May 2020

Modification: The number of windows on the West Elevation was reduced; the second story side setback was increased to 23.8 feet, where 17.5 feet is required in a R1-10 District.



Rear Elevation / October 2019



Rear Elevation / May 2020

Modification: The bay window in Bedroom #3 was moved to the rear elevation; however, the project proposed an increased rear yard setback of approximately 52.4 feet, where a setback of 25 feet is required in a R1-10 District.



East Elevation (Left Side) / October 2019

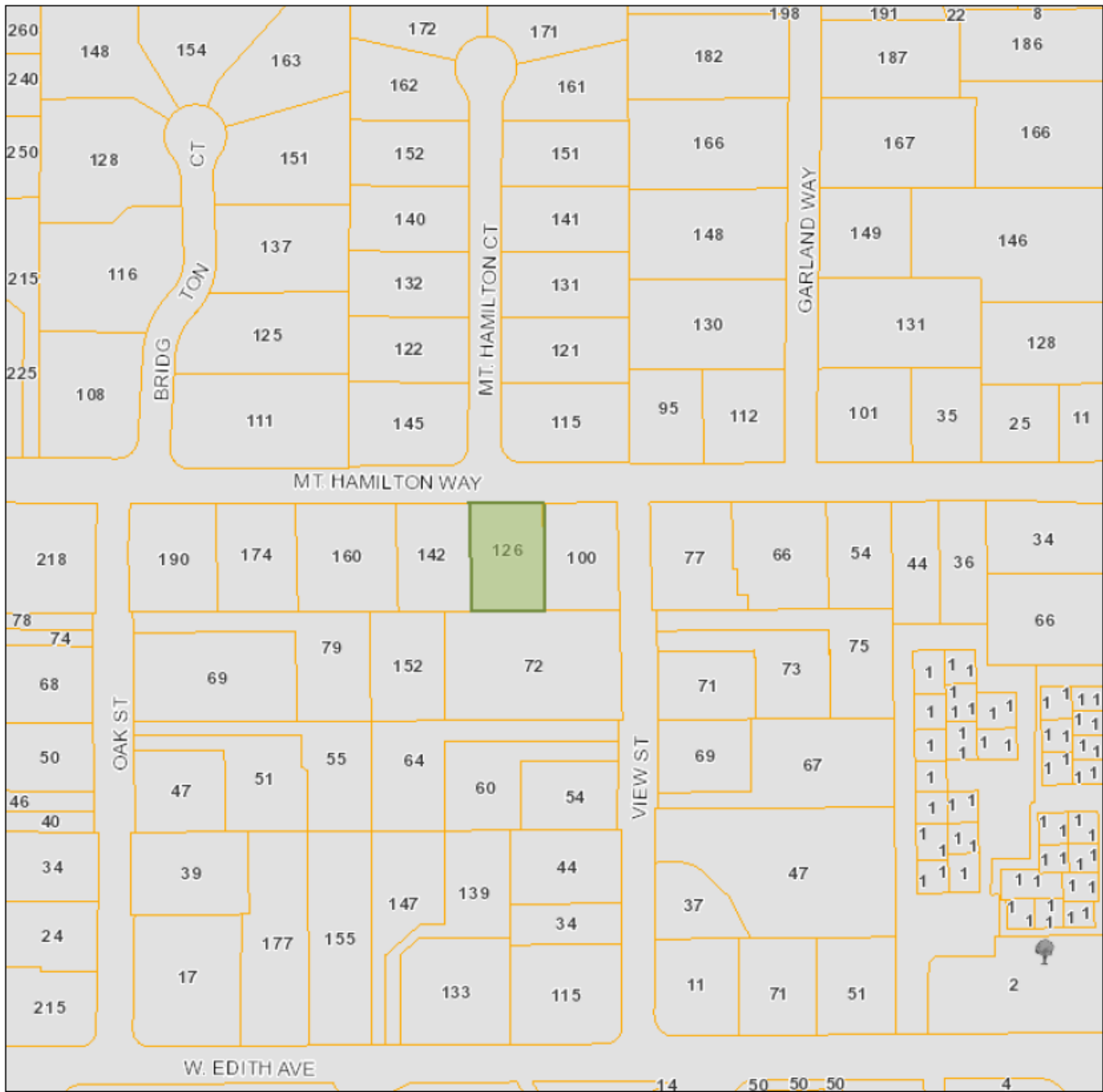


East Elevation (Left Side) / May 2020

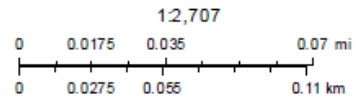
On the East Elevation, there are no major changes on second story in regards to massing and privacy.

ATTACHMENT F

VICINITY MAP



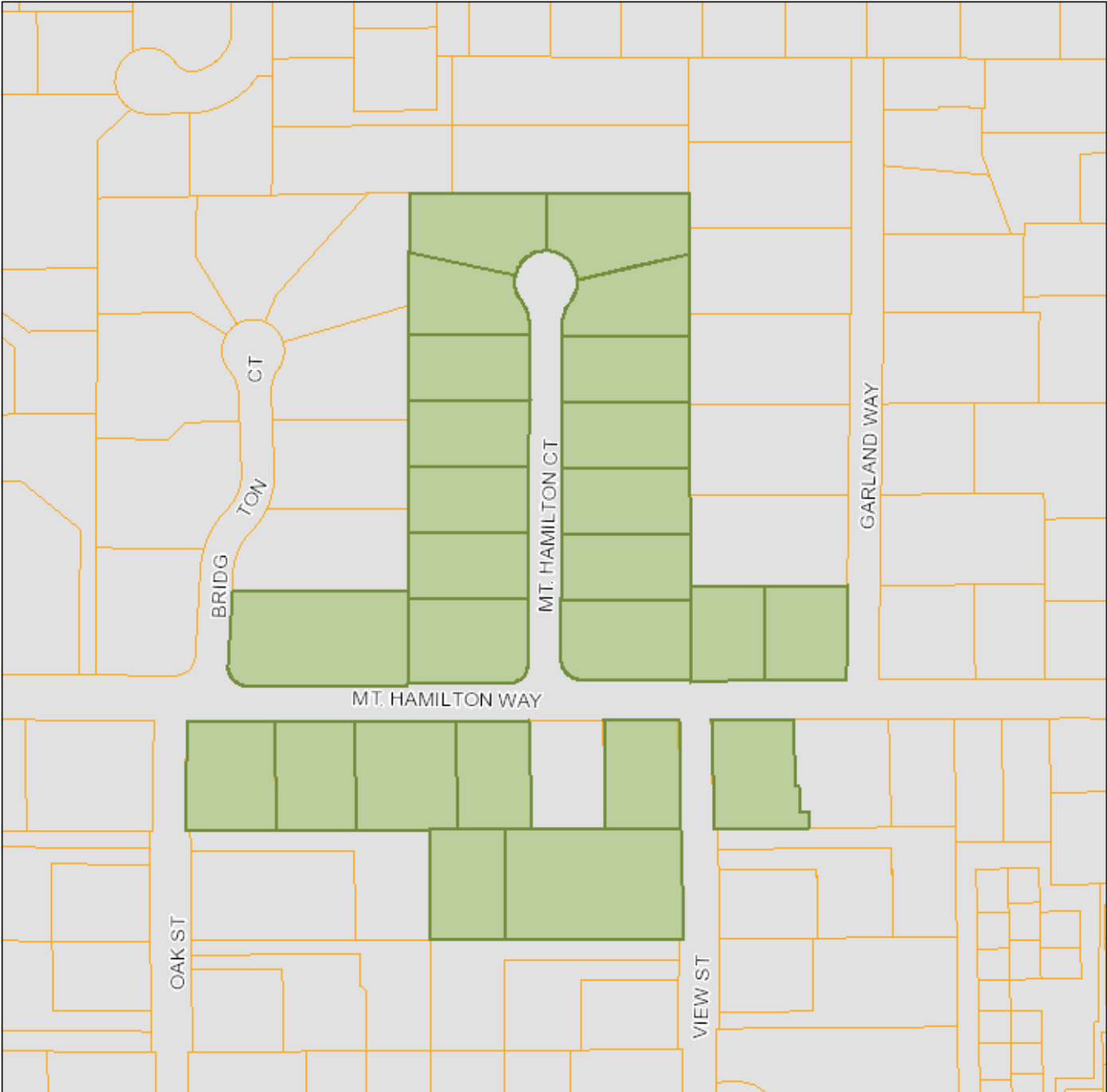
Print Date: March 4, 2020



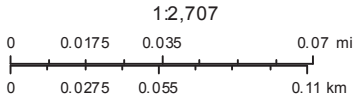
CITY OF LOS ALTOS








APPLICATION: SC19-0010
APPLICANT: Eugene Sakai
SITE ADDRESS: 126 Mt. Hamilton Avenue

Updated Notification Map



Print Date: May 14, 2020



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

ATTACHMENT G



Community Development Department
One North San Antonio Road
Los Altos, California 94022

April 20, 2020

Calandra Niday - City of Los Altos
1 North San Antonio Road
Los Altos, CA 94022

Subject: POOL EQUIPMENT RELOCATION – 126 MOUNT HAMILTON AVENUE

To Whom It May Concern:

Please accept this letter as confirmation that the architect Studio S Squared Architecture, Inc. and property owners of 126 Mount Hamilton Avenue have agreed to go beyond the requirements of the City's Noise Control Ordinance (Municipal Code Chapter 6.16). This letter confirms that the pool equipment will be relocated away from the neighbor along the left elevation. The new location is proposed along the rear elevation. In addition, the swimming pool motor and equipment will be enclosed with a noise attenuating structure.

If you have any questions or would like to further discuss, please contact me directly at (650) 947-2640 or cniday@losaltosca.gov.

Sincerely,

Calandra Niday
Assistant Planner

ATTACHMENT H

From: [Isabeau Guglielmo](#)
To: [Calandra Niday](#)
Cc: [Eugene Sakai](#); [Office Studio](#)
Subject: [External Sender]Fwd: 126 Mt. Hamilton
Date: Friday, May 8, 2020 8:18:33 AM

Hi Callie,

Not sure if it is helpful but here is some email correspondence with one of the neighbors for the Mount Hamilton Residence.

Thank you for your time,

Isabeau Guglielmo, Architectural Designer
Studio S Squared Architecture, Inc.
1000 S. Winchester Blvd, San Jose, CA 95128
(408) 998 0983 x10
[StudioS2arch.com](#) & [Houzz.com](#)

----- Forwarded message -----

From: YJ CH
Date: Thu, May 7, 2020 at 5:53 PM
Subject: Fwd: 126 Mt. Hamilton
To: Eugene Sakai , [Isabeau Guglielmo](#)

No reply subsequently

----- Forwarded message -----

From: YJ CH
Date: Fri, 17 Apr 2020 at 11:05
Subject: Re: 126 Mt. Hamilton
To: Tom Shoup

A true scientist indeed and I hope to be able to learn more or at least I know who to look for when I need scientific advice.

I am in finance working in a bank and Gloria is in google but not as a engineer hahaa

You're so well versed during the presentation that I thought u were in construction business.

We were looking at installing solar panels too for energy saving, did you do that and what's your thoughts around that?

Regards
Yowjie

On Fri, Apr 17, 2020 at 10:55 Tom Shoup wrote:

Hello YJ,

I'm a retired medical-device engineer. I worked for HP in their \$1B+ medical business until 2001 when Agilent was spun off and the business was sold to Philips. Since then I've had various R&D leadership jobs, was principal scientist in a startup, and for the last 10 years was a one-man band consultant to companies working on their first medical device, sometimes a startup, sometimes an established company going into a new market. You can read my LinkedIn profile [HERE](#).

My father was very handy around the house and I learned a lot from him. Over the years I've partially remodeled a couple of houses we've lived in and understand a lot about building construction, especially for low energy use. I subscribe to the online version of Journal of Light Construction, which is just the right level of detail to keep someone like me well informed about advances in building technology. When we decided to replace our wooden shake roof I investigated all the options and settled on the shake-patterned metal roof as the best material and best economics. It's also fireproof, forever, but that's not a concern in this part of Los Altos.

What is your line of work? And Gloria's?

Good to meet you this way, look forward to meeting in person, or at least from 6 feet.

Tom

On Thursday, April 16, 2020, 6:20:36 PM PDT, YJ CH wrote:

Thanks for the great info Tom!

How do you know so much about roofs? Do you mind me asking what profession you are in?

Regards

Yj

On Fri, Apr 17, 2020 at 07:45 Eugene Sakai wrote:

great thank you!

On Thu, Apr 16, 2020 at 4:33 PM Tom Shoup wrote:

Absolutely! If the city pushes back on a metal shake roof I'll write a strong letter of support.

Tom

On Thursday, April 16, 2020, 3:11:40 PM PDT, Eugene Sakai wrote:

Hey Tom, thanks for being so helpful with this issue. It all sounds really good!

If we receive any pushback from the city should we decide to propose this change to the approved

design, would you be so kind as to drop a note of support upon request?

On Thu, Apr 16, 2020 at 3:09 PM Tom Shoup wrote:

My recollection from 7 years ago is that the material cost is maybe 25% higher for the roofing material. But as I said, it's the last roof anyone will put on for 75 years and for a new house the room framing is cheaper. My old roof was framed (rafters) for the weight of wood shake, not asphalt, so I would have had to beef up the framing and put down a plywood deck. Instead, my roofer had one guy for one day check and adjust the skip sheathing on both the house and garage.

The material cost for my roof, including gutters and downspouts, in 2013 was \$19,000 for about 3,000 sq ft of roof (house plus detached garage); I can't find the exact roof area in the quote or invoices but that's a good ballpark number.

The manufacturers claim energy benefits too, since the metal under the granular overcoat reflects infrared radiation. And when it rains or even hails this roof is no more noisy than the shake roof we had. We have a lot of attic insulation in our house but even in our cathedral living room it's not too noisy when it rains hard.

Tom

On Thursday, April 16, 2020, 12:56:23 PM PDT, Eugene Sakai wrote:

Tom!

Super helpful, thanks!

We'll order some samples to see what these look like in real life. Pics look pretty good! City will likely not care about the substitution so long as the shingle look is convincing.

Do you have a sense of cost premium over asphalt shingles in %, material only? If not we can get this from the mfr. Thanks again Tom.

On Thu, Apr 16, 2020 at 12:17 PM Tom Shoup wrote:

Hello All,

Here are two pointers to metal roofs that mimic shake, shingle, or tile:

<https://www.decra.com/metal-roofing-products/shake-xd> 141 Hamilton Court has a metal Decra tile roof in a dark color

<https://www.boralroof.com/product-profile/steel/pine-crest-shake/4DAP93185SF/> this is what is on our house as well as 77 View St. and I can give you a sample

These roofs are approx. 2' x 3' panels which are screwed down; they are rated for 150mph winds, are .fireproof, have the same granular coating as asphalt shingles, and have a lifetime warranty. You can also walk on them without leaving footprints, which is a problem with standing seam metal roofs. I walk on my roof 2 or 3 times per year to clean off pine needles.

Our roof was put on by CalPac roofing and the roof at 77 View (same roof) was put on by Western Roofing. I think Western did a slightly better job in the details compared to CalPac on our roof.

These roofs are more expensive than asphalt shingles, but you'll never put another roof on. Also, because they are so light (no more than half the weight of asphalt shingle), the roof framing is lighter, so for a new house the roof framing will cost less. For example, there is no plywood, these roofs go on over skip sheathing, so the material and labor cost of putting down plywood is saved.

Hope this helps. As I said before, if you want to go back to the design review commission to change from an asphalt shingle roof to this I will support that. Clearly the commissioners are not roofing experts.

Regards,

Tom Shoup
112 Garland Way

On Wednesday, April 15, 2020, 8:47:05 PM PDT, Eugene Sakai wrote:

Thanks YJ.

Tom, it is very nice to virtually meet you. Thank you for your comments tonight and especially for welcoming our clients to your neighborhood. YJ and Gloria are very nice people, and I am sure you will like them once you get to know them well!

If you happen to have a manufacturer spec on your roof, I would be happy to take a look. Sounds like a really nice product!

On Wed, Apr 15, 2020 at 8:43 PM YJ CH wrote:

Hi Tom,

Thanks for reaching out and thanks for the feedback earlier. I do think metal roof is better but seems like other neighbors had concerns. I am happy to use the metal that mimics the wooden shake and I am including my designer in this email so he can get the sample from you if he needs. Thanks for the kind offer.

Your place is really nice and hidden away while we have a junction right in front of ours.

Hopefully this virus will end soon so our lives can get back to normal.

Currently we are not staying in the property as it's slightly old hence we haven't been able to get to know all of you but it seems that it's quite a tight neighborhood where people look out for one another.

In the future we will reach out and hope to meet you and our neighbors in person.

Most importantly you have my and my architect's contact now, if there is any issues pls kindly

reach out and we will try to address them.

Regards

Yj

On Thu, Apr 16, 2020 at 10:56 Tom Shoup wrote:

Dear Gloria and Youwjie,

I'm your soon-to-be neighbor at 112 Garland Way and just spoke at the Design Review Commission meeting. I'm afraid the commissioners did not fully comprehend my comments on the roof material and gravitated to asphalt shingles in their motion. I sent a chat message to everyone pointing out that my suggestion was to stay with a metal roof but one which mimics wooden shake, as I have on my house and is also on the house at 77 View. I have a sample of the roof material if you would like to have it. Commission Glew in particular doesn't seem know much about the choices in metal roofs these days. I would heartily support you if you wanted to ask to use this type of metal roof instead of asphalt shingles.

You will really like this neighborhood. You can walk to everything in downtown, it's pretty quiet except for those cars which use Mt. Hamilton as a speedway to get around Edith to Foothill but the rest of the traffic noise is pretty light. We also have a couple of neighborhood parties each year, one in the summer and one at the end-of-the-year holidays.

During the shelter-in-place order some of the neighbors on Garland Way meet each night in the street at 5pm with tea or wine in hand, just to see each other and swap stories on food shopping and operating Zoom. Please stop by some evening at 5pm and we'll introduce ourselves. We enforce the 6' rule and some wear masks.

Cordially,

Tom Shoup
112 Garland Way

--
Cheers,

Eugene H. Sakai, AIA, LEED AP
Studio S Squared Architecture, Inc.
[1000 S. Winchester Blvd.](http://1000.S.Winchester.Bldv.)
[San Jose, CA 95128](http://San.Jose.CA.95128)
408.998.0983 x2
www.studios2arch.com

--
Cheers,

Eugene H. Sakai, AIA, LEED AP

Studio S Squared Architecture, Inc.

[1000 S. Winchester Blvd. San Jose, CA 95128](#)

(408) 998 0983 x2

[StudioS2arch.com](#) & [Houzz.com](#)

--

Cheers,

Eugene H. Sakai, AIA, LEED AP

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408.998.0983 x2

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Cheers,

Eugene H. Sakai, AIA, LEED AP

Studio S Squared Architecture, Inc.

[1000 S. Winchester Blvd. San Jose, CA 95128](#)

(408) 998 0983 x2

[StudioS2arch.com](#) & [Houzz.com](#)

From: [Brian Korek](#)
To: [Calandra Niday](#)
Subject: 126 Mt Hamilton Ave
Date: Monday, May 11, 2020 8:42:23 PM

Hi Calandra,

I oppose the development of a monster house that would be **over 3 times as large** as their next door neighbor at 142 Mount Hamilton Ave, which is **1,679 square feet**.

All the houses around them vary between 1600-3300 square feet total. While they are asking for **6650 square feet**, which seems way out of line with their surroundings. The only house near that size is behind them, but that is on a lot over twice the size and setback more than twice as far from the street. From my perspective along with my neighbors on Hamilton Ct, this monster house will block our view of the hills. They made a point of showing 2 story houses in the neighborhood, though none within their block on Mt Hamilton Ave. However, they didn't talk about their massive square footage. I wonder how many families will live there? How many cars will be parked on the street? That's a big concern as Mt Hamilton Ave isn't wide enough for cars parked on the street - we already run into this problem trying to get around parked cars at either end without going into the oncoming traffic.

Brian Korek
My parents brought me to Los Altos in 1971.

From: [Isabeau Guglielmo](#)
To: [Calandra Niday](#)
Cc: [Eugene Sakai](#); [Office Studio](#)
Subject: Fwd: Design changes for 126 Mt Hamilton
Date: Friday, May 8, 2020 9:48:06 AM

Hi Callie,

Here is more correspondence with neighbors.

Thank you for your time,

Isabeau Guglielmo, Architectural Designer

Studio S Squared Architecture, Inc.
1000 S. Winchester Blvd, San Jose, CA 95128
(408) 998 0983 x10
[StudioS2arch.com](#) & [Houzz.com](#)

----- Forwarded message -----

From: YJ CH
Date: Sun, 19 Apr 2020 at 01:39
Subject: Re: Design changes for 126 Mt Hamilton
To: Abhambly

Hi Anne,

I am sorry to hear that both Judge Hyman and yourself had difficulty to get into the meeting.

How were you able to get in in the end?

Did you hear the discussion on the roof and did you have any views around that?

Regards

Yowjie

On Sat, Apr 18, 2020 at 02:47 Abhambly wrote:

I wanted to let you know that Judge Hyman was unable to get into the meeting on Wed. night. I had a lot of trouble also. I finally got in during the commissioners comments. I was unable to speak even though I had requested to. That was very disappointing. I did hear the vote. I did speak with the senior planner yesterday, who filled me in on the rest of the meeting, so I have been updated.

Anne

In a message dated 4/14/2020 10:20:37 PM Pacific Standard Time, [Yowjie](#) writes:

Hi Anne,

Just dropped another copy of the plans and letter into your mailbox in case you want a physical copy for tomorrow's meeting.

Do let me know if u get it.

I don't doubt you that you didn't. I just don't know how else to do it better since it's the second time that I hear people didn't get it so I did it personally again and took pictures this time but it still doesn't work if you don't get it.

Regards
Yowjie

On Wed, Apr 15, 2020 at 13:07 Abhambly wrote:

It doesn't really matter. There is only a difference of 2 addresses. I believe you delivered the packets. I hope you believe me that I never received one, nor did Mr. Hyman, Mr. Goldberg, Mrs. Weed, Mr. Reynolds. We will probably never know the explanation.

Anne

In a message dated 4/14/2020 9:15:17 PM Pacific Standard Time, [Yowjie](#) writes:

Hi Anne,

These were the address provided to me to be dropped off and my architect checked also sent this to the planner. I am happy to sent your comment to the planner and my architect if u think we are wrong?

I also sent the view st and Hamilton mailboxes.

Regards
Yj

On Wed, Apr 15, 2020 at 11:00 Abhambly wrote:

The map I saw online didn't include Bridgton Ct. or Garland Way, but included 122 and 121 Hamilton Ct. The picture you sent me is the Bridgton Ct. mailbox! The Garland Way address may have received your packet. He thought he did.

Anne

In a message dated 4/14/2020 7:50:45 PM Pacific Standard Time, [Yowjie](#) writes:

Hi Anne,

These were the address dropped. 160, 152 etc and the view st ones are here too. Are these not the right address for the 11 households?

Regards
Yj

On Wed, Apr 15, 2020 at 10:31 Abhambly wrote:

Yj,

Our mail is delivered in the afternoon, anywhere from 2:30-5:30. That's when people pick up their mail. I suppose they could have been stolen. The UPS envelope might have looked like it contained something of value. The notification map lists the 11 addresses. None of these addresses have a mailbox that looks like the picture you showed me!

Anne

In a message dated 4/14/2020 6:33:32 PM Pacific Standard Time, [Yowjie](#) writes:

Hi Anne,

Great to hear from you and I am sorry to hear that you guys didn't receive the packet when the 4 mailboxes along with my mailbox were the first I went to.

I had taken a few photos on the 29th feb when I dropped it off but did not take every single mailbox and this is how the packet looks like.

I understand it is a big project and for sure it will disturb the neighbors and I apologize in advance and as mentioned in the first packet and also to my architect when I first started the project, I told them we need to minimize the disturbance to our neighbors and do everything correctly.

I want to be a good neighbour and preciously when u wanted the old tree to be taken off I addressed it immediately after being informed and when the fence from the other side came off, I paid for it in full when they were suggesting I should reach out to the neighbors to split the cost. My priority was to ensure things are safe and not become a problem for my neighbors.

I would love for the communication to be better and now that you have my e-mail, please feel free to let me know if there are any issues. Eugene from studio s will be helping to supervise this and they cost double compared to the regular architect because they are very professional and will help to follow the project. Pls also include him in the emails if there are concerns.

Regards
Yj



On Wed, Apr 15, 2020 at 02:25 Abhambly wrote:

YJ,

I appreciate hearing from you. I am curious about the packets. Did you put them in the mailboxes or at the doors? Was it clear who the sender was? Did it look like junkmail? I just can't understand why I and five other of your closest neighbors didn't receive it! I only know of one who did, 77 View St. It doesn't make sense. I feel a little jinxed as far as your project goes! However, I have looked online at the revised plans and the recommendations.

We are the closest neighbors to you. Our master bedroom and office are directly across from your west wall. We have lived here for 34 years. Now, we face the idea of a massive 2-story house 20 feet away and living through the construction noise, dust, workers, trucks and the inconvenience that will entail for maybe 2 years. Unfortunately, we will have to live through it. We will have no choice.

My feelings about your project haven't changed. I don't think the 2nd story should be allowed. It is not consistent with the neighborhood on Mt. Hamilton and Hamilton Ct. However, I do expect it to be approved.

I would hope that the lines of communication for us will be better during the construction process.

Sincerely,
Anne Hambly

In a message dated 4/14/2020 9:26:48 AM Pacific Standard Time,
Yowjie writes:

Hi Anne

This is your neighbor Yj from 126 Mt Hamilton Ave.
I hope you and your family are well and safe given the recent outbreak of virus.

I was informed by planner Calandra from planning division that you had not received my packet with a letter and revised floor plans?
Feedback from my neighbors are important and to make sure the packets were delivered, I had personally dropped off 11 packets on Feb 29th to ensure there are sufficient time for us to address any concerns by my neighbors or make changes prior to the hearing.

Below is the letter that was attached with the plans summarizing what we had changed and Eugene (The architect) had spent a lot of time with me working to minimize the impact. If you would like us to walk you through the improvements or provide your feedback, please kindly let Eugene and I know.

"Near Neighbors,

Thanks for providing your valuable feedback during the hearing at city hall.
We had noted the feedback and spent a long time discussing with our architect on how we can modify the design of the house in order to minimize the impact to our neighbors .

The following were changes made and we have also printed our new plans for your viewing:

- We removed the double height portion of the entry which allowed us to push this 2nd story wall back 4'-2". This greatly reduced the visual mass of the second story.
- We pushed bedroom 2 back 3'-0" in order to further reduce the visual mass of the second story.
- We changed bedroom 3 to be rear facing in order to reduce the amount of front facing glazing and to eliminate the front facing bay window at bedroom 3.
- We added an elevator to service all levels.
- We made some minor floor plan changes around the new elevator to accommodate the shaft.
- We reduced the amount of front and side facing glazing to minimize any privacy concerns.

If there are further questions, please kindly contact us so we can also share that with our architects to get back to you. "

Regards
YJ Chien

From: [Isabeau Guglielmo](#)
To: [Calandra Niday](#)
Cc: [Eugene Sakai](#); [Office Studio](#)
Subject: Fwd: Greetings from 126 Mt Hamilton
Date: Friday, May 8, 2020 3:18:49 PM

Hi Callie,

One more piece of neighbor correspondence below:

Thank you for your time,

Isabeau Guglielmo, Architectural Designer

Studio S Squared Architecture, Inc.
1000 S. Winchester Blvd, San Jose, CA 95128
(408) 998 0983 x10
[StudioS2arch.com](#) & [Houzz.com](#)

----- Forwarded message -----

From: YJ CH
Date: Fri, 8 May 2020 at 08:56
Subject: Fwd: Greetings from 126 Mt Hamilton
To: Eugene Sakai, [Isabeau Guglielmo](#)

Sorry the latest and didn't hear back

----- Forwarded message -----

From: YJ CH
Date: Wed, 15 Apr 2020 at 18:22
Subject: Re: Greetings from 126 Mt Hamilton
To: Eugene Hyman

Hi Eugene,

Not at all. You were supposed to get the packet and I apologize once again that you didn't receive it.

Curious if missing mails common in the neighborhood and if you received it last year?

Thanks for reviewing. If there are any questions, pls feel free to let me know.

Regards
Yj

On Wed, Apr 15, 2020 at 17:37 Eugene Hyman wrote:

|

ATTACHMENT 4

Thank you for dropping off a packet for me. It is appreciated.

Sincerely,

Eugene

Sent from my iPhone

On Apr 14, 2020, at 10:38 PM, YJ CH wrote:

Hi Eugene,

This is your neighbor Yj from 126 Mt Hamilton Ave.
I hope you and your family are well and safe given the recent outbreak of virus.

I was just informed by planner Calandra from planning division that you had not received my packet with a letter and revised floor plan.

Gloria had just dropped a copy in your mailbox at 10pm upon finding out you would like a physical copy and I hope it would help with your meeting tomorrow.

Feedback from my neighbors are important and to make sure the packets were delivered, I had personally dropped off 11 packets on Feb 29th to ensure there are sufficient time for us to address any concerns by my neighbors or make changes prior to the hearing.

I understand that any rebuilding of the house would cause disturbance to the neighbors and I apologize in advance.
I have engaged studio s to help with the design and supervision of the project to ensure that even during the time of construction, we want to minimize the impacts to our neighbors and to do them right.

In the future if there are issues, you have both our contracts so you can let us know your concerns and we will try to address them.

Pictures of how the document looked like.

<IMG_5363.jpeg>

<IMG_5364.jpeg>

Below is the letter that was attached with the plans summarizing what we had changed and Eugene (The architect) had spent a lot of time with me working to minimize the impact. If you would like us to walk you through the improvements or provide your feedback, please kindly let Eugene and I know.

"Near Neighbors,

Thanks for providing your valuable feedback during the hearing at city hall. We had noted the feedback and spent a long time discussing with our architect on how we can modify the design of the house in order to minimize the impact to our neighbors .

The following were changes made and we have also printed our new plans for your viewing:

- We removed the double height portion of the entry which allowed us to push this 2nd story wall back 4'-2". This greatly reduced the visual mass of the second story.
- We pushed bedroom 2 back 3'-0" in order to further reduce the visual mass of the second story.
- We changed bedroom 3 to be rear facing in order to reduce the amount of front facing glazing and to eliminate the front facing bay window at bedroom 3.
- We added an elevator to service all levels.
- We made some minor floor plan changes around the new elevator to accommodate the shaft.
- We reduced the amount of front and side facing glazing to minimize any privacy concerns.

If there are further questions, please kindly contact us so we can also share that with our architects to get back to you. "

Regards
YJ Chien

Calandra Niday

From: Yvonne Dupont
Sent: Tuesday, April 14, 2020 10:15 AM
To: Calandra Niday
Subject: FW: project at 126 Mt. Hamilton Ave

Importance: High

From: Abhambly
Sent: Monday, April 13, 2020 3:37 PM
To: Los Altos Design Review Commission <DesignReviewCommission@losaltosca.gov>
Subject: project at 126 Mt. Hamilton Ave

To: The Los Altos Design Review Commission

Re: Project at 126 Mt. Hamilton Ave.

My husband and I have lived at 100 Mt Hamilton, next to the proposed project, for 34 years. Since the Oct. 2 meeting, I have been anxious to learn what changes were being considered. I received a notice from the city, and a notice was posted on the property about the March 18 meeting which was canceled. Since then, I have been checking the city's site weekly and e-mailing Calandra. I inquired about changes and was told the report and plans would be posted the Thursday prior to the meeting. I checked again on Thursday, April 9 and learned about the virtual meeting on April 15. On Friday, I e-mailed Calandra to inform her that there was no notice on the property. It was posted later that afternoon. I was surprised to read that the owners delivered a letter and new renderings to 11 surrounding neighbors. Of those, I spoke with six. Only one neighbor, at 77 View St., received the packet. The other six of us, 95, 100, 115, 145, 160 Mt. Hamilton and 121 Hamilton Ct. received nothing. I don't know about the remaining three. Also, the home at 72 View St. is vacant. The owners have left the area and are preparing to sell. I was disappointed in this lack of communication, since that was one of the commission's suggestions.

In the staff report, attachments and application, there seems to be a question as to what is our neighborhood. There are pictures of 2-story houses located between Edith, Oak, Mt. Hamilton and View. All of those houses are entered from Edith, Oak and View. Many are flag lots. I consider our neighborhood to be the full block of Mt. Hamilton, 7 houses, #100-190, the 3 houses across the street, #95-145, the 12 houses on Hamilton Ct. You might include 77 and 72 View St. and 112 Garland Way. There are 2 2-story homes on Hamilton Ct, and 72 View St. is the original 2-story farmhouse in the neighborhood on a near 3/4 acre lot. Most of these homes were built in the mid 50's. Some have been re-modeled. Some have been torn down and new ones built. There are 25 homes, of which 3 are 2-story. With that in mind, I would say the houses in the neighborhood are very compatible. Most of these homes have a footprint of less square footage than the basement of this proposed house. I don't consider this proposed project to be compatible. I am still concerned about the mass. It will be the only 2-story home in our block. Every time someone exits Hamilton Ct, they will look directly at 126 Mt. Hamilton. It will be very visible and not in character. I believe the 2nd story still has the same square footage as previously proposed. The total square footage seems to be the same, 6650.

Thank you for your consideration of my concerns.

Respectfully,
Anne Hambly
650-766-2426

Calandra Niday

From: Eugene M Hyman
Sent: Monday, April 13, 2020 2:32 PM
To: Planning Service
Subject: Re: 126 Mount Hamilton Ave

Dear Gentlepersons:

I write concerning the project at the above address.

I found out about the meeting from the notice posted on the utility pole near the residence.

I have not received the required packet as of this date and request one before the hearing if possible. Nor did I receive the postcard notice.

I have tried to review the materials at the website but would prefer that they are presented to me in a printed format.

Ms. Anne Hambly sent me a copy of her email addressed to the Commission.

I agree with her concerns and comments and do not have anything additional to add.

I have lived in my home at 142 Mount Hamilton Ave. since 1987.

Thank you for your consideration.

Sincerely,

Eugene M. Hyman
408.666.9518

Calandra Niday

From: Tom Shoup
Sent: Tuesday, April 14, 2020 12:49 PM
To: Calandra Niday; Planning Service; Los Altos Design Review Commission
Subject: 126 Mt. Hamilton Design Review

Dear Design Review Committee,

I am writing to you with respect to the proposed residential construction at 126 Mt. Hamilton, which is within 225 feet of my property. I believe the revised planning documents submitted for the meeting of 15 April 2020, document #SC19-0010 prepared by Calandra Niday, Assistant Planner for the City of Los Altos, still contain misleading information:

1. In Attachment B, *Minutes of the Regular Meeting of the Design Review Commission of the City of Los Altos...October 2, 2019....*, under Item 4, Public Comment, the information I provided in my e-mail of September, 30, 2019 is not included in either summary or detailed form.
2. The misleading information provided in the Neighborhood Compatibility Worksheet ("worksheet"), which I pointed out in my previous e-mail, has not been corrected. The minutes referenced above note that neighbor Alyce Boster also pointed out mistakes in the worksheet. If this worksheet is not accurate, how can the planning commission make an informed decision?
3. The letter of February 28, 2020, from architect/applicant Sakai provides detailed descriptions of changes in response to feedback from the October review meeting. The changes are claimed to "make the design more compatible with the neighborhood by reducing mass and bulk." The streetscape image of the proposed structure on page 39 of the PDF file shows the structure in relation to its nearest neighbors on the east and west. I don't believe that a reasonable person would conclude that the bulk and mass are similar to the nearest neighbors given that image.
4. With respect to the density of 2-story houses in this neighborhood, page 40 of PDF file contains an aerial photo of the property with existing 2-story houses highlighted. Please note that there are no 2-story houses in this block of Mt. Hamilton and the nearest one is a much older, heritage house around the corner on View St., set well back on a larger lot and screened by a mature, very tall hedge. Similarly, the 2-story house highlighted on Hamilton Court (#2) effectively sits behind a one-story garage with the bulk of that property screened by a mature Chinese elm. Similarly, house #3 on Oak is set back on the lot with the garage on the side of the house and screened by mature trees. The 2-story house highlighted at the corner of Oak and Mt. Hamilton (#4) is a newly remodeled house which replaced an existing 2-story house which dated from the 1990s. All other 2-story houses highlighted in this aerial photo are only visible from more than a block away with many of them on flag lots not visible from the street. This neighborhood is a neighborhood of one-story houses.

In addition, the roof on the proposed structure is still shown as a standing-seam metal roof. This type of roof accentuates the height of the building in that the standing seams draw the eye upward, reinforcing the height and bulk of the building. There is a property in the neighborhood, at 131 Hamilton Ct., with a standing-seam metal roof on a one-story house. This house fits the neighborhood much better than the proposed structure at 126 Mt. Hamilton in that it is a one-story house, it is set back on the lot behind a massive, mature tree, and the garage entry does not face the street, a large factor in reducing the visual bulk of the structure.

I'd like to close with a suggestion: a prairie style house, which has dominant horizontal lines, would fit nicely into this neighborhood, especially if the prominence of the garage was reduced by moving the entry to the side or back, and if the roof mimicked the appearance of wooden shake, which is available in metal (see 77 View St.).

Very truly yours,

Tom Shoup

112 Garland Way
Los Altos, CA

Calandra Niday

From: YJ CH
Sent: Tuesday, April 14, 2020 9:27 AM
To: abhambly@aol.com
Cc: Calandra Niday; Eugene Sakai
Subject: Design changes for 126 Mt Hamilton

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Anne

This is your neighbor Yj from 126 Mt Hamilton Ave.
I hope you and your family are well and safe given the recent outbreak of virus.

I was informed by planner Calandra from planning division that you had not received my packet with a letter and revised floor plans?

Feedback from my neighbors are important and to make sure the packets were delivered, I had personally dropped off 11 packets on Feb 29th to ensure there is sufficient time for us to address any concerns by my neighbors or make changes prior to the hearing.

Below is the letter that was attached with the plans summarizing what we had changed and Eugene (The architect) had spent a lot of time with me working to minimize the impact. If you would like us to walk you through the improvements or provide your feedback, please kindly let Eugene and I know.

"Near Neighbors,

Thanks for providing your valuable feedback during the hearing at city hall.

We had noted the feedback and spent a long time discussing with our architect on how we can modify the design of the house in order to minimize the impact to our neighbors .

The following were changes made and we have also printed our new plans for your viewing:

- We removed the double height portion of the entry which allowed us to push this 2nd story wall back 4'-2". This greatly reduced the visual mass of the second story.
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- We added an elevator to service all levels.
- We made some minor floor plan changes around the new elevator to accommodate the shaft.
- We reduced the amount of front and side facing glazing to minimize any privacy concerns.

If there are further questions, please kindly contact us so we can also share that with our architects to get back to you. "

Regards
YJ Chien

From: [Calandra Niday](#)
To: [Brian Korek](#)
Subject: RE: 126 Mt Hamilton Ave
Date: Tuesday, May 12, 2020 11:44:01 AM
Attachments: [image002.png](#)

Hello Brian,

Thank you for your email. I will pass this information along to the Commission and the property owner.

Calandra Niday, Assistant Planner

Planning Division
City of Los Altos
1 North San Antonio Road
Los Altos, California 94022

(650) 947-2640

cniday@losaltosca.gov



From: Brian Korek
Sent: Monday, May 11, 2020 8:42 PM
To: Calandra Niday
Subject: 126 Mt Hamilton Ave

Hi Calandra,

I oppose the development of a monster house that would be **over 3 times as large** as their next door neighbor at 142 Mount Hamilton Ave, which is **1,679 square feet**.

All the houses around them vary between 1600-3300 square feet total. While they are asking for **6650 square feet**, which seems way out of line with their surroundings. The only house near that size is behind them, but that is on a lot over twice the size and setback more than twice as far from the street. From my perspective along with my neighbors on Hamilton Ct, this monster house will block our view of the hills. They made a point of showing 2 story houses in the neighborhood, though none within their block on Mt Hamilton Ave. However, they didn't talk about their massive square footage. I wonder how many families will live there? How many cars will be parked on the

street? That's a big concern as Mt Hamilton Ave isn't wide enough for cars parked on the street - we already run into this problem trying to get around parked cars at either end without going into the oncoming traffic.

Brian Korek

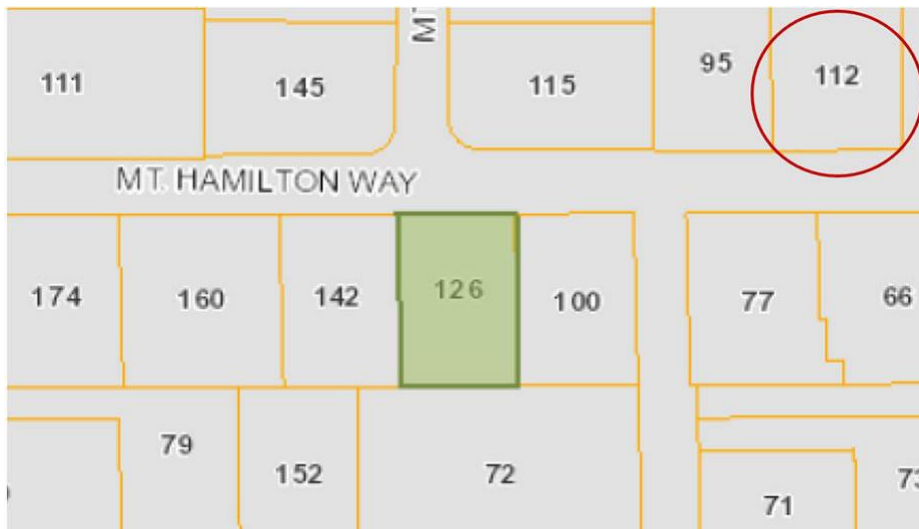
My parents brought me to Los Altos in 1971.

From: [Calandra Niday](#)
To: [Los Altos Design Review Commission](#)
Subject: FW: 126 Mt. Hamilton review
Date: Wednesday, May 20, 2020 5:10:26 PM
Attachments: [image.png](#)

Commissioners –

Below is supplemental correspondence from the neighbor at 112 Garland Way.

For reference, the location of 112 Garland Way in relation to 126 Mount Hamilton Avenue is shown in the screenshot below.



Thank you,
Callie

Calandra Niday, Assistant Planner

Planning Division
City of Los Altos
1 North San Antonio Road
Los Altos, California 94022

(650) 947-2640
cniday@losaltosca.gov



From: Tom Shoup <tom_shoup@yahoo.com>
Sent: Wednesday, May 20, 2020 4:16 PM
To: Calandra Niday <cniday@losaltosca.gov>
Subject: 126 Mt. Hamilton review

Hello Ms. Niday,

My apologies for this late submission. I hope the design review commission will look at the egress requirements from the basement bedrooms of this proposed project. It's not clear to me that bedrooms #6 and #7 have sufficient egress, either through direct exit or the length of path to an egress doorway.

Also, it appears the basement has an exposed wall on the west side. It seems to me this makes the basement part of the total floor space calculation for lot coverage and would put the total floor space over the allowed limit. I would like the commission to look at whether the basement is properly excluded from the floor space calculation for the definition of basement in section 14.02.070 of the code.

Regards,

Tom Shoup
112 Garland Way

From: [Guido Persicone](#)
To: [Los Altos Design Review Commission](#)
Subject: FW: 126 Mt. Hamilton building project
Date: Monday, May 18, 2020 5:02:57 PM

Passing this onto to the DRC group.

Guido

From: Abhambly <abhambly@aol.com>
Sent: Monday, May 18, 2020 5:02 PM
To: Guido Persicone <gpersicone@losaltosca.gov>
Subject: Fwd: 126 Mt. Hamilton building project

To: Design Review Commissioners

My family has lived next door at 100 Mt. Hamilton Ave. for 34 years. I am very concerned about the mass of this house: a total of 6650 sq. ft. with 2740 on the first story, 1206 on the 2nd story and 2704 below ground, with 7 bedrooms and 7 1/2 bathrooms and only a two car garage. The home being replaced is a redwood ranch, built in the 1950's. This house does not fit with the consistent character of our neighborhood.

In the staff report, there seems to be a question as to what is our neighborhood. There are pictures of 2-story houses located between Edith, Oak, Mt. Hamilton and View. All of those houses are entered from Edith, Oak and View. Many are flag lots. I consider our neighborhood to be the full block of 7 homes, #100-190 Mt. Hamilton, which are all one story ranches. The homes directly across the street are all one story, #95-145 Mt. Hamilton. Hamilton Ct., which begins directly across from this project has 12 homes, only 2 of which are 2-story. You might also add in 77 View St. and 112 Garland Way, which are one story ranches. The home at 72 View St. is the original 2-story farmhouse in the neighborhood, but sits on a much larger lot, nearly 3/4 acre with mature trees and landscaping. Out of a total of 25 neighboring homes, only 3 are 2-story. Most of these homes have a footprint of less square footage than the basement of this proposed house. And while many of the homes have been re-modeled over the years, residents have kept to one story. Even Bridgton Ct., down Mt Hamilton, which was a brand new development in the 90's, has no 2-story homes, though some have basements. You can stand in the street in front of 126 Mt. Hamilton, turn around 360 degrees, and not see any 2-story houses.

I am requesting a denial of the proposed 2-story plan and suggest the owner come back with a single story plan. Square footage could be added to the main level and probably the basement.

Thank you for your consideration of my concerns. By the way, Mr. Persicone has worked very hard to be sure that other neighbors and I will be able to access the meeting on May 20.

Respectfully,
Anne Hambly
650-941-3933

From: [Guido Persicone](#)
To: [Los Altos Design Review Commission](#)
Cc: [Yvonne Dupont](#)
Subject: FW: May 20 DRC meeting
Date: Tuesday, May 19, 2020 8:59:39 AM

-----Original Message-----

From: Maryann Alloo <msmaaloo@gmail.com>
Sent: Monday, May 18, 2020 8:27 PM
To: Guido Persicone <gpersicone@losaltosca.gov>
Subject: May 20 DRC meeting

Subject: Mt. Hamilton house rebuild

Hello,

I would appreciate receiving an invitation to the above meeting. I am familiar in attending zoom conferences by receiving an invitation and clicking To join a meeting. Is that the way the DRC invite works.

As a 35,year Hamilton Court neighbor, I'm very concerned about the size and bulk of proposed house on small town lot And what is the purpose or need of so many bedrooms and bathrooms in a single family residence?? This is the town of Lis Altos and plans seem to be for something very different than a single family residence.

Disturbing!! Very out of place For neighborhood!

Looking forward to your response!

Thank you

Maryann Alloo

Sent from my iPhone

**MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF
THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, MAY 20, 2020 BEGINNING AT 7:05
P.M. AT LOS ALTOS CITY HALL, ONE NORTH SAN ANTONIO ROAD, LOS ALTOS,
CALIFORNIA**

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (773) 231-9226 to participate in the conference call (Meeting ID: 148 241 0093) or via the web at <https://meetings.ringcentral.com/j/1482410093>. Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DesignReviewCommission@losaltosca.gov or Planning@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PRESENT: Chair Kirik, Vice-Chair Bishop Commissioners Glew, Harding and Ma
STAFF: Planning Services Manager Persicone, Associate Planner Gallegos, and Assistant Planner Niday

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**
Approve minutes of the regular meeting of April 15, 2020.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Ma, the Commission approved the minutes from the April 15, 2020 regular meeting with an adjustment that 126 Mt. Hamilton Avenue come back for additional review on May 20, 2020.

The motion was approved (5-0) by the following vote:

AYES: Kirik, Bishop, Glew, Harding and Ma

NOES: None

PUBLIC HEARING

2. **V20-0001 and SC20-0001 – D. DiVittorio – 725 University Avenue**
Variance to allow a dormer and second story addition to encroach into the daylight plane and Design Review for a second story addition. The project includes a variance to allow a daylight plan intrusion along the interior side elevation for a new second story addition and dormer, and a design review for a 60 square-foot two-story addition to an existing two-story house. *Project Planner: Gallegos*

Associate Planner Gallegos presented the staff report recommending approval of variance and design review applications V20-0001 and SC20-0001 subject to the listed findings and conditions.

Property owner Erick Albert spoke in support of the project.

Project architect Danielle DiVittorio of DiVittorio Architecture spoke about the project.

Public Comment

None.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Glew, the Commission approved variance application V20-0001 subject to the listed findings in the staff report.

The motion was approved (5-0) by the following vote:

AYES: Kirik, Bishop, Glew, Harding and Ma

NOES: None

Action: Upon a motion by Commissioner Ma, seconded by Commissioner Glew, the Commission approved and design review application SC20-0001 subject to the listed findings and conditions in the staff report and with the following modifications:

- Eliminate the skylights; and
- Have the dormer option reviewed by a historic consultant, if approved by said consultant, and if 20 square feet or less is being added to the house, no additional review is needed by the DRC.

The motion was approved (5-0) by the following vote:

AYES: Kirik, Bishop, Glew, Harding and Ma

NOES: None

DISCUSSION

3. SC19-0010 – Eugene Sakai – 126 Mount Hamilton Avenue

Design review for a new two-story house. The project includes 2,740 square feet on the first story, 1,206 square feet on the second story, and a 2,704 square-foot basement. This project was continued from the April 15, 2020 DRC meeting. *Project Planner: Niday*

Assistant Planner Niday presented the staff report recommending approval of design review application SC19-0010 subject to the listed findings and conditions.

Property owner YJ Chen spoke in support of the project.

Public Comment

Neighbors Alloo Maryann, Judge Eugene Hymann and Ann Hambly, spoke in opposition of the project.

Action: Upon a motion by Commissioner Glew, seconded by Commissioner Ma, the Commission approved design review application SC19-0010 subject to the listed findings and conditions in the staff report.

The motion was approved (3-2) by the following vote:

AYES: Bishop, Glew and Ma

NOES: Kirik and Harding

4. SC19-0026– Bahi Oreizy – 1400 Richardson Avenue

Design review for a new two-story house. The project includes 2,504 square feet on the first story, 1,299 square feet on the second story, and a 1,541 square-foot basement. *Project Planner: Niday*

Assistant Planner Hassan presented the staff report recommending approval of design review application SC19-0025 subject to the listed findings and conditions.

Property owner Oren Naim spoke in support of the project and Revital Kaufman Meron/BEKOM DESIGN, INC. from the design team spoke about the project.

Public Comment

Neighbor Sid Gilbert spoke against the style of the project.

Action: Upon a motion by Commissioner Glew, seconded by Commissioner Harding, the Commission approved design review application SC19-0026 subject to the listed findings and conditions in the staff report and with the following modification:

- More mature landscaping shall be required for the entire project. Specifically, large specimens of landscaping of at least 24-inch box trees along the rear and a minimum of 36-inch box trees along the front.

The motion was approved (5-0) by the following vote:

AYES: Kirik, Bishop, Glew, Harding and Ma

NOES: None

COMMISSIONERS' REPORTS AND COMMENTS

None.

POTENTIAL FUTURE AGENDA ITEMS

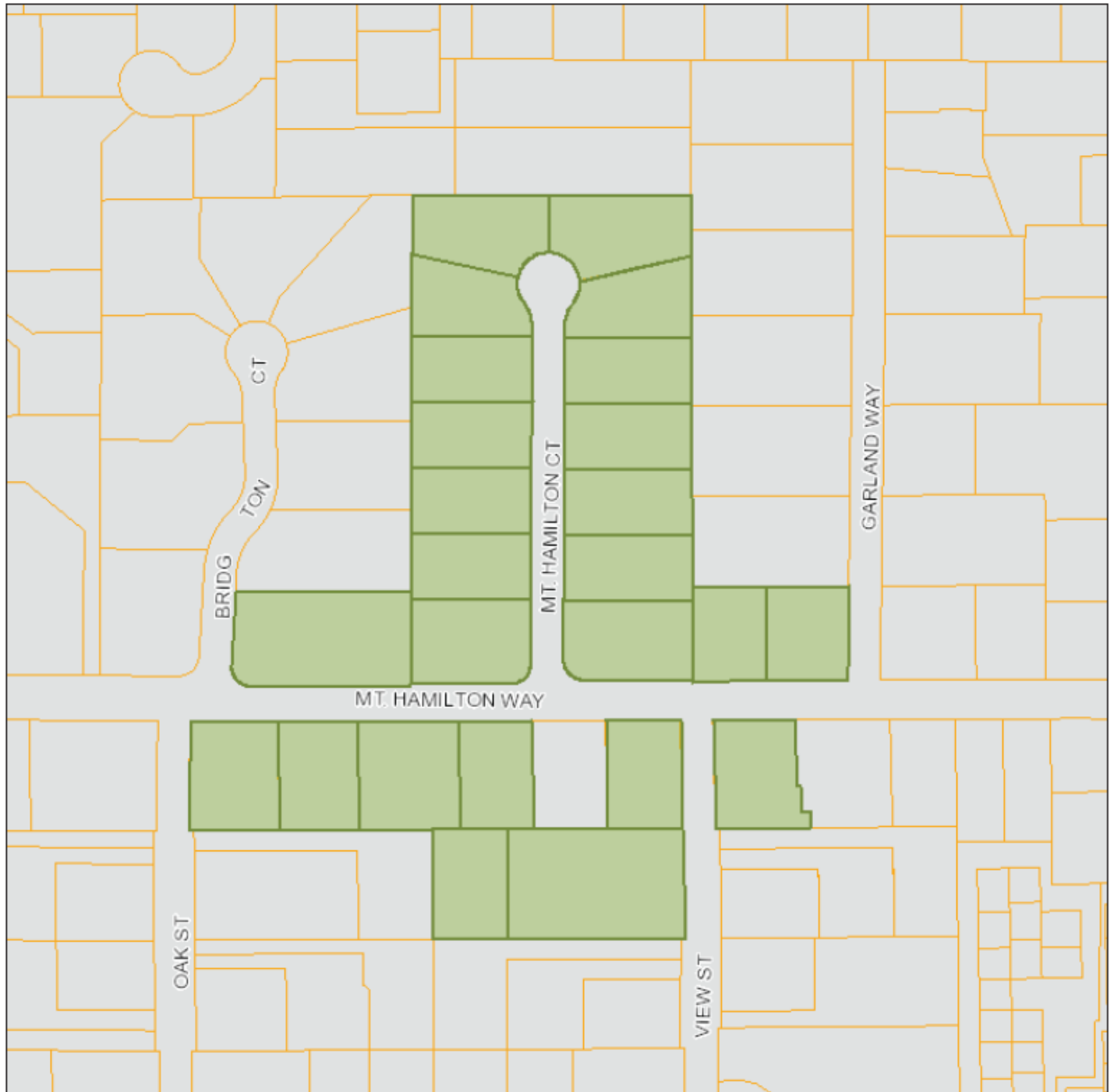
None.

ADJOURNMENT

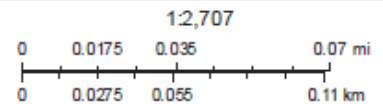
Chair Kirik adjourned the meeting at 10:03 PM.

Guido Persicone, AICP
Planning Services Manager

NOTIFICATION MAP



Print Date: May 14, 2020



CITY OF LOS ALTOS

APPLICATION: APPL20-0002
APPLICANT: Eugene M. Hyman
SITE ADDRESS: 126 Mt. Hamilton Avenue

ATTACHMENT 6