



## DISCUSSION ITEMS

### Agenda Item # 1

## AGENDA REPORT SUMMARY

**Meeting Date:** October 27, 2020

**Subject:** Objective Standards Direction Setting Meeting

**Prepared by:** Guido F. Persicone, Planning Services Manager  
**Reviewed by:** Jon Biggs, Community Development Director  
**Approved by:** Chris Jordan, City Manager

**Attachments:**

1. Lisa Wise Consulting (LWC) and Opticos Design PowerPoint Presentation
2. Draft Objective Design Standards

**Initiated by:**

City Council Goal

**Fiscal Impact:**

This meeting does not have a fiscal impact on the City as the consultant contract was previously approved by the Council on March 17, 2020.

**Environmental Review:**

A planning study is statutorily exempt from environmental review per the California Environmental Quality Act (CEQA) Guidelines Section 15262

**Policy Question(s) for Council Consideration:**

- Will this effort result in preparation of a development code that will provide adequate and appropriate direction that can be relied on by the community to guide change in Los Altos?

**Summary:**

- City staff and the consultants (Lisa Wise Consulting and Opticos) would like further direction from the City Council regarding the objective standards project so that detailed objectives standards can be completed by November of 2020.

**Staff Recommendation:**

Review the presented material and provide direction on the major themes identified by the consultant for the objective standards project.



**Subject:** Objective Standards Direction Setting Meeting

---

**Purpose**

Prepare objective zoning standards to guide future development in Los Altos.

**Background**

On September 9, 2020, a joint meeting of the Planning Commission and City Council occurred to discuss the development of objective zoning standards. Overall, the City Council was happy with the direction of the project and it was agreed that an additional special meeting should take place in October because of the compressed project schedule. Table 1 below summarizes the major themes or topics from the meeting.

<b>Table 1-Summary of the Major Themes from the September 9, 2020 City Council Meeting</b>	
<i>Comment</i>	<i>City Staff Response</i>
Happy with the direction of the project	Noted.
They still need to understand density bonus law’s connection to objective standards	The City Attorney will be discussing density bonus law and its relationship to objective zoning standards at this meeting.
The City Council has not given final direction if the City should be adopting objective standards that follow old building forms (older design) or new form (new building forms) for each zoning district.	Noted. Instead of focusing on “older” vs “newer” form, the consultant will be presenting what design elements were generally supported by the community and Council and try to replicate this in an objective manner.
Happy with the overall direction of the project, but we need different design controls for each zoning district. El Camino Real is not the same look and feel as downtown Los Altos.	Noted. The draft objective standards differentiate between various zoning districts.
Prefers Option A-to have design standards for each zoning district.	Noted. The standards have been organized as requested by the City Council.
We need to anticipate additional floors begin requested as part of a density bonus project, so our design standards need to be mindful of this requested concession.	This will be discussed at the meeting.



**Subject:** Objective Standards Direction Setting Meeting

---

The goal for the October 27, 2020 is to continue to provide feedback to City staff and the consultant so that a Public Review Draft can be prepared and ready for review by the Planning Commission at its November 5, 2020 regular Commission meeting.

### **Task 3: Public Review Draft Objective Design Standards**

- A. **Annotated Objective Design Standards Framework (LWC and Opticos).** Based on the final Recommendations Memo and community input, the team will prepare an Annotated Objective Design Standards Framework. The Framework will provide the recommended format, template, organization, graphics, and content of the objective design standards. The Annotated Framework will be given at the second City Council study session (see Task 2).
- B. **Administrative Draft Objective Design Standards (LWC and Opticos).** Based on the Annotated Outline and reflective of the analysis, review, and input gathered in Tasks 1 and 2, the consulting team will prepare Administrative Draft Objective Design Standards for multi-family and residential mixed-use development.
- C. **Public Review Draft Objective Design (LWC and Opticos).** Based on staff comments received on the Administrative Draft, the consulting team will prepare a Public Review Draft of the Objective Design Standards will be prepared for review by the community at a City Council meeting.

### **Project Schedule**

In terms of the project schedule, City staff are required to publicly notice and place an advertisement in a locally adjudicated newspaper for all Planning Commission and City Council actions related to adoption of an ordinance. On the advice of the City Attorney, the City Council hearing legal advertisement must identify the Planning Commission's recommendation to the City Council pursuant to a recent court case.<sup>1</sup>

If the Planning Commission were to make a favorable recommendation on November 5, 2020, the City Council would not be able to take action on November 10<sup>th</sup> as the legal advertisement has to be published no later than November 1, 2020 which is before the Commission has reviewed the item. The only way this project will be complete by November 24, 2020 is if the Planning Commission makes a recommendation on November 5, 2020, a special City Council meeting is held on or after November 17, 2020 and then ordinance adoption takes place on November 24, 2020.

---

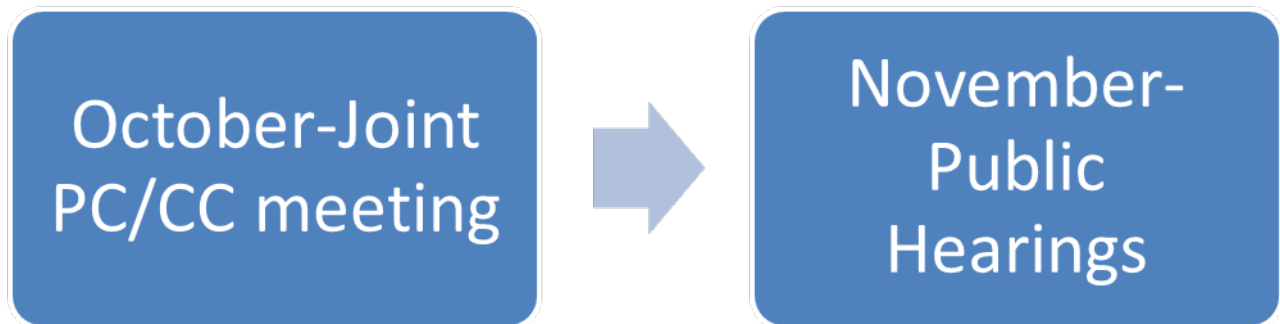
<sup>1</sup> See Environmental Defense Project of Sierra County vs. County of Sierra; 158 Cal. App. 4th 877 \*; 70 Cal. Rptr. 3d 474; 2008 Cal. App



**Subject:** Objective Standards Direction Setting Meeting

---

Two Month General Project Timeline



**Options**

- 1) Listen to the presentation from the consultant team and City staff and provide guidance/input on objective standards presented.

**Advantages:** Allows the project to remain be completed by November 2020.

**Disadvantages:** There is no disadvantage in providing more concise objective zoning standards.

- 2) Continue the item to a future City Council meeting

**Advantages:** There is no advantage to delaying review of this project.

**Disadvantages:** Completion of the project by November, a City Council timeline, could be jeopardized.

**Recommendation**

The staff recommends Option 1.



# Los Altos Objective Design Standards Annotated Framework Presentation

City Council/Planning Commission Study Session | October 27, 2020

# Agenda

1

**Recap of Project, Process and Direction**

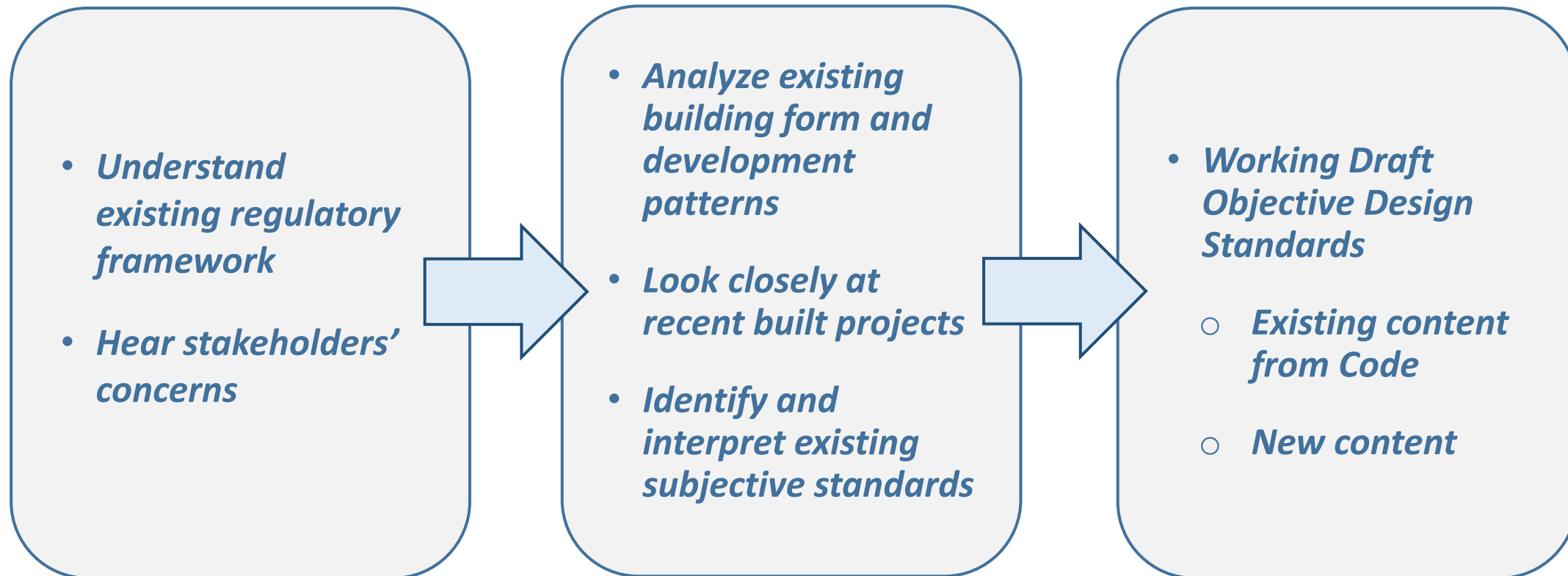
2

**Draft Objective Design Standards**

3

**Discussion**

# Process and Direction



**TONIGHT**












# Objective Design Standards

- Update and amend Zoning Code to include objective design standards for multi-family and residential mixed-use development
- Compliance with State law
- Ministerial or by-right approval process
- Better outcomes:
  - Excellence in design
  - Sensitive site planning
  - Neighborhood compatibility
  - Predictable and high-quality design

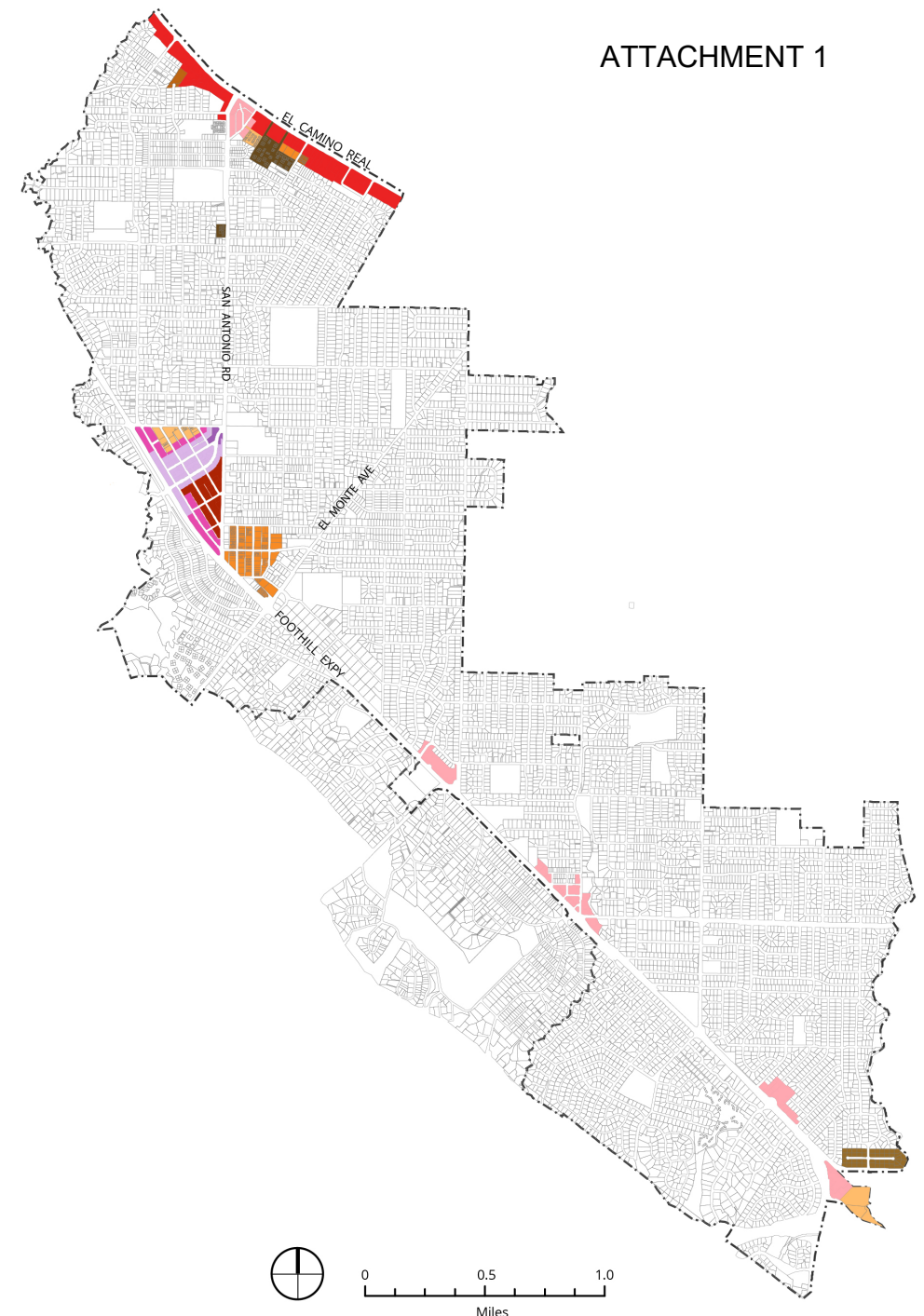




# Where will they apply?

Zone	# Parcels	Acres
 Multiple-Family (R3-1) - 38 du/ac	66	16.1
 Multiple-Family (R3-1.8) - 24.2 du/ac	218	23.5
 Multiple-Family (R3-3) - 14.5 du/ac	15	2.8
 Multiple-Family (R3-4.5) - 9.7 du/ac	48	11.5
 Multiple-Family (R3-5) - 8.7 du/ac	100	11.6
 Commercial Neighborhood (CN)	88	35.0
 Commercial Thoroughfare (CT)	44	44.8
 Commercial Downtown (CD)	40	12.7
 Commercial Downtown/ Multiple-Family (CD/R3)	65	12.3
 Commercial Retail Sales (CRS)	105	19.0
 Commercial Retail Sales/Office (CRS/OAD)	7	1.3
<b>Total</b>	<b>796</b>	<b>190.3</b>

= 5.7% of developable area of Los Altos



# Revised Code Sections

- **14.40.150 - CN Design Controls**
- **14.44.130 - CD Design Controls**
- **14.48.130 - CRS Design Controls**
- **14.50.170 - CT Design Controls**
- **14.52.130 - CD/R3 Design Controls**
- **14.54.130 - CRS/OAD Design Controls**
- **14.16.100 - R3-4.5 Design Controls**
- **14.18.100 - R3-5 Design Controls**
- **14.20.150 - R3-3 Design Controls**
- **14.22.110 - R3-1.8 Design Controls**
- **14.24.110 - R3-1 Design Controls**



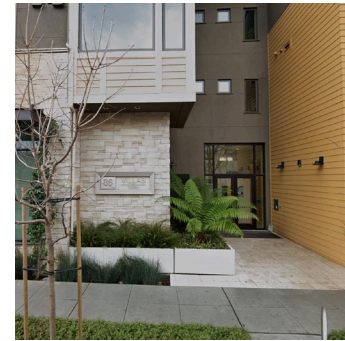
# Revised Code Sections

- **14.40.150 - CN Design Controls**
- **14.44.130 - CD Design Controls**
- **14.48.130 - CRS Design Control**
- **14.50.170 - CT Design Controls**
- **14.52.130 - CD/R3 Design Controls**
- **14.54.130 - CRS/OAD Design Controls**
- **14.16.100 - R3-4.5 Design Controls**
- **14.18.100 - R3-5 Design Controls**
- **14.20.150 - R3-3 Design Controls**
- **14.22.110 - R3-1.8 Design Controls**
- **14.24.110 - R3-1 Design Controls**
- \* ***All revised sections incorporate 14.76.060 and 14.78.060 Design Review Findings as appropriate***



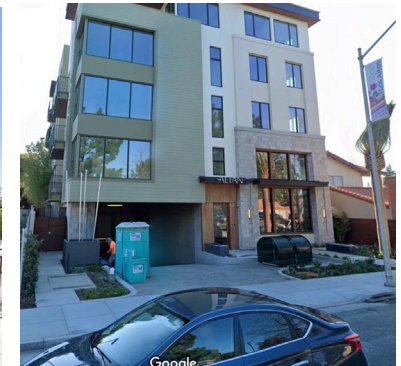
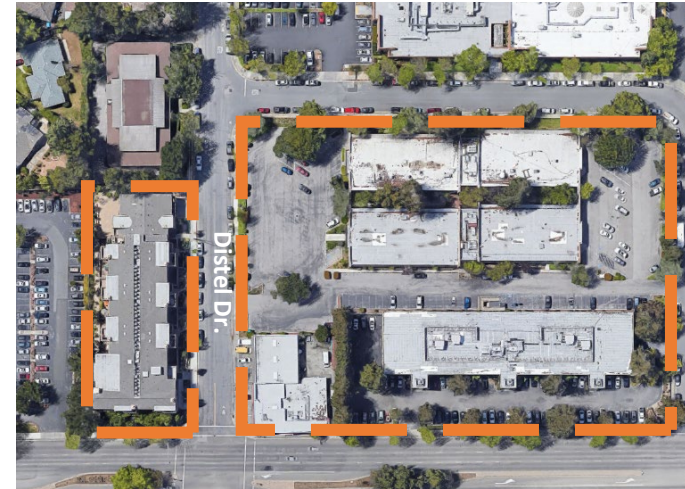
# C-District Analysis and Findings: Downtown

- Design features that reduce perceived and actual size of buildings
- Continuous “street wall”
- Wide range of features and proportions lend the ground floor a “human-scale”
- Rhythm to street-facing volumes
- Range of elements that make the design “come together”



# C-District Analysis and Findings: El Camino Real

- Need for continuity in front setback conditions/design
- Desire to reduce impact of parking and on-site circulation on streetscape
- Consistent “pedestrian scale” needed
- Architectural integrity



# Recommendations: C-Zones

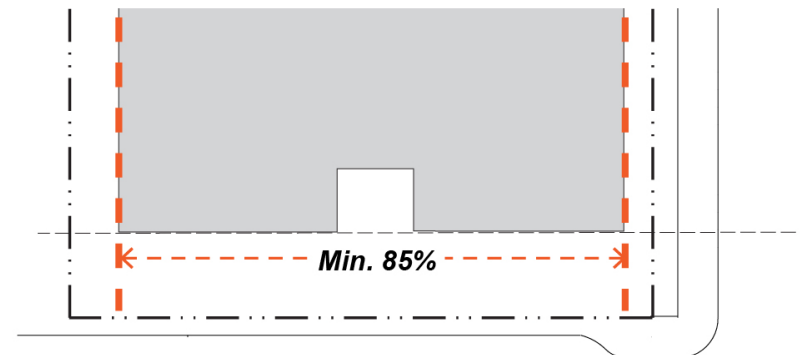
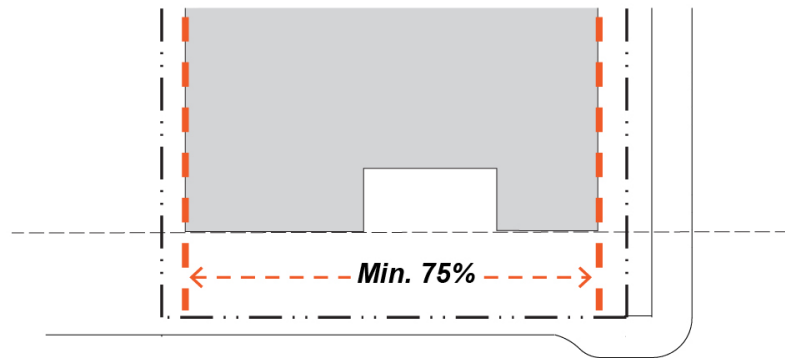
Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Min. percent of building at front setback line	85%	75%	85%	85%	90%	no min.
Upper-story step-backs, front and street side	10 ft	None required	None required	None required	10 ft	10 ft
Vertical articulation	75-ft modules	100-ft modules along ECR; 75-ft along other streets	75-ft modules	75-ft modules; must reflect 25-ft lot line module	50-ft modules; must reflect 25-ft lot line module	75-ft modules
Façade planes facing an R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 10 ft wide by 15 feet deep		n/a	n/a	n/a	n/a
Residential ground floor elevation	Min 18" above r-o-w	Min 30" above r-o-w	Min 30" above r-o-w	Min 18" above r-o-w	Min 18" above r-o-w	Min 18" above r-o-w
Primary entrance location	Front r-o-w	Front r-o-w	Front r-o-w or courtyard	Front r-o-w or courtyard; Min. 1 every 25 ft	Front r-o-w; Min 1 every 25 ft	Front r-o-w
Privacy/line of sight	Where there is an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet: glazing shall be offset horizontally from the existing glazing by a min. of 8 inches.					

# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
<b>Street-facing entry design</b>	Min. 3-ft projection, min. 3-ft width, not to exceed height of ground floor story					
<b>Ground level transparency</b>	Min. 50%	Min. 60%	Min. 60%	Min. 60%	Min. 75%	Min. 75%
<b>Max. length blank wall</b>	8 ft	18 ft	12 ft; 20 ft where wall incorporates wall plantings		8 ft	8 ft
<b>Entry types</b>	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Shopfront, Gallery, Arcade	Shopfront, Gallery, Arcade, Forecourt
<b>Mansard roofs allowed</b>	No	Yes	Yes	Yes	No	Yes
<b>Materials palette</b>	Permissive	Most permissive	Permissive	Permissive	More Limited	More Limited
<b>Ground-level open space</b>	Usable and accessible, min. dimension 8 ft	Usable and accessible, min. dimension 8 ft	Usable and accessible, min. dimension 8 ft	n/a	n/a	n/a
<b>Energy-conservation measures</b>	not required	not required	not required	not required	required	not required

# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Min. percent of building at front setback line	85%	75%	85%	85%	90%	no min.

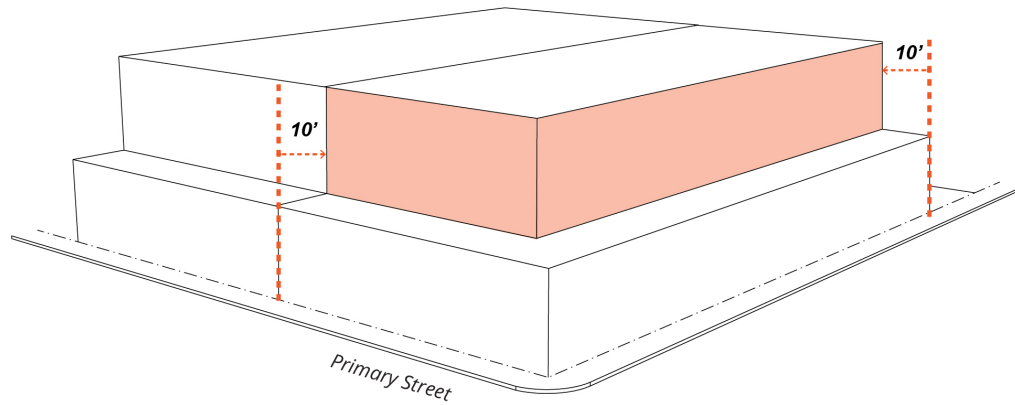




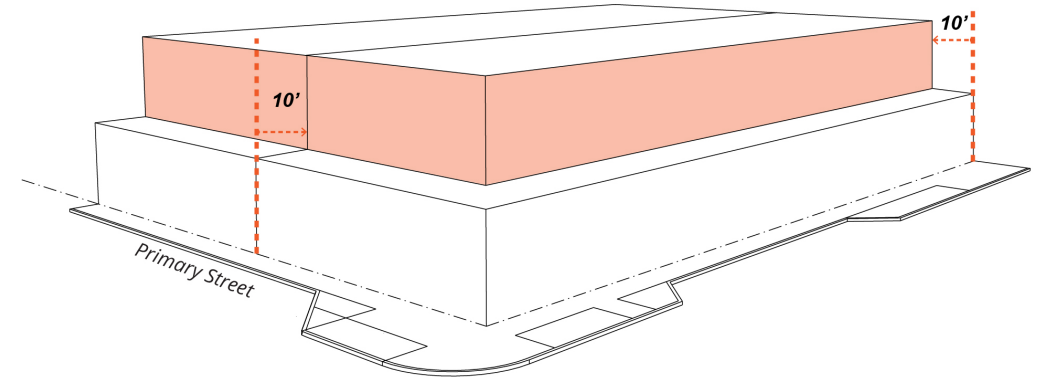
# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Upper-story step-backs, front and street side	10 ft	None required	None required	None required	10 ft	10 ft

CN District  
Upper Story Front and  
Side Step Backs: 10 ft

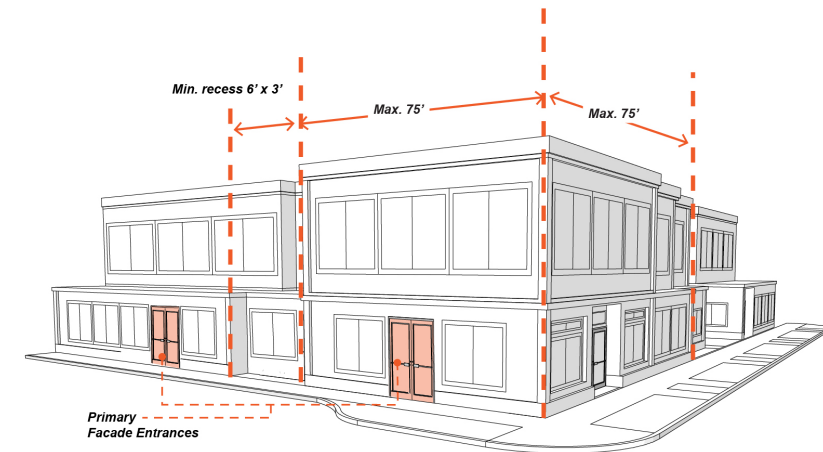
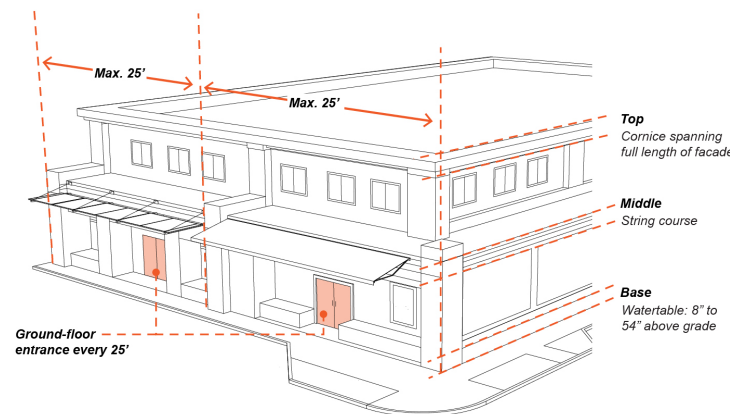
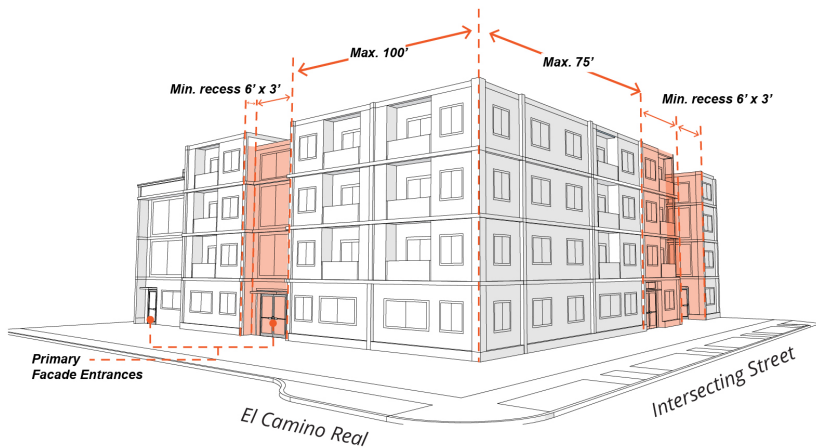


CRS, CRS/OAD District  
Upper Story Front and  
Side Step Backs: 10 ft



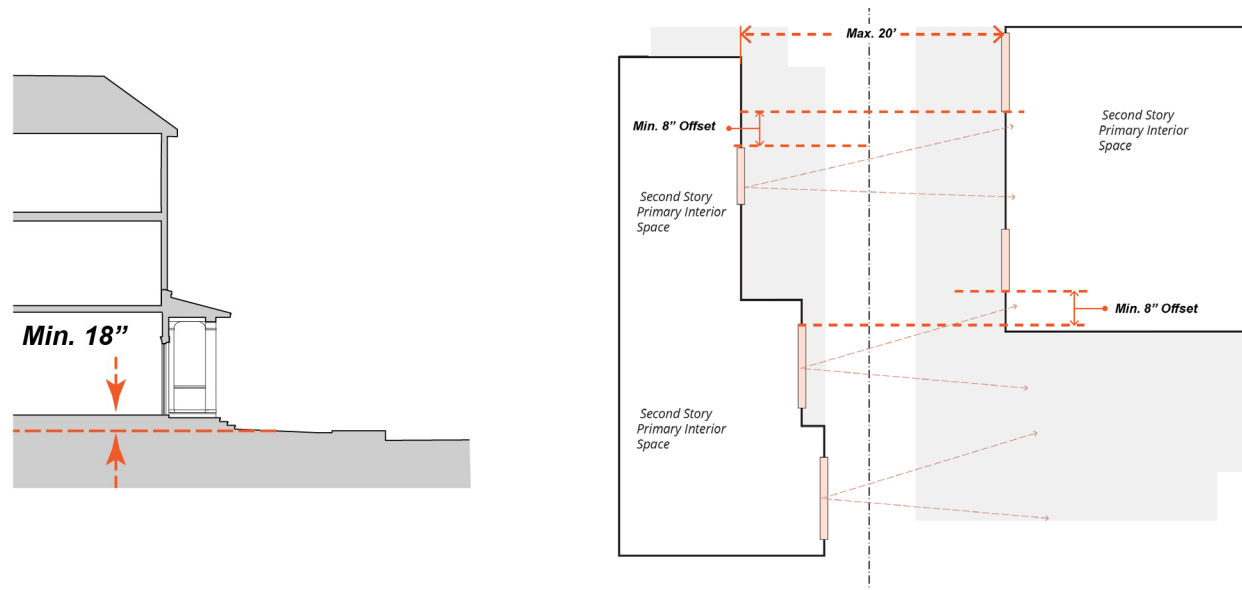
# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Vertical articulation	75-ft modules	100-ft modules along ECR; 75-ft along other streets	75-ft modules	75-ft modules; must reflect 25-ft lot line module	50-ft modules; must reflect 25-ft lot line module	75-ft modules
Facade planes facing an R-1 District	Max. 48 ft in width - OR - Max. 48 ft wide bays separated by a recess 10 ft wide by 15 feet deep		n/a	n/a	n/a	n/a



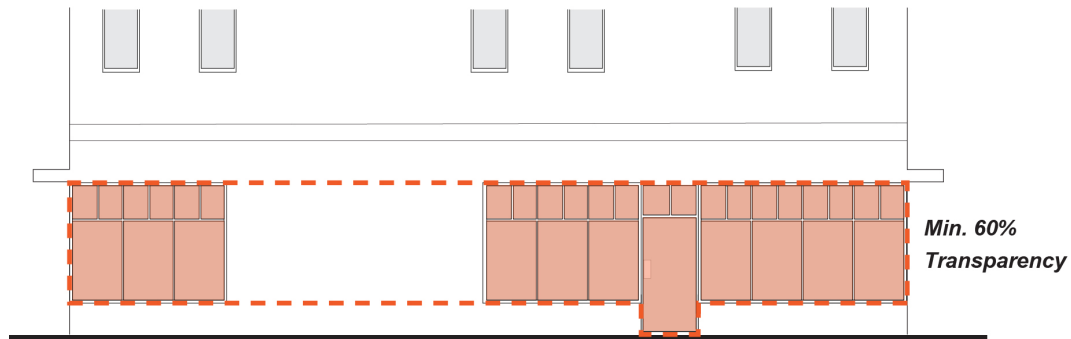
# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Residential ground floor elevation	Min 18" above r-o-w	Min 30" above r-o-w	Min 30" above r-o-w	Min 18" above r-o-w	Min 18" above r-o-w	Min 18" above r-o-w
Primary entrance location	Front r-o-w	Front r-o-w	Front r-o-w or courtyard	Front r-o-w or courtyard; Min. 1 every 25 ft	Front r-o-w; Min 1 every 25 ft	Front r-o-w
Privacy/line of sight	Where there is an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet: glazing shall be offset horizontally from the existing glazing by a min. of 8 inches.					



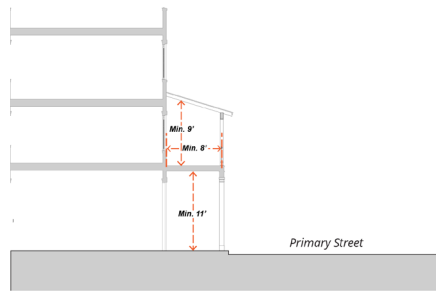
# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Ground level transparency	Min. 50%	Min. 60%	Min. 60%	Min. 60%	Min. 75%	Min. 75%
Max. length blank wall	8 ft	18 ft	12 ft; 20 ft where wall incorporates wall plantings		8 ft	8 ft

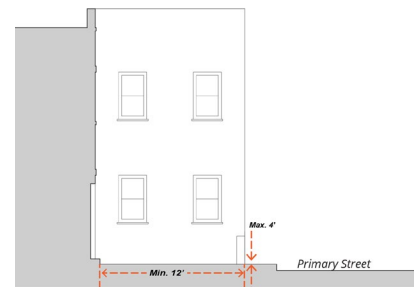


# Recommendations: C-Zones

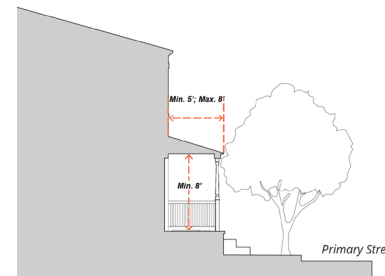
Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
Entry types	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt	Stoop, Dooryard, Shopfront, Gallery, Arcade, Forecourt, Terrace	Stoop, Shopfront, Gallery, Arcade	Shopfront, Gallery, Arcade, Forecourt



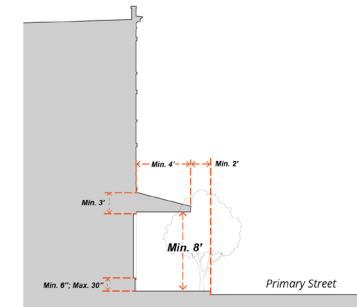
Gallery



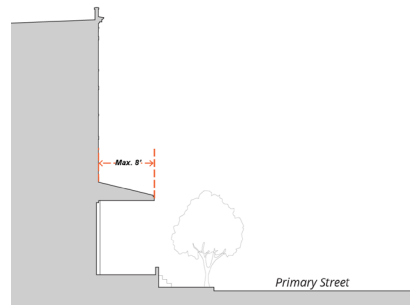
Forecourt



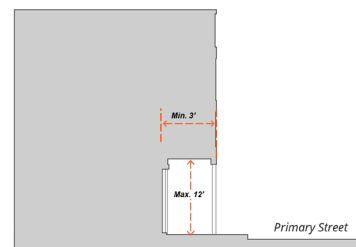
Porch



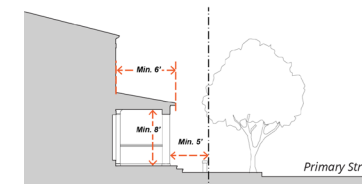
Shopfront



Terrace



Arcade



Dooryard

# Recommendations: C-Zones

Design Element	CN	CT	CD	CD/R3	CRS	CRS/OAD
<b>Mansard roofs allowed</b>	No	Yes	Yes	Yes	No	Yes
<b>Materials palette</b>	Permissive	Most permissive	Permissive	Permissive	More Limited	More Limited
<b>Ground-level open space</b>	Usable and accessible, min. dimension 8 ft	Usable and accessible, min. dimension 8 ft	Usable and accessible, min. dimension 8 ft	n/a	n/a	n/a
<b>Energy-conservation measures</b>	not required	not required	not required	not required	required	not required

# R-District Analysis and Findings

- Primarily sloped/pitched roof forms
- Massing broken into smaller volumes
- Limited material palette
- Established palette of residential entry types
- R3-1 is unique among other R-Districts in terms of building size and details

## ATTACHMENT 1



# Recommendations: R-Zones

Design Element	R3-4.5	R3-5	R3-3	R3-1.8	R3-1
Min. percent of building at front setback line	n/a	n/a	n/a	85%	85%
Upper-story step-backs, front and street side	10'	10'	10'	10'	None required
Materials	More limited	More limited	More limited	More limited	More permissive
Entry types	Stoop, Porch, Dooryard	Stoop, Porch, Dooryard	Stoop, Porch, Dooryard	Stoop, Porch, Dooryard	Stoop, Dooryard, Gallery, Arcade, Forecourt, Terrace
Individual entries along the frontage for ground floor street-facing units	Not required	Not required	Required	Not required	Not required

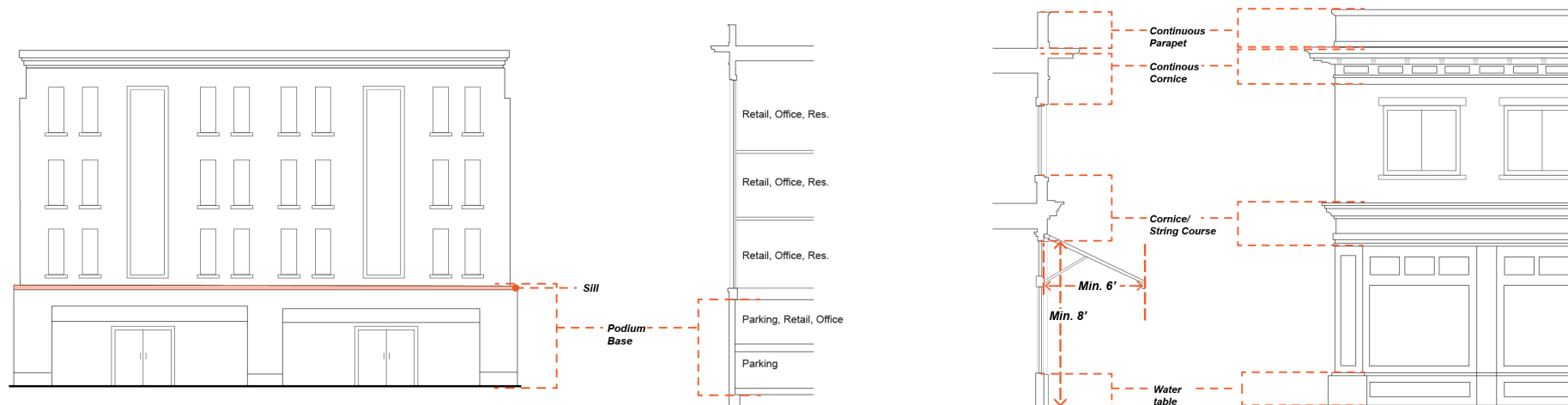


# Recommendations: Most or All Zones

- **Horizontal articulation**
- **Façade composition**
- **Floor-to-Ceiling heights**
- **Window design**
- **Corner treatment**
- **Materials palette**
- **Continuity of materials**
- **Landscape**
- **Paving**
- **Parking design**
- **Screening**
- **Architectural integrity**

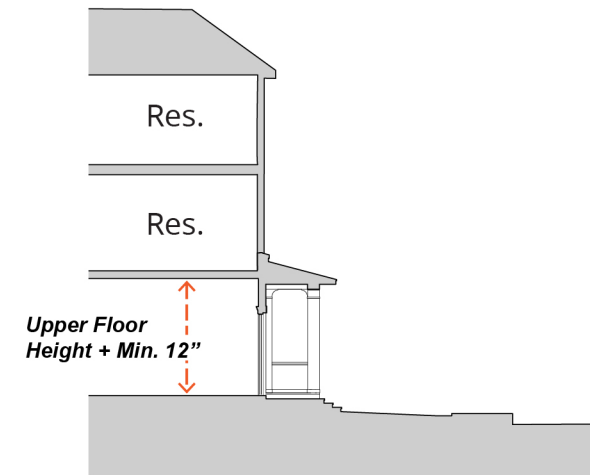
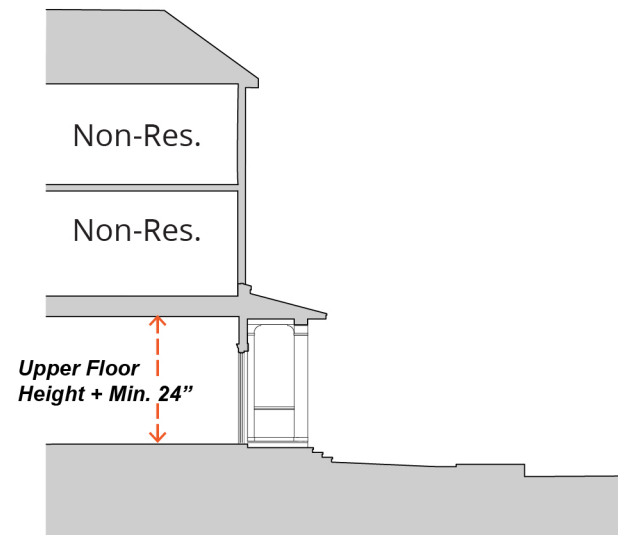
# Recommendations: Most or All Zones

Design Element	Typical Standards
Horizontal articulation	New facades and façade modifications along a street or civic space shall be designed to visually express <b>a base, middle, and top.</b>
Façade composition	Building facades shall be arranged in an orderly composition of bays, <b>defined by vertically aligned openings alternating horizontally with solid walls or columns.</b> The pattern shall be visually expressed through the spacing of <b>openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.</b> The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.



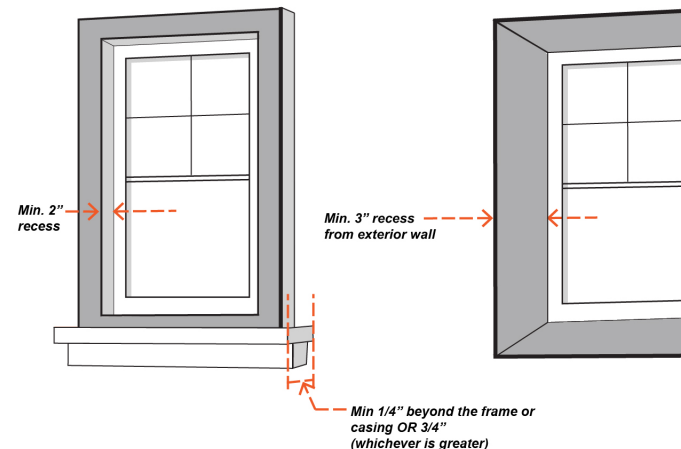
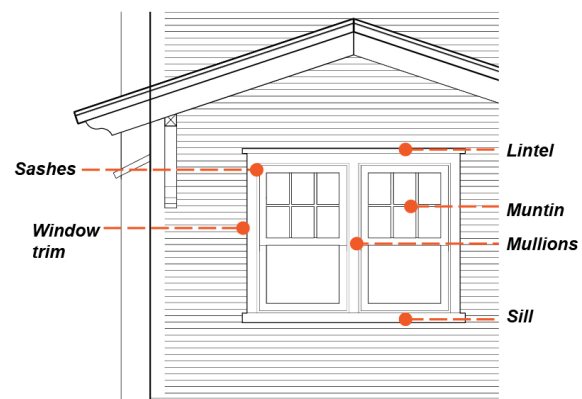
# Recommendations: Most or All Zones

Design Element	Typical Standards
Floor-to-ceiling heights	<i>Where upper floors are nonresidential:</i> Min. 24 inches taller than typical upper floor floor-to-ceiling height. <i>Where upper floors are residential:</i> Min. 12 inches taller than typical upper floor floor-to-ceiling height.



# Recommendations: Most or All Zones

Design Element	Typical Standards
Window design	<ul style="list-style-type: none"> <li>• <b>Square or vertically oriented windows</b> and openings required (e.g., 2:1, 3:2, 4:3) except on shopfronts. Ganged windows shall be separated by mullions no less than 1.5 inch.</li> <li>• <b>Window casing must project</b> min. <math>\frac{3}{4}</math> inch from the outer wall surface and shall have a back band, cornice, or drip cap along the uppermost edge.</li> <li>• Window openings surrounded by masonry finish materials shall include a <b>lintel that is taller than the sill/apron and proportional to the load it appears to carry.</b></li> <li>• All windows shall have a sill that projects <b>min. <math>\frac{1}{4}</math> inch beyond the frame or casing or <math>\frac{3}{4}</math> inch</b>, whichever is greater.</li> <li>• <b>Vinyl windows are prohibited</b> on facades visible from a right-of-way.</li> </ul>



# Recommendations: Most or All Zones

Design Element	Typical Standards
Materials palette	<p><b>Primary cladding materials allowed in some or all zones:</b> Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed), Wood or cement fiberboard siding (lap, vertical, panelized, or shingle), Stone, Brick, Tile, Concrete (board-form only)</p> <p><b>Secondary cladding materials allowed in some or all zones:</b> Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed), Wood or cement fiberboard siding (lap, vertical, panelized, or shingle), Stone (building base only), Brick (building base only), Tile, Ribbed metal, Cor-ten Steel, Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone), Concrete (building base only, board-form only, cast concrete not permitted)</p>
Corner treatment	Chamfered corners must provide a building entrance; Roofline/parapet at corner <b>shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.</b>
Continuity of materials	Where a change in material is desired, <b>all façade materials shall turn the corner</b> and terminate into a vertical element of the façade composition.

Image to be inserted

# Recommendations: Most or All Zones

Design Element	Typical Standards
Landscape	<ul style="list-style-type: none"><li>• <b>Landscaping required on either side of a driveway</b> at grade or in raised planters.</li><li>• Landscape elements shall be <b>integrated with the building architecture, parking, and streetscape.</b></li><li>• Landscape plans shall incorporate: <b>Planters</b> for flowers and shrubs within street frontage; <b>landscape buffers between parking spaces and building facades</b>; landscaping within and/or on walls <b>adjacent to courtyards, open spaces, and setbacks</b>; publicly visible and accessible pedestrian amenity in C zones</li></ul>
Paving	A minimum <b>75 percent of on-site paving material must be pervious/permeable.</b>

Images to be inserted

# Recommendations: Most or All Zones

Design Element	Typical Standards
Parking design	<p>Where ground-level structured parking is provided, the parking area must be either:</p> <ul style="list-style-type: none"> <li>• <b>"Lined" with uses at least 30 feet deep</b> as measured from the front façade; or</li> <li>• Designed such that the <b>floor elevation is a minimum 6 vertical feet below the elevation of the adjacent sidewalk.</b></li> </ul> <p>Entrances to Parking Facilities:</p> <ul style="list-style-type: none"> <li>• Controlled entrances shall be a <b>min. 10 feet from the back of sidewalk.</b></li> <li>• Entrances shall be <b>separated by a minimum of 50 feet.</b></li> <li>• <b>Max. 1 entrance to a parking facility along a street frontage.</b></li> </ul>
Screening	<p>Service areas must be enclosed in enclosures that are <b>architecturally consistent</b> with primary building in terms of materials, colors, and style.</p>

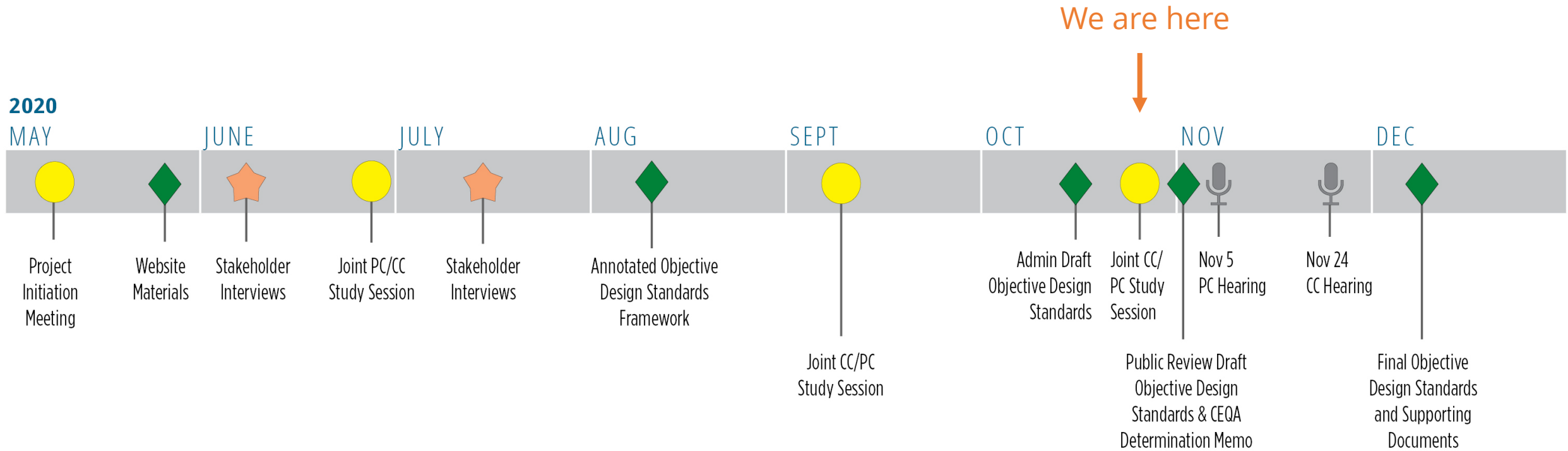
Images to be inserted

# Recommendations: Most or All Zones

Design Element	Typical Standards
Architectural Integrity	<ul style="list-style-type: none"><li>• Where a building exhibits a particular style, the following building elements should be reflective of that style to create a design that is <b>internally consistent</b>: materials, entry design, window design, roof design, and color.</li><li>• Where a building in the CRS or CD/R3 zone is designed to appear as separate buildings to reflect the underlying 25-foot lot line module, <b>each portion that appears as a separate building shall exhibit architectural integrity.</b></li></ul>



# Project Schedule



# Discussion Questions

1. Document scope and content
2. C Zone recommendations (massing, frontages, site design, other)
3. R Zone recommendations (massing, frontages, site design, other)





**Thank you!**





# City of Los Altos Objective Design Standards

## **Draft** Objective Design Standards

October 2020

*Prepared for:*

City of Los Altos  
1 N. San Antonio Road,  
Los Altos, CA 94022

*Prepared by:*

Lisa Wise Consulting, Inc.  
983 Osos Street  
San Luis Obispo, CA 93401



# Table of Contents

---

Revised 14.40.150 Design Control (CN) .....3

Revised 14.44.130 Design Control (CD) .....9

Revised 14.148.030 Design Control (CRS).....18

Revised 14.50.170 Design Control (CT) .....27

Revised 14.52.130 Design Control (CD/R3).....34

Revised 14.54.130 Design Control (CRS/OAD).....40

Revised 14.16.100 Design Control (R3-4.5).....46

Revised 14.18.100 Design Control (R3-5).....49

Revised 14.20.120 Design Control (R3-3).....52

Revised 14.22.110 Design Control (R3-1.8).....55

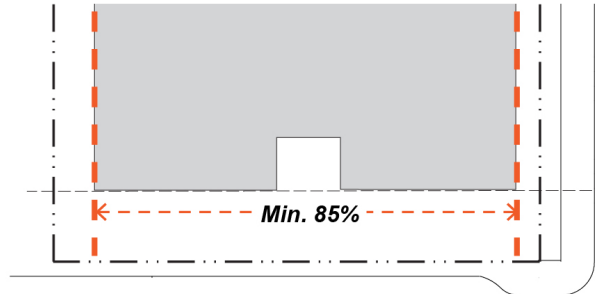
Revised 14.24.110 Design Control (R3-1).....58

Common to All Multi-Family and Residential Mixed-Use Districts .....61

*This page intentionally left blank.*

## Revised 14.40.150 Design Control (CN)

- A. **Building Placement.** A minimum 85 percent of the building frontage must be built at the minimum setback line.

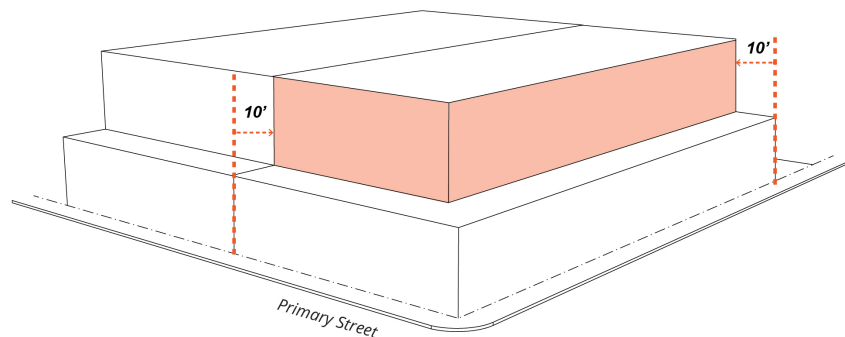


- B. **Building Massing and Articulation.**

1. **Upper-story Step-backs.**

- Front:* Minimum 10 feet from ground floor façade for second story and above.
- Street Side:* Minimum 10 feet from ground floor façade for second story and above.

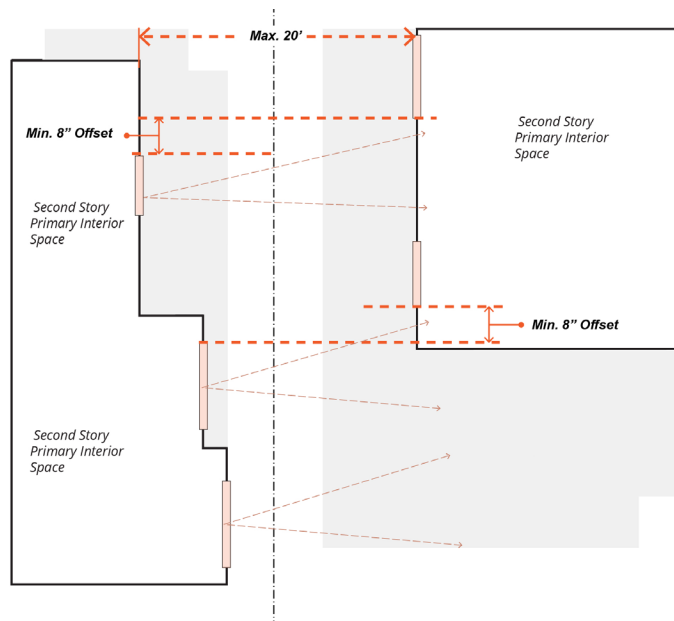
CN District  
Upper Story Front and  
Side Step Backs: 10 ft



2. **Vertical Articulation.** New facades and façade modifications along a street or civic space shall be designed to appear as multiple buildings no greater than 75 feet in length.
- When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 75 feet and secondary façade bays defined by a recess 6 feet wide by 3 feet deep.
  - Each primary façade bay shall contain at least one entrance.
  - The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
  - a. One or more of the following patterns shall be used to define the base:
    - i. Water table: Base material extends from grade to between 8 and 54 inches above grade.
    - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound. (Multi-story buildings only.)
    - iii. Water table + Cornice/String Course: A water table using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine. (Multi-story buildings only.)
  - b. The top of the building shall be defined by elements spanning the full length of the façade. Such elements may include a cornice, eave and/or gable(s), or other elements listed under B.6.
4. **R-1 Adjacencies.**
  - a. Building façade planes facing an R-1 district may not exceed 48 feet in width.
  - b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.
5. **Privacy and Line of Sight.** Where a new or existing primary interior residential space has an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet, the glazing of the new building shall be offset horizontally from the existing glazing by a minimum of 8 inches.



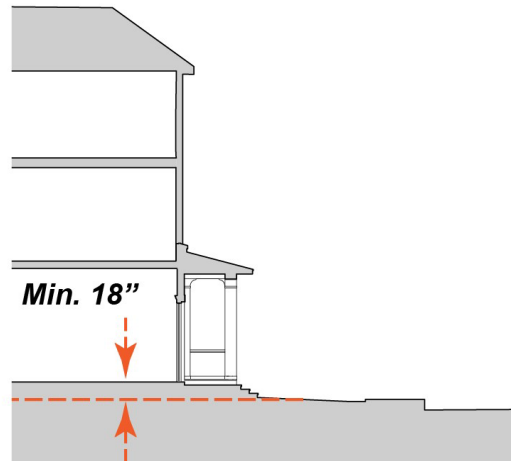
6. **Roofline and Roof Design.** Roof designs shall be limited to:
- a. Hipped
  - b. Gable
  - c. Shed
  - d. Dormer
  - e. Parapet.
    - i. When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
      - (a) Steps
      - (b) Curves
      - (c) Angled surfaces
    - ii. Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.
    - iii. The length of a parapet segment on the third floor and above may not exceed 25 feet.
  - f. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
7. **Corner Treatment.**
- a. Chamfered corners must provide a building entrance.
  - b. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.
8. **Firewall Design.** Firewalls shall be designed as integral parts of the building. Any exposed surfaces shall be consistent with and expressive of the overall building design and shall be finished in the same palette of materials as the rest of the building. Unfinished walls are not allowed.

C. **Building Design.**

1. **Façade Design.**
- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
  - b. Residential facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.
  - c. Blank walls on any street-facing façade shall not exceed 8 feet in length.



2. **Ground Level Transparency.** A minimum 50 percent of the ground floor street-facing facade between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.
3. **Pedestrian-Scaled Entrances.**
  - a. Building entrances must incorporate at least one of the following entry features:
    - i. Stoop
    - ii. Dooryard
    - iii. Shopfront
    - iv. Gallery
    - v. Arcade
    - vi. Forecourt
  - b. *Primary Entrance Location(s).* The building entrance shall be located along the primary right-of-way.
  - c. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
    - i. Protection may be coterminous with an accent element.
    - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
  - d. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story.
4. **Ground Level Finish Floor Elevation.**
  - a. *Nonresidential Uses:* May be flush with abutting right-of-way elevation.
  - b. *Residential Uses:* Minimum 18 inches above the abutting right-of-way elevation.

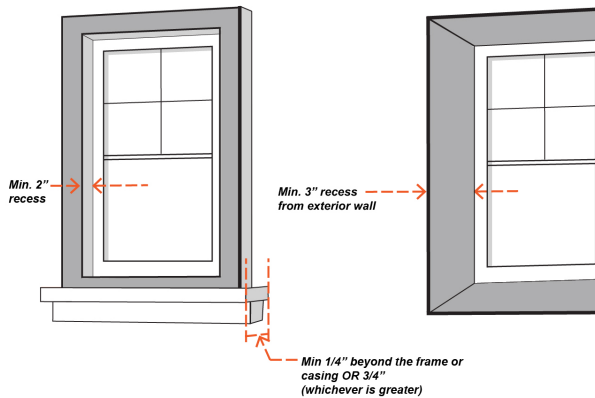


5. **Ground Floor Floor-to-Ceiling Height.**
  - a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where upper floors are non-residential.
  - b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where upper floors are residential.
6. **Interior Courtyard.** Interior courtyard must be partially visible from street and must be linked to street by clear a circulation element.

#### D. **Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. The width of an individual window shall be no greater than its height, except on shopfronts. Recommended proportions include simple whole number ratios (e.g., 2:1, 3:2, 4:3) or golden-section proportions (1.618:1).
3. Ganged windows shall be separated by mullions no less than 1.5 inch.
4. Window frames, backbands, and sills.
  - a. Window openings surrounded by wood siding or shingles (or fiber cement equivalent) shall have a window casing that projects no less than  $\frac{3}{4}$  inch from the outer wall surface. The casing shall have a back band, cornice, or drip cap along the uppermost edge. For single windows, the ratio of the casing width to the window width shall be no less than 1:7.
  - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  - c. All windows shall have a sill.
    - i. The sill shall project forward of the outer wall surface by no less than  $\frac{1}{4}$  inch beyond the frame or casing or  $\frac{3}{4}$  inch, whichever is greater.

- ii. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
- iii. The sill shall be sloped toward the outside.
- iv. The sill shall have a drip at its outer edge.



- 5. Vinyl windows are prohibited on facades visible from a right-of-way.

#### E. Building Materials.

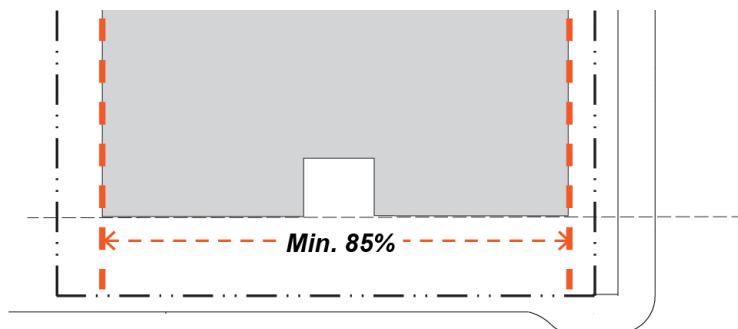
- 1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
  - e. Tile
- 2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Ribbed metal
  - g. Cor-ten Steel

- h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
  - i. Concrete (building base only, board-form only, cast concrete not permitted)
- F. **Ground Level Open Space.** Where any required front, rear, or side yard setback is 10 feet or greater, on-site ground-level open space shall be provided within the setback.
  - 1. The ground level open space shall be usable and accessible.
  - 2. The minimum dimension for ground level open space shall be 8 feet.
- G. **Landscaping, Paving and Pedestrian Amenities.**
  - 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
  - 2. A minimum 75 percent of on-site paving material must be pervious/permeable.
  - 3. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Landscape plans shall incorporate:
    - a. Planters for flowers and shrubs within street frontage.
    - b. Landscape buffers between parking spaces and building facades.
    - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
  - 4. Within the Loyola Corners Specific plan Overlay district, landscaping, paving and pedestrian amenities shall be as specified in the Loyola Corners Specific Plan.
- H. **Service Areas and Screening.**
  - 1. Service areas must be located at the rear of lot.
  - 2. Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

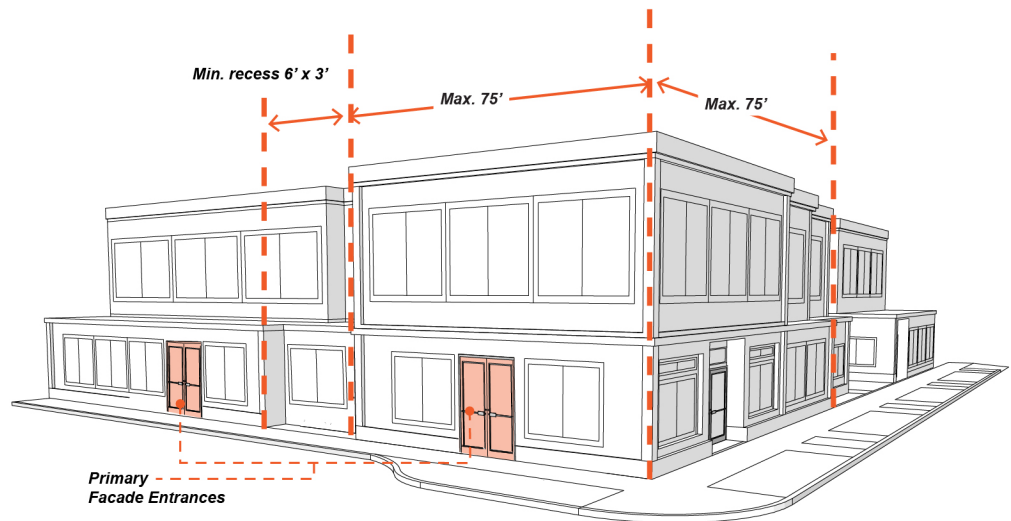
### Revised 14.44.130 Design Control (CD)

---

- A. **Building Placement.** A minimum 85 percent of the building frontage must be built at the minimum setback line.

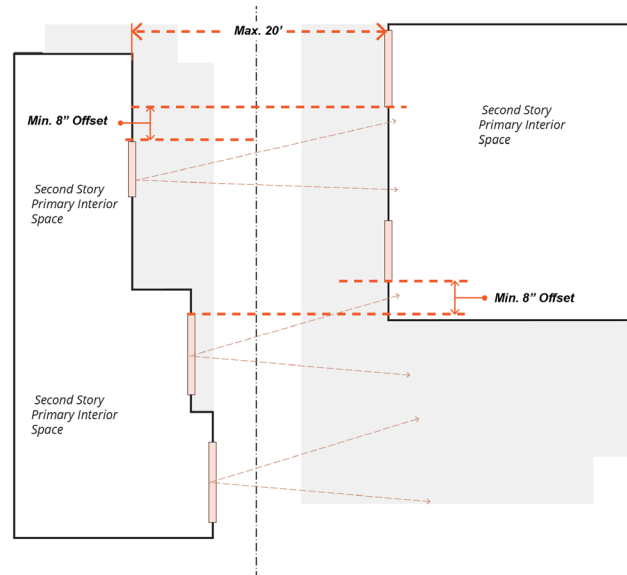


1. **Vertical Articulation.** New facades and façade modifications along a street or civic space shall be designed to appear as multiple buildings no greater than 75 feet in length.
  - a. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 75 feet and secondary façade bays defined by a recess 6 feet wide by 3 feet deep.
  - b. Each primary façade bay shall contain at least one entrance.
  - c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



2. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
  - a. One or more of the following patterns shall be used to define the base:
    - i. Water table: Base material extends from grade to between 8 and 54 inches above grade.
    - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound. (Multi-story buildings only.)
    - iii. Water table + Cornice/String Course: A water table using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine. (Multi-story buildings only.)
  - b. The top of the building shall be defined by elements spanning the full length of the façade. Such elements may include a cornice, eave and/or gable(s), or other elements listed under B.4.
3. **Privacy and Line of Sight.** Where a new or existing primary interior residential space has an uninterrupted line of sight to windows of a primary interior space at the same

floor level within 20 feet, the glazing of the new building shall be offset horizontally from the existing glazing by a minimum of 8 inches.



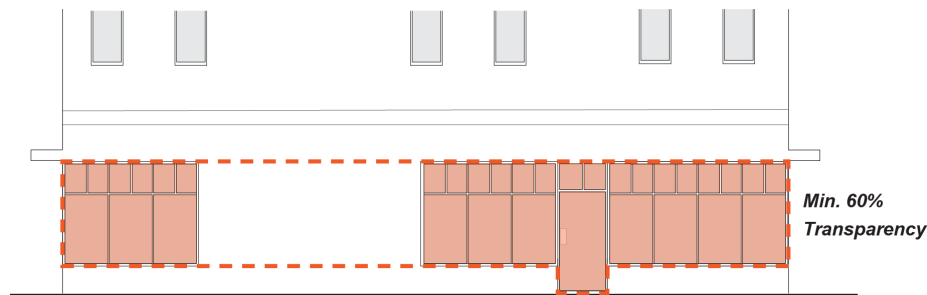
4. **Roofline and Roof Design.** Roof designs shall be limited to:
- a. Hipped
  - b. Gable
  - c. Mansard
    - i. Applicable for buildings 3 or more stories.
    - ii. Mansard may contain the topmost story only.
  - d. Dormer
  - e. Parapet.
    - i. When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
      - (a) Steps
      - (b) Curves
      - (c) Angled surfaces
    - ii. Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.
    - iii. The length of a parapet segment on the third floor and above may not exceed 25 feet.
  - f. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
  - g. Butterfly roof forms must be part of an integrated water catchment system, when used.



5. **Corner Treatment.**
  - a. Chamfered corners must provide a building entrance.
  - b. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.
6. **Firewall Design.** Firewalls shall be designed as integral parts of the building. Any exposed surfaces shall be consistent with and expressive of the overall building design and shall be finished in the same palette of materials as the rest of the building. Unfinished walls are not allowed.

## B. Building Design.

1. **Façade Design.**
  - a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
  - b. Residential facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.
  - c. Blank walls on any street-facing façade shall not exceed 12 feet in length; 20 feet where the blank façade incorporates wall plantings.
2. **Ground Level Transparency.** A minimum 60 percent of the ground floor street-facing facade between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.

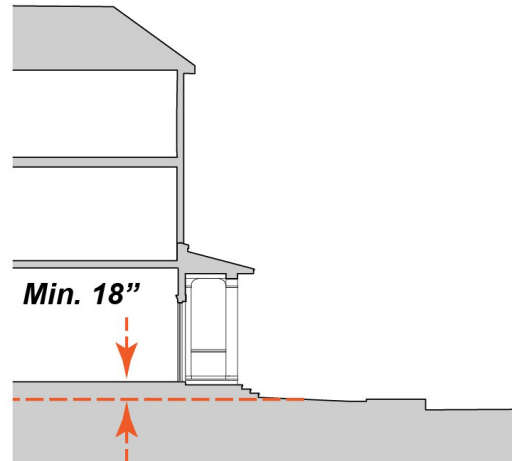


3. **Pedestrian-Scaled Entrances.**
  - a. Building entrances must incorporate at least one of the following entry features:
    - i. Stoop
    - ii. Dooryard
    - iii. Shopfront
    - iv. Gallery

- v. Arcade
- vi. Forecourt
- b. *Primary Entrance Location(s)*. Locate primary entrance on the front right-of-way and/or in the interior courtyard.
- c. *Entry Protection*. Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
  - i. Protection may be coterminous with an accent element.
  - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
- d. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story.
- e. Façade lighting shall be incorporated into storefront design. Fixtures shall be:
  - i. Shielded and directed onto the building facade.
  - ii. Consistent in style with the primary building.

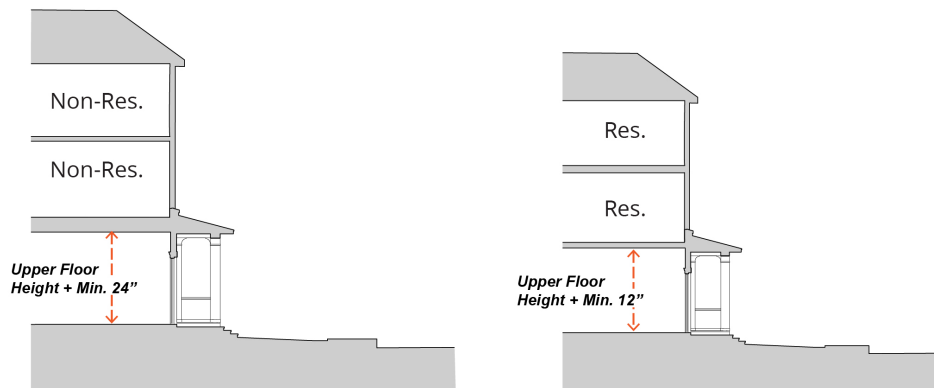
4. **Ground Level Finish Floor Elevation.**

- a. *Nonresidential Uses:* May be flush with abutting right-of-way elevation.
- b. *Residential Uses:* Minimum 18 inches above the abutting right-of-way elevation.



5. **Ground Floor Floor-to-Ceiling Height.**

- a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where upper floors are non-residential.
- b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where upper floors are residential.

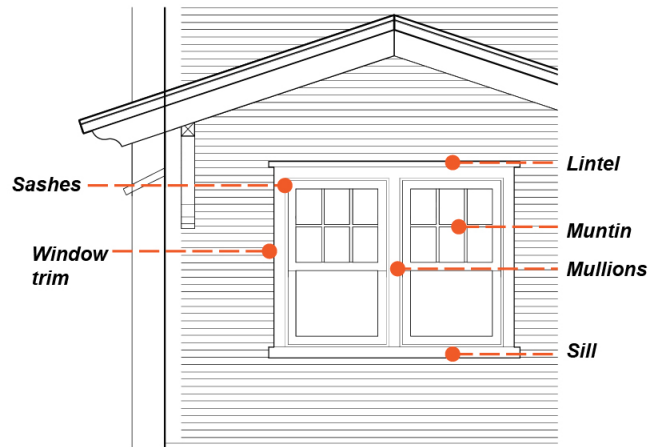


6. **Interior Courtyard.** Interior courtyard must be partially visible from street and must be linked to street by clear a circulation element.

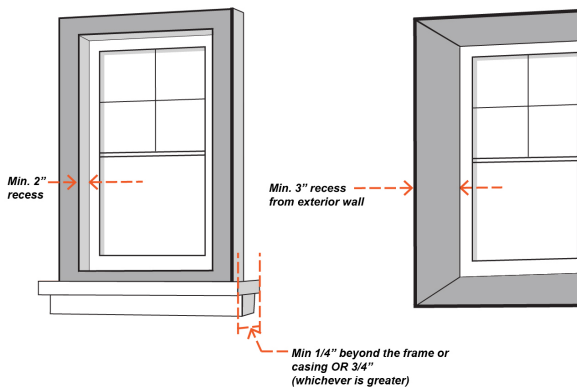
C. **Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. The width of an individual window shall be no greater than its height, except on shopfronts. Recommended proportions include simple whole number ratios (e.g., 2:1, 3:2, 4:3) or golden-section proportions (1.618:1).

3. Ganged windows shall be separated by mullions no less than 1.5 inch.



4. Window frames, backbands, and sills.
- a. Window openings surrounded by wood siding or shingles (or fiber cement equivalent) shall have a window casing that projects no less than  $\frac{3}{4}$  inch from the outer wall surface. The casing shall have a back band, cornice, or drip cap along the uppermost edge. For single windows, the ratio of the casing width to the window width shall be no less than 1:7.
  - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  - c. All windows shall have a sill.
    - i. The sill shall project forward of the outer wall surface by no less than  $\frac{1}{4}$  inch beyond the frame or casing or  $\frac{3}{4}$  inch, whichever is greater.
    - ii. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
    - iii. The sill shall be sloped toward the outside.
    - iv. The sill shall have a drip at its outer edge.



5. Vinyl windows are prohibited on facades visible from a right-of-way.

**D. Building Materials.**

1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Ribbed metal
  - g. Cor-ten Steel
  - h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
  - i. Concrete (building base only, board-form only, cast concrete not permitted)

**E. Ground Level Open Space.** Where any required front, rear, or side yard setback is 10 feet or greater, on-site ground-level open space shall be provided within the setback.

1. The ground level open space shall be usable and accessible.
2. The minimum dimension for ground level open space shall be 8 feet.

**F. Landscaping, Paving, and Pedestrian Amenities.**

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
2. A minimum 75 percent of on-site paving material must be pervious/permeable.
3. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Landscape plans shall incorporate:
  - a. Planters for flowers and shrubs within street frontage.
  - b. Landscape buffers between parking spaces and building facades.

- c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
- d. A publicly visible and accessible pedestrian amenity such as benches, a fountain, a rain garden, decorative paving, and/or public art.

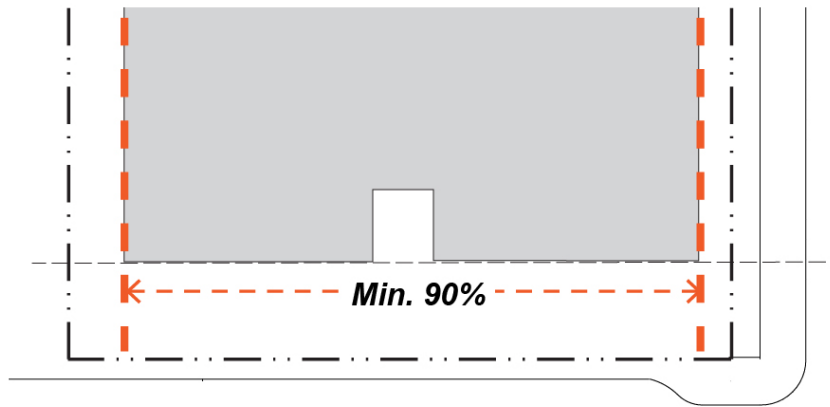
**G. Parking Design and Access.**

- 1. Where ground-level structured parking is provided, the parking area must be either:
  - a. "Lined" with uses at least 30 feet deep as measured from the front façade; or
  - b. Designed such that the floor elevation is a minimum 6 vertical feet below the elevation of the adjacent sidewalk.
- 2. Entrances to Parking Facilities.
  - a. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
  - b. Entrances for parking facilities along a street frontage shall be separated by a minimum of 50 feet.
  - c. No building shall have more than 1 entrance to a parking facility along a street frontage.
- 3. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
- 4. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.

**H. Service Areas and Screening.** Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

## Revised 14.48.130 Design Control (CRS)

- A. **Building Placement.** A minimum 90 percent of the building frontage must be built at the minimum setback line.

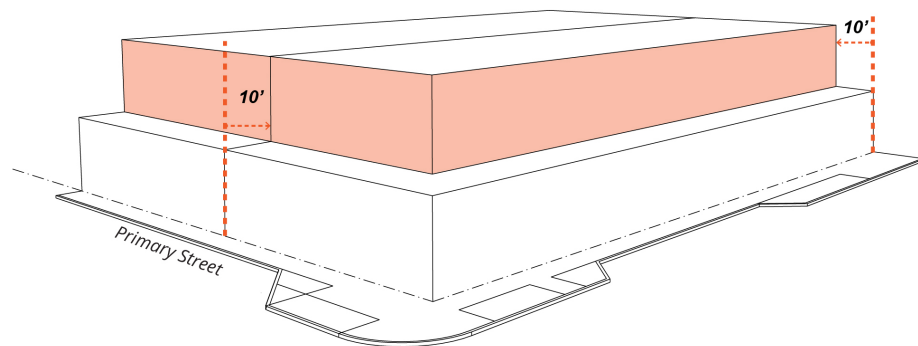


- B. **Building Massing and Articulation.**

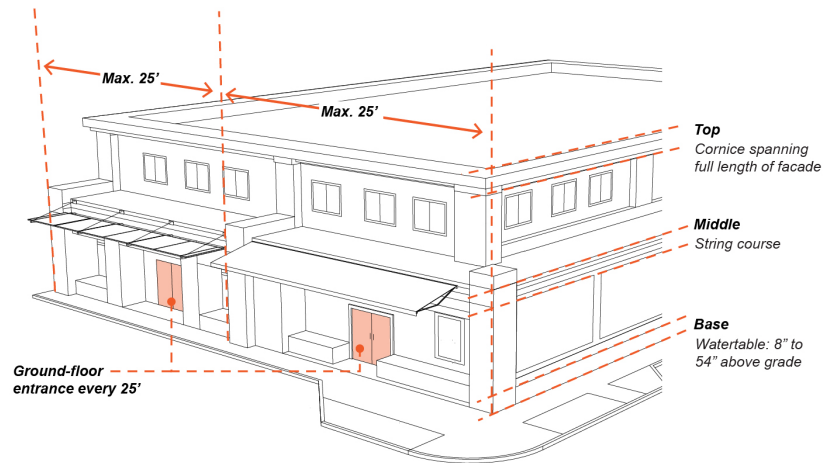
1. **Upper-story Step-backs.**

- Front:* Minimum 10 feet from ground floor façade for second story and above.
- Street Side:* Minimum 10 feet from ground floor façade for second story and above.

CRS, CRS/OAD District  
**Upper Story Front and  
 Side Step Backs: 10 ft**

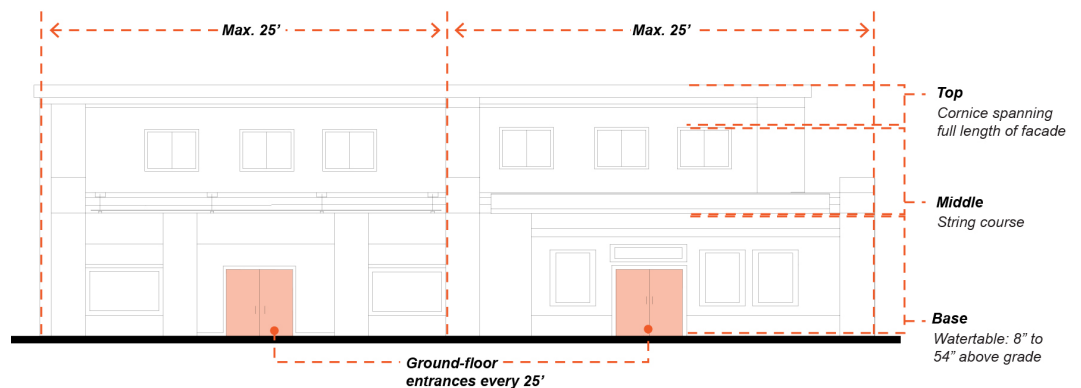


- Vertical Articulation.** New facades and façade modifications along a street or civic space shall be designed to appear as multiple buildings no greater than 50 feet in length and shall reflect the underlying 25-foot lot line module.
  - The building shall include at least one ground-floor entrance every 25 feet.
  - The maximum width of a single shopfront shall be 25 feet.



3. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.

- a. One or more of the following patterns shall be used to define the base:
  - i. Water table: Base material extends from grade to between 8 and 54 inches above grade.
  - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound. (Multi-story buildings only.)
  - iii. Water table + Cornice/String Course: A water table using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine. (Multi-story buildings only.)
- b. The top of the building shall be defined by elements spanning the full length of the façade. Such elements may include a cornice, eave and/or gable(s), or other elements listed under 4.a.



4. **Privacy and Line of Sight.** Where a new or existing primary interior residential space has an uninterrupted line of sight to windows of a primary interior space at the same



floor level within 20 feet, the glazing of the new building shall be offset horizontally from the existing glazing by a minimum of 8 inches.

5. **Roofline and Roof Design.** Roof designs shall be limited to:

- a. Hipped
- b. Gable
- c. Dormer
- d. Parapet.
  - i. When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
    - (a) Steps
    - (b) Curves
    - (c) Angled surfaces
  - ii. Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.
  - iii. The length of a parapet segment on the third floor and above may not exceed 25 feet.
- e. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.

6. **Corner Treatment.**

- a. Chamfered corners must provide a building entrance.
- b. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

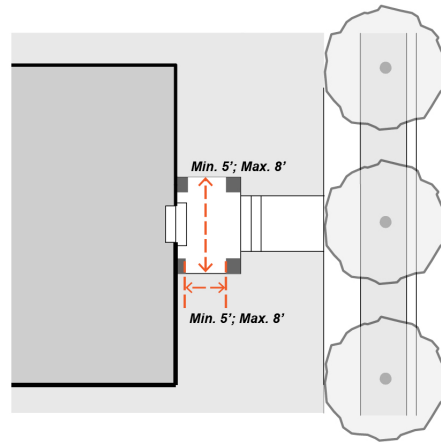
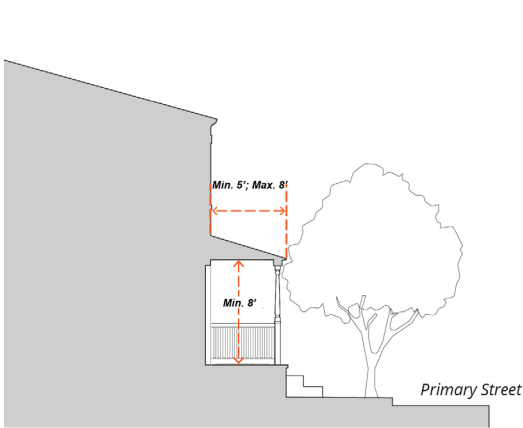
C. **Building Design.**

1. **Façade Design.**

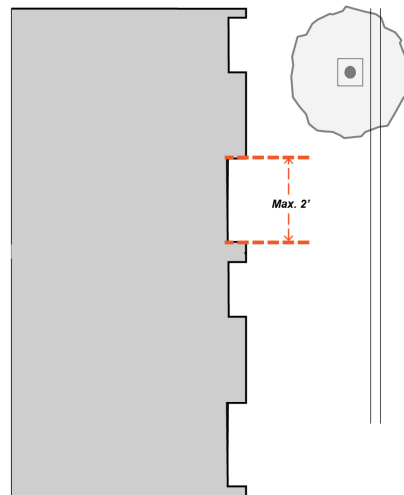
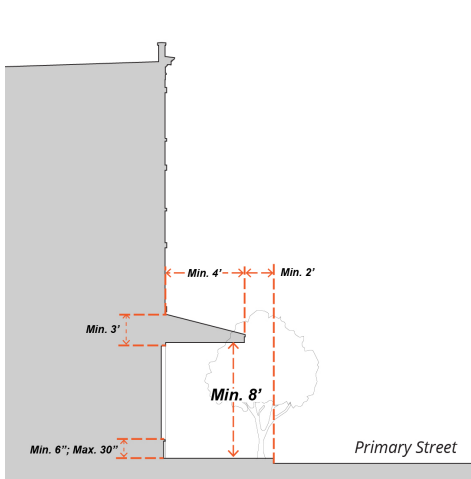
- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
- b. Residential facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.
- c. Blank walls on any street-facing façade shall not exceed 8 feet in length.



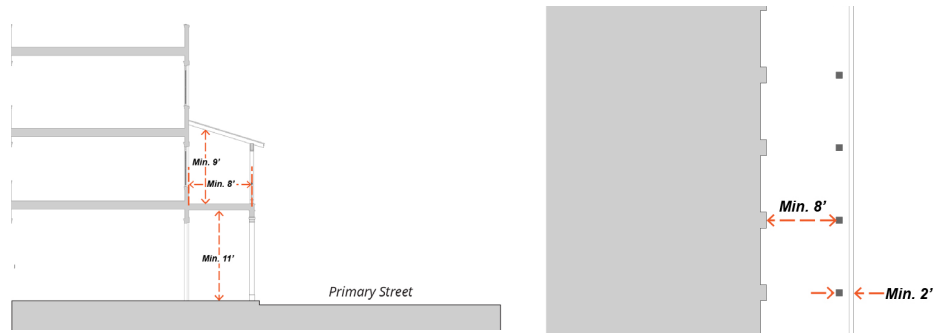
2. **Ground Level Transparency.** A minimum 75 percent of the ground floor street-facing facade between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.
3. **Pedestrian-Scaled Entrances.**
  - a. Building entrances must incorporate at least one of the following entry features:
    - i. Stoop



- ii. Shopfront



iii. Gallery



iv. Arcade

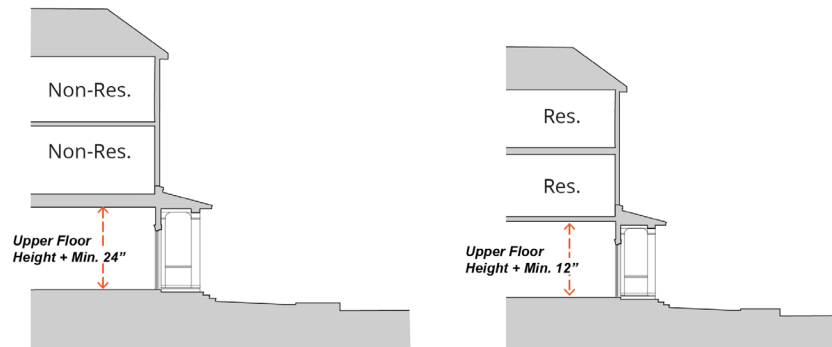


- b. *Primary Entrance Location(s).* Locate primary entrance on the front right-of-way.
  - c. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
    - i. Protection may be coterminous with an accent element.
    - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
  - d. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story.
  - e. Façade lighting shall be incorporated into storefront design. Fixtures shall be:
    - i. Shielded and directed onto the building facade.
    - ii. Consistent in style with the primary building.
4. **Ground Level Finish Floor Elevation.**
- a. *Nonresidential Uses:* May be flush with abutting right-of-way elevation.

- b. *Residential Uses*: Minimum 18 inches above the abutting right-of-way elevation.

5. **Ground Floor Floor-to-Ceiling Height.**

- a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where upper floors are non-residential.
- b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where upper floors are residential.



6. **Interior Courtyard.** Interior courtyard must be partially visible from street and must be linked to street by clear a circulation element.

D. **Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. The width of an individual window shall be no greater than its height, except on shopfronts. Recommended proportions include simple whole number ratios (e.g., 2:1, 3:2, 4:3) or golden-section proportions (1.618:1).
3. Ganged windows shall be separated by mullions no less than 1.5 inch.
4. Window frames, backbands, and sills.
  - a. Window openings surrounded by wood siding or shingles (or fiber cement equivalent) shall have a window casing that projects no less than  $\frac{3}{4}$  inch from the outer wall surface. The casing shall have a back band, cornice, or drip cap along the uppermost edge. For single windows, the ratio of the casing width to the window width shall be no less than 1:7.
  - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  - c. All windows shall have a sill.
    - i. The sill shall project forward of the outer wall surface by no less than  $\frac{1}{4}$  inch beyond the frame or casing or  $\frac{3}{4}$  inch, whichever is greater.

- ii. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
  - iii. The sill shall be sloped toward the outside.
  - iv. The sill shall have a drip at its outer edge.
5. Vinyl windows are prohibited on facades visible from a right-of-way.

**E. Building Materials.**

- 1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
- 2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Ribbed metal
  - g. Cor-ten Steel
  - h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
  - i. Concrete (building base only, board-form only, cast concrete not permitted)

**F. Downtown Gateways.**

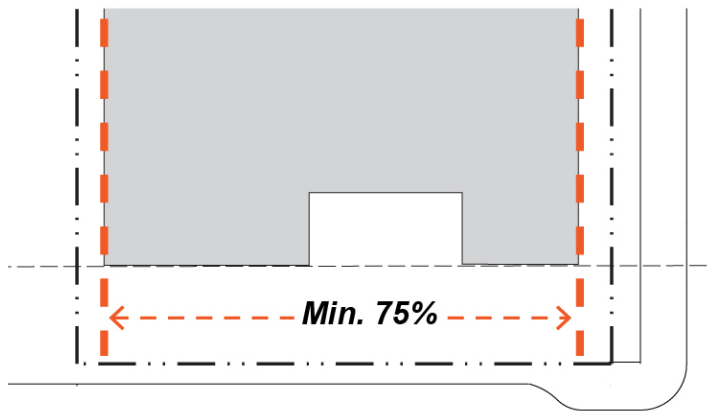
- 1. A minimum 2 elements from the following list must be incorporated into corner building design at gateway intersections:
  - a. Sloped roof structures
  - b. Special uses with outdoor plaza
  - c. Special landscape features
  - d. Enhanced on-site lighting

- e. Increased architectural details
  - 2. Ground-floor design at gateway intersections must address both street frontages through:
    - a. Entrances that are visible and directly accessible from both streets
    - b. Building transparency beyond the required minimum for the first 15 feet of building frontage from the corner
    - c. A usable public space with pedestrian-scaled features on the non-entrance street.
- G. Historic Preservation.**
- 1. Additions to buildings with historic designation shall be identifiable from original construction. Additions shall employ similar or complementing materials and colors and shall exhibit similar opening proportions, facade rhythms and horizontal elements as the original.
  - 2. Original transom windows shall be maintained or restored where possible. If the ceiling inside the structure has been lowered, the ceiling shall be stepped up to meet the transom so that light will penetrate building interior.
  - 3. Deteriorated architectural features shall be repaired rather than replaced wherever possible. If replacement is necessary, new materials shall match the original in design, color, texture, and other visual qualities. If the original was painted, the substitute materials shall be painted as well.
- H. Sustainability in Design.**
- 1. All new construction shall incorporate landscaping and fenestration to passively cool the building; energy-efficient HVAC; and energy efficient lighting.
  - 2. All energy generation devices must blend in with the building color.
  - 3. All on-site landscaping shall be drought-resistant and require minimal irrigation.
- I. Landscaping and Paving, and Pedestrian Amenities.**
- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
  - 2. A minimum 75 percent of on-site paving material must be pervious/permeable.
  - 3. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Landscape plans shall incorporate:
    - a. Planters for flowers and shrubs within street frontage.
    - b. Landscape buffers between parking spaces and building facades.
    - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
    - d. A publicly visible and accessible pedestrian amenity such as benches, a fountain, a rain garden, decorative paving, and/or public art.
- J. Parking Design and Access.**

1. Where ground-level structured parking is provided, the parking area must be either:
    - a. "Lined" with uses at least 30 feet deep as measured from the front façade; or
    - b. Designed such that the floor elevation is a minimum 6 vertical feet below the elevation of the adjacent sidewalk.
  2. Entrances to Parking Facilities.
    - a. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
    - b. Entrances for parking facilities along a street frontage shall be separated by a minimum of 50 feet.
    - c. No building shall have more than 1 entrance to a parking facility along a street frontage.
  3. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
  4. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.
  5. Driveways are not permitted along State Street and Main Street frontages.
- K. **Service Areas and Screening.** Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

## Revised 14.50.170 Design Control (CT)

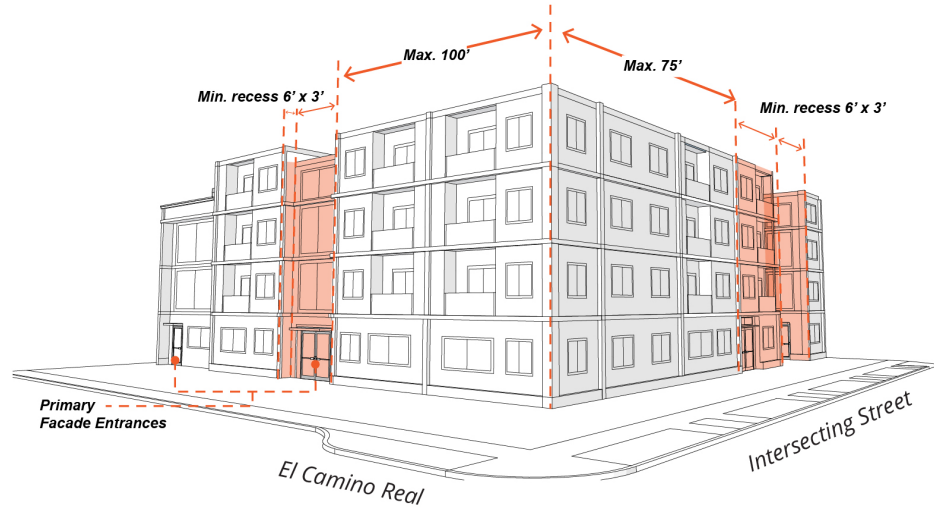
- A. **Building Placement.** A minimum 75 percent of the building frontage must be built at the minimum setback line.



- B. **Building Massing Articulation.**

1. **Vertical Articulation.** New facades and façade modifications along a street or civic space shall be designed to appear as multiple buildings no greater than 100 feet in length for any façade along El Camino Real and 75 feet in length for any façade facing secondary rights-of-way intersecting El Camino Real.
  - a. For any façade facing El Camino Real:
    - i. When a building façade exceeds 100 feet in length along a right of way, it must be separated into primary façade bays no greater than 100 feet and secondary façade bays defined by a recess 6 feet wide by 3 feet deep.
    - ii. Each primary façade bay shall contain at least one entrance.
    - iii. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.
  - b. For any façade facing secondary streets intersecting with El Camino Real:
    - i. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 75 feet and secondary façade bays defined by a recess 6 feet wide by 3 feet deep.
    - ii. Each primary façade bay shall contain at least one entrance.
    - iii. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.



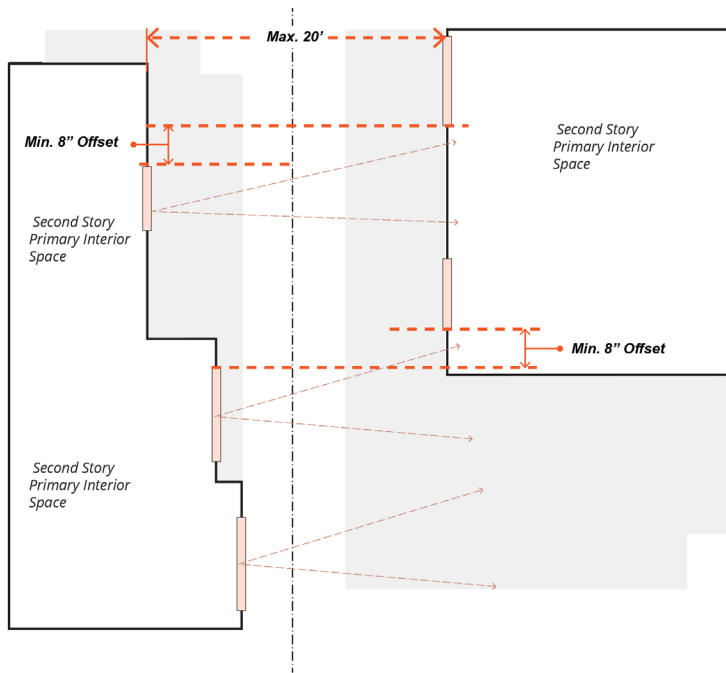


2. Horizontal Articulation. New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.

- a. One or more of the following patterns shall be used to define the base:
  - i. Water table: Base material extends from grade to between 8 and 54 inches above grade.
  - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound. (Multi-story buildings only.)
  - iii. Water table + Cornice/String Course: A water table using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine. (Multi-story buildings only.)
- b. The top of the building shall be defined by elements spanning the full length of the façade. Such elements may include a cornice, eave and/or gable(s), or other elements listed under 4.a.



3. **R-1 Adjacencies.**
  - a. Building façade planes facing an R-1 district may not exceed 48 feet in width.
  - b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.
4. **Privacy and Line of Sight.** Where a new or existing primary interior residential space has an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet, the glazing of the new building shall be offset horizontally from the existing glazing by a minimum of 8 inches.



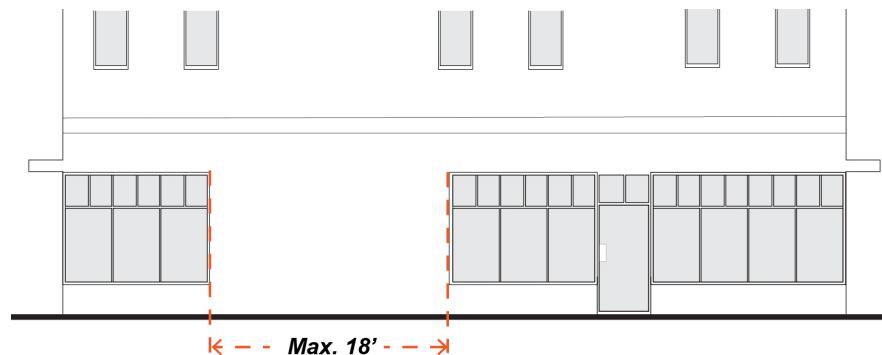
5. **Roofline and Roof Design.** Roof designs shall be limited to:
  - a. Hipped
  - b. Gable
  - c. Shed
  - d. Mansard
    - i. Applicable for buildings 3 or more stories.
    - ii. Mansard may contain the topmost story only.
  - e. Dormer
  - f. Parapet.
    - i. When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
      - (a) Steps

- (b) Curves
  - (c) Angled surfaces
  - ii. Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.
  - iii. The length of a parapet segment on the third floor and above may not exceed 25 feet.
  - g. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
  - h. Butterfly roof forms must be part of an integrated water catchment system, when used.
6. **Corner Treatment.**
- a. Chamfered corners must provide a building entrance.
  - b. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

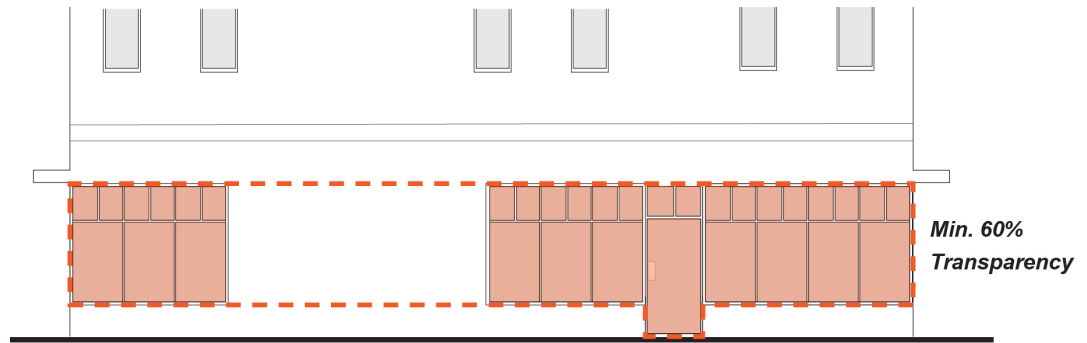
C. **Building Design.**

1. **Façade Design.**

- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
- b. Residential facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.
- c. Blank walls on any street-facing façade shall not exceed 18 feet in length.

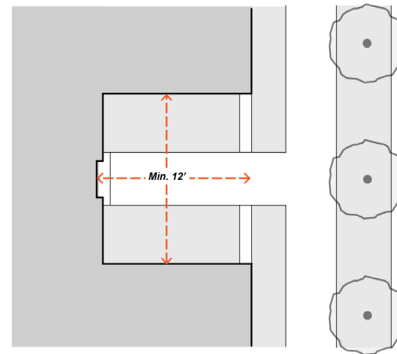
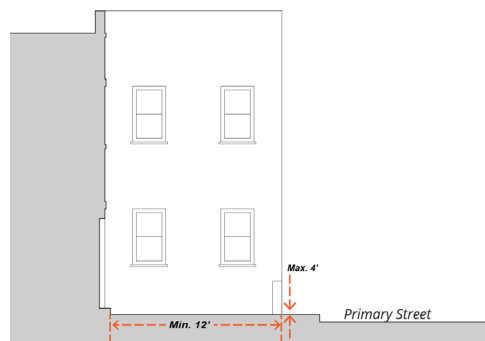


2. **Ground Level Transparency.** A minimum 60 percent of the ground floor street-facing facade between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.

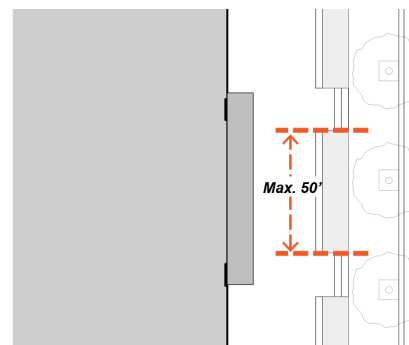
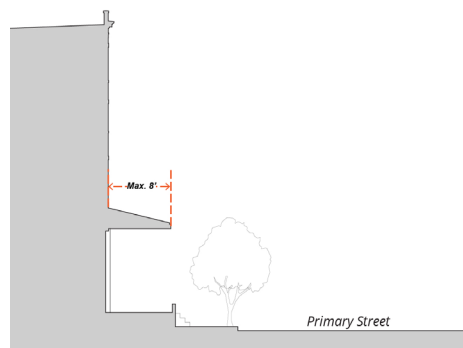


3. **Pedestrian-Scaled Entrances.**

- a. Each street-facing building façade must incorporate at one of the following entry features:
  - i. Stoop
  - ii. Shopfront
  - iii. Gallery
  - iv. Arcade
  - v. Forecourt



vi. Terrace



- b. **Primary Entrance Location(s).** Locate primary entrance on the front right-of-way.

- c. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides. Such projection may be coterminous with an accent element.
    - i. Protection may be coterminous with an accent element.
    - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
  - d. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story.
4. **Ground Level Finish Floor Elevation.**
- a. *Nonresidential Uses:* May be flush with abutting right-of-way elevation.
  - b. *Residential Uses:* Minimum 30 inches above the abutting right-of-way elevation.
5. **Ground Floor Floor-to-Ceiling Height.**
- a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where upper floors are non-residential.
  - b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where upper floors are residential.
6. **Interior Courtyard.** Interior courtyard must be partially visible from street and must be linked to street by clear a circulation element.
- D. **Window Design.**
- 1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but overall shape of the grouping is required to be square or vertical, except on shopfronts.
  - 2. The width of an individual window shall be no greater than its height, except on shopfronts. Recommended proportions include simple whole number ratios (e.g., 2:1, 3:2, 4:3) or golden-section proportions (1.618:1).
  - 3. Ganged windows shall be separated by mullions no less than 1.5 inch.
  - 4. Window frames, backbands, and sills.
    - a. Window openings surrounded by wood siding or shingles (or fiber cement equivalent) shall have a window casing that projects no less than  $\frac{3}{4}$  inch from the outer wall surface. The casing shall have a back band, cornice, or drip cap along the uppermost edge. For single windows, the ratio of the casing width to the window width shall be no less than 1:7.
    - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.

- c. All windows shall have a sill.
  - i. The sill shall project forward of the outer wall surface by no less than  $\frac{1}{4}$  inch beyond the frame or casing or  $\frac{3}{4}$  inch, whichever is greater.
  - ii. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
  - iii. The sill shall be sloped toward the outside.
  - iv. The sill shall have a drip at its outer edge.
- 5. Vinyl windows are prohibited on facades visible from a right-of-way.

**E. Building Materials.**

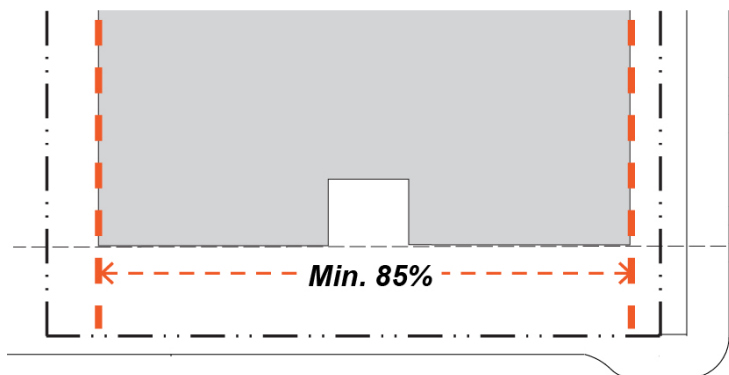
- 1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
  - e. Tile
  - f. Concrete (board-form only)
- 2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Ribbed metal
  - g. Cor-ten Steel
  - h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
  - i. Concrete (building base only, board-form only, cast concrete not permitted)
- 3. On attached elements, such as bay windows, orioles, and balconies.

- F. **Ground Level Open Space.** Where any required front, rear, or side yard setback is 10 feet or greater, on-site ground-level open space shall be provided within the setback.
1. The ground level open space shall be usable and accessible.
  2. The minimum dimension for ground level open space shall be 8 feet.
- G. **Landscaping and Paving.**
1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
  2. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Landscape plans shall incorporate:
    - a. Planters for flowers and shrubs within street frontage.
    - b. Landscape buffers between parking spaces and building facades.
    - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
- H. **Service Areas and Screening.** Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

### Revised 14.52.130 Design Control (CD/R3)

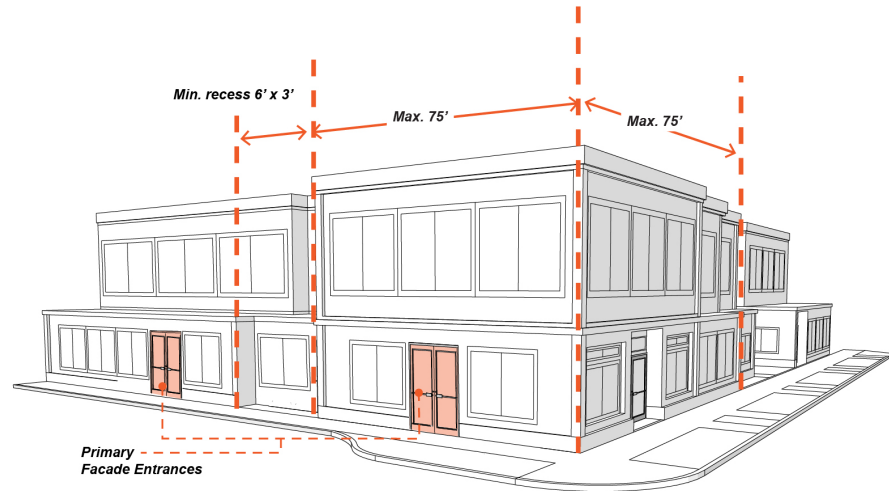
---

- A. **Building Placement.** A minimum 85 percent of the building frontage must be built at the minimum setback line.



- B. **Building Massing and Articulation.**
1. **Vertical Articulation.** New facades and façade modifications along a street or civic space shall be designed to appear as multiple buildings no greater than 75 feet in length.
    - a. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 75 feet and secondary façade bays defined by a recess 6 feet wide by 3 feet deep and shall reflect the underlying 25-foot lot line module.

- b. The building shall include at least one ground-floor entrance every 25 feet.
- c. The maximum width of a single shopfront shall be 25 feet.
- d. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.

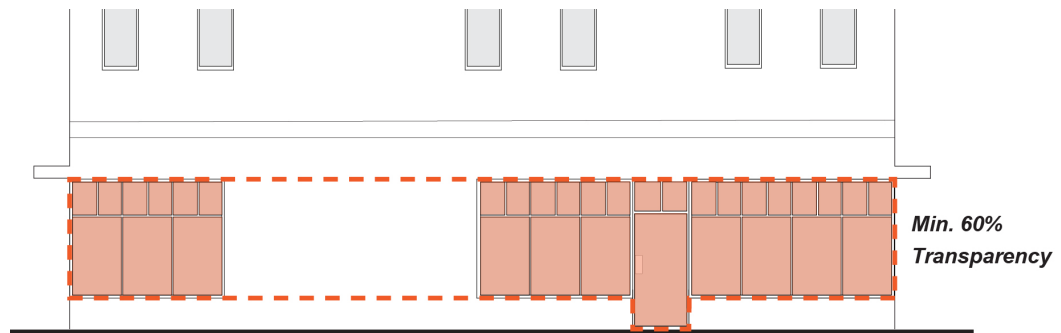


- 2. **Horizontal Articulation.** New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
  - a. One or more of the following patterns shall be used to define the base:
    - i. Water table: Base material extends from grade to between 8 and 54 inches above grade.
    - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound. (Multi-story buildings only.)
    - iii. Water table + Cornice/String Course: A water table using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine. (Multi-story buildings only.)
  - b. The top of the building shall be defined by elements spanning the full length of the façade. Such elements may include a cornice, eave and/or gable(s), or other elements listed under 4.a.
- 3. **Privacy and Line of Sight.** Where a new or existing primary interior residential space has an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet, the glazing of the new building shall be offset horizontally from the existing glazing by a minimum of 8 inches.
- 4. **Roofline and Roof Design.** Roof designs shall be limited to:
  - a. Hipped
  - b. Gable



- c. Mansard
    - i. Applicable for buildings 3 or more stories.
    - ii. Mansard may contain the topmost story only.
  - d. Dormer
  - e. Parapet.
    - i. When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
      - (a) Steps
      - (b) Curves
      - (c) Angled surfaces
    - ii. Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.
    - iii. The length of a parapet segment on the third floor and above may not exceed 25 feet.
  - f. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
  - g. Butterfly roof forms must be part of an integrated water catchment system, when used.
5. **Corner Treatment.**
- a. Chamfered corners must provide a building entrance.
  - b. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.
- C. **Building Design.**
1. **Façade Design.**
- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
  - b. Residential facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.
  - c. Blank walls on any street-facing façade shall not exceed 12 feet in length; 20 feet where the blank façade incorporates wall plantings.

2. **Ground Level Transparency.** A minimum 60 percent of the ground floor street-facing facade between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.



3. **Pedestrian-Scaled Entrances.**
- a. Building entrances must incorporate at least one of the following entry features:
    - i. Stoop
    - ii. Dooryard
    - iii. Shopfront
    - iv. Gallery
    - v. Arcade
    - vi. Forecourt
    - vii. Terrace
  - b. *Primary Entrance Location(s).* Locate primary entrance on the front right-of-way and/or in the interior courtyard.
  - c. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides. Such projection may be coterminous with an accent element.
    - i. Protection may be coterminous with an accent element.
    - ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
  - d. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story.
  - e. Façade lighting shall be incorporated into storefront design. Fixtures shall be:
    - i. Shielded and directed onto the building facade.
    - ii. Consistent in style with the primary building.

4. **Ground Level Finish Floor Elevation.**
  - a. *Nonresidential Uses:* May be flush with abutting right-of-way elevation.
  - b. *Residential Uses:* Minimum 30 inches above the abutting right-of-way elevation.
5. **Ground Floor Floor-to-Ceiling Height.**
  - a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where upper floors are non-residential.
  - b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where upper floors are residential.
6. **Interior Courtyard.** Interior courtyard must be partially visible from street and must be linked to street by clear a circulation element.

**D. Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. The width of an individual window shall be no greater than its height, except on shopfronts. Recommended proportions include simple whole number ratios (e.g., 2:1, 3:2, 4:3) or golden-section proportions (1.618:1).
3. Ganged windows shall be separated by mullions no less than 1.5 inch.
4. Window frames, backbands, and sills.
  - a. Window openings surrounded by wood siding or shingles (or fiber cement equivalent) shall have a window casing that projects no less than  $\frac{3}{4}$  inch from the outer wall surface. The casing shall have a back band, cornice, or drip cap along the uppermost edge. For single windows, the ratio of the casing width to the window width shall be no less than 1:7.
  - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  - c. All windows shall have a sill.
    - i. The sill shall project forward of the outer wall surface by no less than  $\frac{1}{4}$  inch beyond the frame or casing or  $\frac{3}{4}$  inch, whichever is greater.
    - ii. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
    - iii. The sill shall be sloped toward the outside.
    - iv. The sill shall have a drip at its outer edge.
5. Vinyl windows are prohibited on facades visible from a right-of-way.

**E. Building Materials.**

1. Primary cladding materials allowed:

- a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
2. Secondary cladding materials allowed:
- a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, panelized, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Ribbed metal
  - g. Cor-ten Steel
  - h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
  - i. Concrete (building base only, board-form only, cast concrete not permitted)

**F. Landscaping and Paving.**

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. The required front setback area for residential-only development must be improved with a usable open space a minimum of 7 feet in depth for a minimum 50 percent of the building frontage.
- 3. A minimum 75 percent of on-site paving material must be pervious or permeable.
- 4. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Landscape plans shall incorporate:
  - a. Planters for flowers and shrubs within street frontage.
  - b. Landscape buffers between parking spaces and building facades.
  - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.

**G. Parking Design and Access.**

- 1. Where ground-level structured parking is provided, the parking area must be either:
  - a. "Lined" with uses at least 30 feet deep as measured from the front façade; or

- b. Designed such that the floor elevation is a minimum 6 vertical feet below the elevation of the adjacent sidewalk.
- 2. Entrances to Parking Facilities.
  - a. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
  - b. Entrances for parking facilities along a street frontage shall be separated by a minimum of 50 feet.
  - c. No building shall have more than 1 entrance to a parking facility along a street frontage.
- H. **Service Areas and Screening.** Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

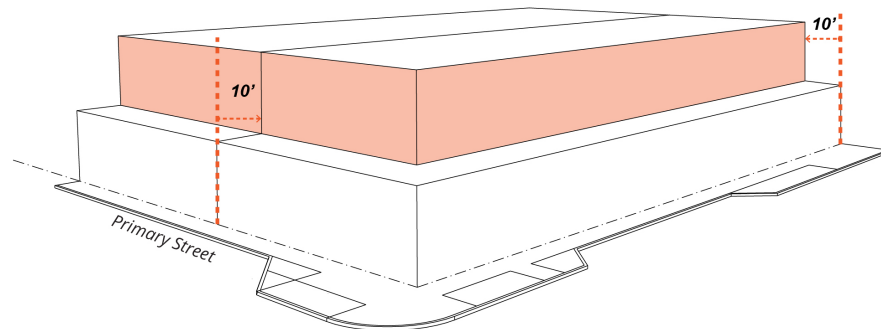
### Revised 14.54.130 Design Control (CRS/OAD)

---

#### A. Building Massing and Articulation.

##### 1. **Upper-story Step-backs.**

- a. *Front:* Minimum 10 feet from ground floor façade for second story and above.
- b. *Street Side:* Minimum 10 feet from ground floor façade for second story and above.

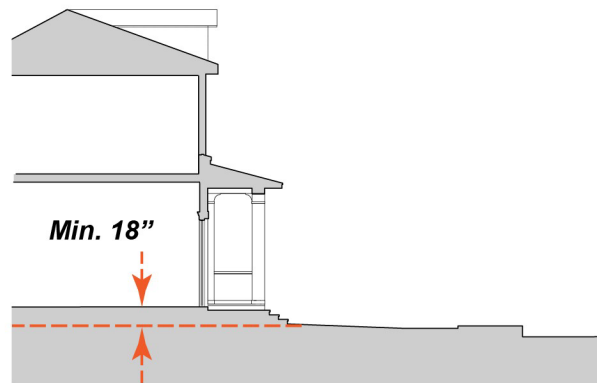


- 2. **Vertical Articulation.** New facades and façade modifications along a street or civic space shall be designed to appear as multiple buildings no greater than 75 feet in length.
  - a. When a building façade exceeds 75 feet in length along a right of way, it must be separated into primary façade bays no greater than 75 feet and secondary façade bays defined by a recess 6 feet wide by 3 feet deep.
  - b. Each primary façade bay shall contain at least one entrance.

- c. The eave/roof of a secondary façade bay shall be no higher than the corresponding elements of the primary façade bay.
- 3. Horizontal Articulation. New facades and façade modifications along a street or civic space shall be designed to visually express a base, middle, and top.
  - a. One or more of the following patterns shall be used to define the base:
    - i. Water table: Base material extends from grade to between 8 and 54 inches above grade.
    - ii. Podium: The base material encompasses the lowest story (or stories) of the building, with or without mezzanine(s), and terminates in a sill, string course, or cornice at its upper bound. (Multi-story buildings only.)
    - iii. Water table + Cornice/String Course: A water table using the base material is combined with a cornice or string course at the lowest story's upper bound, including any mezzanine. (Multi-story buildings only.)
  - b. The top of the building shall be defined by elements spanning the full length of the façade. Such elements may include a cornice, eave and/or gable(s), or other elements listed under 4.a.
- 4. **Privacy and Line of Sight.** Where a new or existing primary interior residential space has an uninterrupted line of sight to windows of a primary interior space at the same floor level within 20 feet, the glazing of the new building shall be offset horizontally from the existing glazing by a minimum of 8 inches.
- 5. **Roofline and Roof Design.** Roof designs shall be limited to:
  - a. Hipped
  - b. Gable
  - c. Mansard
    - i. Applicable for buildings 3 or more stories.
    - ii. Mansard may contain the topmost story only.
  - d. Dormer
  - e. Parapet.
    - i. When used on the first or second floor, a parapet longer than 25 feet in length must include at least one but not more than two of the following design elements to break up the length of the parapet:
      - (a) Steps
      - (b) Curves
      - (c) Angled surfaces
    - ii. Parapet limited to 25 percent of cumulative roof perimeter on the third floor and above.

- iii. The length of a parapet segment on the third floor and above may not exceed 25 feet.
    - f. Building façades facing an R-1 district must have a hipped or gable roof and may incorporate dormers.
  - 6. **Corner Treatment.**
    - a. Chamfered corners must provide a building entrance.
    - b. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.
- B. **Building Design.**
- 1. **Façade Design.**
    - a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls, columns, or other structural elements. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, inset panels, cornices, overhangs, trellises, exposed rafters, columns, or bay windows. The pattern may be shared between the ground floor and upper stories provided the ground floor exhibits enhanced detail or modulation.
    - b. Residential facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.
    - c. Blank walls on any street-facing façade shall not exceed 8 feet in length.
  - 2. **Ground Level Transparency.** A minimum 75 percent of the ground floor street-facing facade between 2 and 7 feet in height shall be transparent window surface. Opaque, reflective, or dark tinted glass is not allowed.
  - 3. **Pedestrian-Scaled Entrances.**
    - a. Building entrances must incorporate at least one of the following entry features:
      - i. Shopfront
      - ii. Gallery
      - iii. Arcade
      - iv. Forecourt
    - b. *Primary Entrance Location(s).* Locate primary entrance on the front right-of-way.
    - c. *Entry Protection.* Primary street-facing entrances shall be protected by a recess in the building frontage at least 3 feet deep or by a projection extending outward at least 3 feet measured horizontally from the entrance, and wide enough to clear the building entryway on both sides.
      - i. Protection may be coterminous with an accent element.

- ii. Protection may take the form of an extended eave, overhang, awning, door canopy, gallery, arcade frontage, or other element that provides shade and shelter from the elements.
  - d. Accent elements demarcating building frontage, entrance, and common open space areas shall not exceed the height of the ground floor story.
  - e. Façade lighting shall be incorporated into storefront design. Fixtures shall be:
    - i. Shielded and directed onto the building facade.
    - ii. Consistent in style with the primary building.
4. **Ground Level Finish Floor Elevation.**
- a. *Nonresidential Uses:* May be flush with abutting right-of-way elevation.
  - b. *Residential Uses:* Minimum 18 inches above the abutting right-of-way elevation.



- 5. **Ground Floor Floor-to-Ceiling Height.**
    - a. Minimum 24 inches taller than typical upper floor floor-to-ceiling height where upper floors are non-residential.
    - b. Minimum 12 inches taller than typical upper floor floor-to-ceiling where upper floors are residential.
  - 6. **Interior Courtyard.** Interior courtyard must be partially visible from street and must be linked to street by clear a circulation element.
- C. **Window Design.**
- 1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but overall shape of the grouping is required to be square or vertical, except on shopfronts.
  - 2. The width of an individual window shall be no greater than its height, except on shopfronts. Recommended proportions include simple whole number ratios (e.g., 2:1, 3:2, 4:3) or golden-section proportions (1.618:1).
  - 3. Ganged windows shall be separated by mullions no less than 1.5 inch.
  - 4. Window frames, backbands, and sills.



- a. Window openings surrounded by wood siding or shingles (or fiber cement equivalent) shall have a window casing that projects no less than  $\frac{3}{4}$  inch from the outer wall surface. The casing shall have a back band, cornice, or drip cap along the uppermost edge. For single windows, the ratio of the casing width to the window width shall be no less than 1:7.
  - b. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  - c. All windows shall have a sill.
    - i. The sill shall project forward of the outer wall surface by no less than  $\frac{1}{4}$  inch beyond the frame or casing or  $\frac{3}{4}$  inch, whichever is greater.
    - ii. The sill shall extend horizontally beyond the window opening or frame/casing (if present) at each end.
    - iii. The sill shall be sloped toward the outside.
    - iv. The sill shall have a drip at its outer edge.
5. Vinyl are prohibited on facades visible from a right-of-way.

**D. Building Materials.**

- 1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
- 2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Ribbed metal
  - g. Cor-ten Steel

- h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
- i. Concrete (building base only, board-form only, cast concrete not permitted)

**E. Landscaping and Paving, and Pedestrian Amenities**

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
2. A minimum 75 percent of on-site paving material must be pervious/permeable.
3. Landscape elements shall be integrated with the building architecture, parking, and streetscape. Landscape plans shall incorporate:
  - a. Planters for flowers and shrubs within street frontage.
  - b. Landscape buffers between parking spaces and building facades.
  - c. Landscaping within and/or on walls adjacent to courtyards, open spaces, and setbacks.
  - d. A publicly visible and accessible pedestrian amenity such as benches, a fountain, a rain garden, decorative paving, and/or public art.

**F. Parking Design and Access.**

1. Where ground-level structured parking is provided, the parking area must be either:
  - a. "Lined" with uses at least 30 feet deep as measured from the front façade; or
  - b. Designed such that the floor elevation is a minimum 6 vertical feet below the elevation of the adjacent sidewalk.
2. Entrances to Parking Facilities.
  - a. Controlled entrances to parking facilities (gates, doors, etc.) shall be located a minimum 10 feet from the back of sidewalk.
  - b. Entrances for parking facilities along a street frontage shall be separated by a minimum of 50 feet.
  - c. No building shall have more than 1 entrance to a parking facility along a street frontage.
3. A clearly defined, lighted and landscaped pedestrian route shall be provided between all parking areas and primary pedestrian entrance.
4. New development on abutting lots shall be designed to allow cross-access for internal pedestrian, bicycle, and vehicular circulation systems.

**G. Service Areas and Screening.** Service areas must be enclosed in enclosures that are architecturally consistent with primary building in terms of materials, colors, and style.

## Revised 14.16.100 Design Control (R3-4.5)

---

### A. **Building Massing and Articulation.**

#### 1. ***Upper-story Step-backs.***

- a. *Front:* Minimum 10 feet from ground floor façade for second story and above.
- b. *Street Side:* Minimum 10 feet from ground floor façade for second story and above.

#### 2. ***Vertical Articulation.***

- a. Each building volume shall be defined according to one of the following classifications:
  - i. **Main Body:** The widest volumes of the structure, containing main entrances and the most public interior spaces.
  - ii. **Wing:** A narrower volume attached to a Main Body volume.
- b. Each Main Body volume shall contain at least one entrance.
- c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
- d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.

#### 3. ***R-1 Adjacencies.***

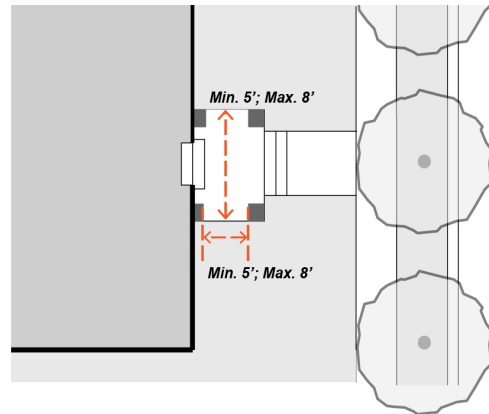
- a. Building façade planes facing an R-1 district may not exceed 48 feet in width.
- b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.

#### 4. ***Roofline and Roof Design.***

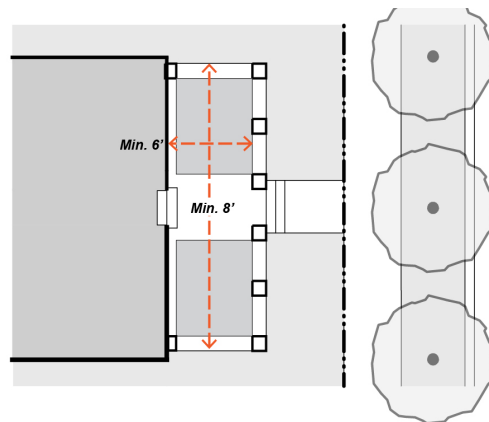
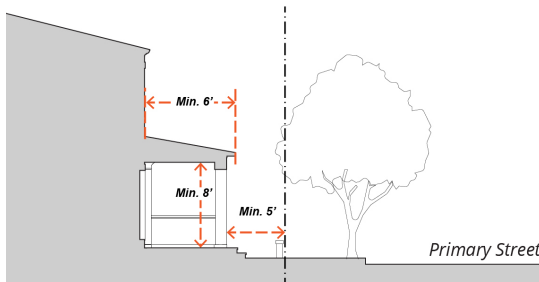
- a. Acceptable roof forms:
  - i. Hipped
  - ii. Gable
  - iii. Dormer
  - iv. Parapet
- b. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
- c. Butterfly roof forms must be part of an integrated water catchment system, when used.
- d. **Corner Treatment.** Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

B. **Building Design.**

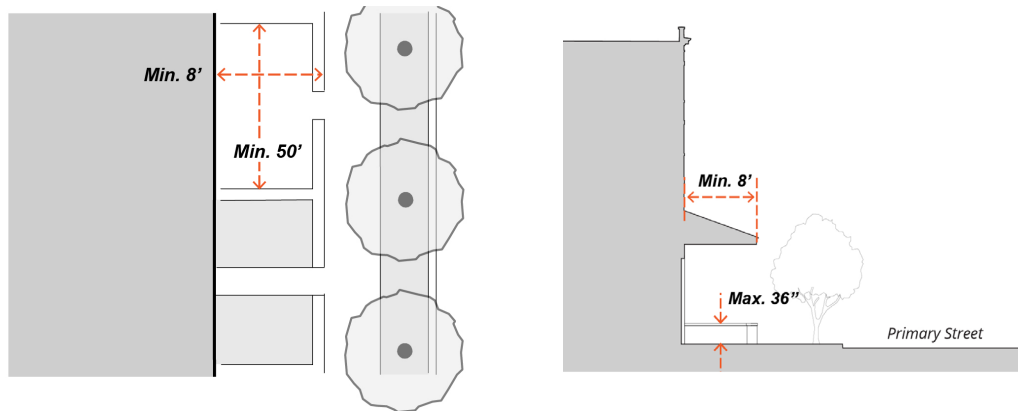
1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Ground Level Transparency.** Minimum 45 percent of ground floor street-facing facade shall be transparent window surface. No opaque, reflective, or dark tinted glass.
3. **Building Entrances.** Building entrances must incorporate one of the following entry features:
  - a. Stoop



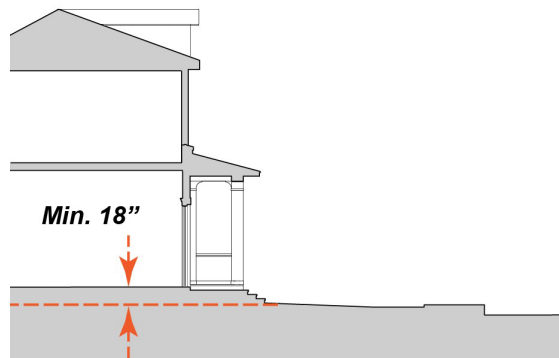
b. Porch



c. Dooryard



4. **Primary Entrance Location(s).** Locate primary entrance along the front right-of-way and/or interior courtyard.
5. **Ground Level Finish Floor Elevation.** Minimum 18 inches above the abutting right-of-way elevation.



6. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.

C. **Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but the overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. All windows must have a sill.
3. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
4. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

D. **Building Materials.**

1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)

- i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
      - ii. Wood siding shall be painted.
    - c. Stone
    - d. Brick
    - e. Tile
  - 2. Secondary cladding materials allowed:
    - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
    - b. Siding (lap, vertical, or shingle)
      - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
      - ii. Vinyl and aluminum siding are not permitted.
    - c. Stone (building base only)
    - d. Brick (building base only)
    - e. Tile
    - f. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
    - g. Concrete (building base only, board-form only, cast concrete not permitted)
- E. **Screening.**
- 1. Service, trash, and utility areas must be screened from view of the right-of-way.
  - 2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.
- F. **Topography and Grading.**
- 1. A stepped foundation is required where the average slope beneath the proposed structure exceeds 10 percent.
  - 2. Terracing and plantings must reflect the shape of the natural terrain.

## **Revised 14.18.100 Design Control (R3-5)**

---

- A. **Building Massing and Articulation.**
- 1. ***Upper-story Step-backs.***
    - a. *Front:* Minimum 10 feet from ground floor façade for second story and above.
    - b. *Street Side:* Minimum 10 feet from ground floor façade for second story and above.
  - 2. ***Vertical Articulation***

- a. Each building volume shall be defined according to one of the following classifications:
    - i. Main Body: The widest volumes of the structure, containing main entrances and the most public interior spaces.
    - ii. Wing: A narrower volume attached to a Main Body volume.
  - b. Each Main Body volume shall contain at least one entrance.
  - c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
  - d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.
3. ***R-1 Adjacencies.***
- a. Building façade planes facing an R-1 district may not exceed 48 feet in width.
  - b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.
4. ***Roofline and Roof Design.***
- a. Acceptable roof forms:
    - i. Hipped
    - ii. Gable
    - iii. Dormer
    - iv. Parapet
  - b. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
  - c. Butterfly roof forms must be part of an integrated water catchment system, when used.
  - d. Corner Treatment. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.
- B. **Building Design.**
- 1. ***Façade Composition.*** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
  - 2. ***Ground Level Transparency.*** Minimum 45 percent of ground floor street-facing facade shall be transparent window surface. No opaque, reflective, or dark tinted glass.
  - 3. ***Building Entrances.*** Building entrances must incorporate one of the following entry features:

- a. Stoop
  - b. Porch
  - c. Dooryard
4. **Primary Entrance Location(s).** Locate primary entrance on the front ROW and/or interior courtyard.
  5. **Ground Level Finish Floor Elevation.** Minimum 18 inches above the abutting right-of-way elevation.
  6. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.
- C. **Window Design.**
1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but the overall shape of the grouping is required to be square or vertical, except on shopfronts.
  2. All windows must have a sill.
  3. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  4. Vinyl sliding windows are prohibited on facades visible from a right-of-way.
- D. **Building Materials.**
1. Primary cladding materials allowed:
    - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
    - b. Siding (lap, vertical, or shingle)
      - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
      - ii. Wood siding shall be painted.
    - c. Stone
    - d. Brick
    - e. Tile
  2. Secondary cladding materials allowed:
    - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
    - b. Siding (lap, vertical, or shingle)
      - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
      - ii. Vinyl and aluminum siding are not permitted.
    - c. Stone (building base only)
    - d. Brick (building base only)
    - e. Tile



- f. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
- g. Concrete (building base only, board-form only, cast concrete not permitted)

**E. Landscaping.**

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.

**F. Screening.**

- 1. Service, trash, and utility areas must be screened from view of the right-of-way.
- 2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

### **Revised 14.20.120 Design Control (R3-3)**

---

**A. Building Massing and Articulation.**

**1. *Upper-story Step-backs.***

- a. *Front:* Minimum 10 feet from ground floor façade for second story and above.
- b. *Street Side:* Minimum 10 feet from ground floor façade for second story and above.

**2. *Vertical Articulation***

- a. Each building volume shall be defined according to one of the following classifications:
  - i. **Main Body:** The widest volumes of the structure, containing main entrances and the most public interior spaces.
  - ii. **Wing:** A narrower volume attached to a Main Body volume.
- b. Each Main Body volume shall contain at least one entrance.
- c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
- d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.

**3. *R-1 Adjacencies.***

- a. Building façade planes facing an R-1 district may not exceed 48 feet in width.

- b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.

4. **Roofline and Roof Design.**

- a. Acceptable roof forms:
  - i. Hipped
  - ii. Gable
  - iii. Dormer
  - iv. Parapet
- b. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
- c. Butterfly roof forms must be part of an integrated water catchment system, when used.
- d. Corner Treatment. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24 inches.

B. **Building Design.**

1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Ground Level Transparency.** Minimum 45 percent of ground floor street-facing facade shall be transparent window surface. No opaque, reflective, or dark tinted glass.
3. **Building Entrances.** Building entrances must incorporate one of the following entry features:
  - a. Stoop
  - b. Porch
  - c. Dooryard
4. **Primary Entrance Location(s).** Locate primary entrance along the front right-of-way and/or interior courtyard.
5. **Individual entries.** Ground floor residential units facing a street must provide individual entries along the street frontage.
6. **Ground Level Finish Floor Elevation.** Minimum 18 inches above the abutting right-of-way elevation.
7. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.

**C. Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but the overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. All windows must have a sill.
3. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
4. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

**D. Building Materials.**

1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
  - e. Tile
2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Vinyl and aluminum siding are not permitted.
  - c. Stone (building base only)
  - d. Brick (building base only)
  - e. Tile
  - f. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
  - g. Concrete (building base only, board-form only, cast concrete not permitted)

**E. Landscaping.**

1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.

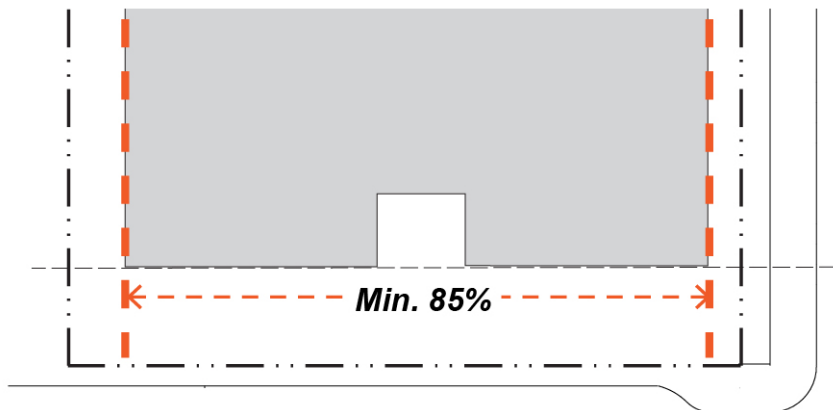
F. **Screening.**

1. Service, trash, and utility areas must be screened from view of the right-of-way.
2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

### **Revised 14.22.110 Design Control (R3-1.8)**

---

- A. **Building Placement.** A minimum 85 percent of the building frontage must be built at the minimum setback line.



B. **Building Massing and Articulation.**

1. **Upper-story Step-backs.**
  - a. *Front:* Minimum 10 feet from ground floor façade for second story and above.
  - b. *Street Side:* Minimum 10 feet from ground floor façade for second story and above.
2. **Vertical Articulation**
  - a. Each building volume shall be defined according to one of the following classifications:
    - i. **Main Body:** The widest volumes of the structure, containing main entrances and the most public interior spaces.
    - ii. **Wing:** A narrower volume attached to a Main Body volume.
  - b. Each Main Body volume shall contain at least one entrance.
  - c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
  - d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.

3. **R-1 Adjacencies.**
  - a. Building façade planes facing an R-1 district may not exceed 48 feet in width.
  - b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.
4. **Roofline and Roof Design.**
  - a. Acceptable roof forms:
    - i. Hipped
    - ii. Gable
    - iii. Dormer
    - iv. Parapet
  - b. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
  - c. Butterfly roof forms must be part of an integrated water catchment system, when used.
  - d. Corner Treatment. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24"

C. **Building Design.**

1. **Façade Composition.** Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
2. **Ground Level Transparency.** Minimum 45 percent of ground floor street-facing facade shall be transparent window surface. No opaque, reflective, or dark tinted glass.
3. **Building Entrances.** Building entrances must incorporate one of the following entry features:
  - a. Stoop
  - b. Porch
  - c. Dooryard
4. **Primary Entrance Location(s).** Locate primary entrance on the front ROW and/or interior courtyard.
5. **Ground Level Finish Floor Elevation.** Minimum 18 inches above the abutting right-of-way elevation.
6. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.

- D. **Storage.** Each multi-family residential dwelling unit shall have a minimum of ninety-six (96) cubic feet of enclosed storage, excluding closet and garage areas.
- E. **Window Design.**
1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but the overall shape of the grouping is required to be square or vertical, except on shopfronts.
  2. All windows must have a sill.
  3. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
  4. Vinyl sliding windows are prohibited on facades visible from a Right of Way.
- F. **Building Materials.**
1. Primary cladding materials allowed:
    - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
    - b. Siding (lap, vertical, or shingle)
      - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
      - ii. Wood siding shall be painted.
    - c. Stone
    - d. Brick
    - e. Tile
  2. Secondary cladding materials allowed:
    - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
    - b. Siding (lap, vertical, or shingle)
      - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
      - ii. Vinyl and aluminum siding are not permitted.
    - c. Stone (building base only)
    - d. Brick (building base only)
    - e. Tile
    - f. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
    - g. Concrete (building base only, board-form only, cast concrete not permitted)
- G. **Landscaping.**
1. Landscaping must be placed on each side of a driveway at grade or in raised planters.

2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.

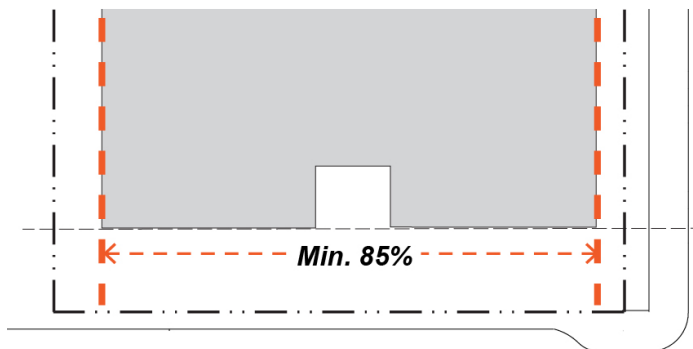
H. **Screening.**

1. Service, trash, and utility areas must be screened from view of the right-of-way.
2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

### Revised 14.24.110 Design Control (R3-1)

---

- A. **Building Placement.** A minimum 85 percent of the building frontage must be built at the minimum setback line.



B. **Building Massing and Articulation.**

1. **Vertical Articulation**

- a. Each building volume shall be defined according to one of the following classifications:
  - i. **Main Body:** The widest volumes of the structure, containing main entrances and the most public interior spaces.
  - ii. **Wing:** A narrower volume attached to a Main Body volume.
- b. Each Main Body volume shall contain at least one entrance.
- c. Street-facing Wings shall be recessed by no less than 3 feet relative to the front façade of the Main Body.
- d. The eave/roof of a Wing shall be no higher than the corresponding elements of the Main Body.

2. **R-1 Adjacencies.**

- a. Building façade planes facing an R-1 district may not exceed 48 feet in width.

- b. When a building façade facing an R-1 zone exceeds 48 feet in width, it must be separated into façade bays no greater than 48 feet by a recess 10 feet wide and 15 feet deep.

3. **Roofline and Roof Design.**

- a. Acceptable roof forms:
  - i. Hipped
  - ii. Gable
  - iii. Dormer
  - iv. Parapet
- b. Façade facing R-1 Zone must utilize a hipped or gable roof and may incorporate dormers.
- c. Butterfly roof forms must be part of an integrated water catchment system, when used.
- d. Corner Treatment. Roofline/parapet at corner shall not exceed roofline/parapet of adjacent wallplanes by more than 24"

C. **Building Design.**

1. **Façade Composition.**

- a. Building facades shall be arranged in an orderly composition of bays, defined by vertically aligned openings alternating horizontally with solid walls or columns. The pattern shall be visually expressed through the spacing of openings, recesses, eaves, cornices, overhangs, trellises, exposed rafters, columns, or bay windows.
- b. Facades shall incorporate at least one element that signals habitation, such as exterior stairs, porches, bay windows, or balconies.

2. **Ground Level Transparency.** Minimum 45 percent of ground floor street-facing facade shall be transparent window surface. No opaque, reflective, or dark tinted glass.

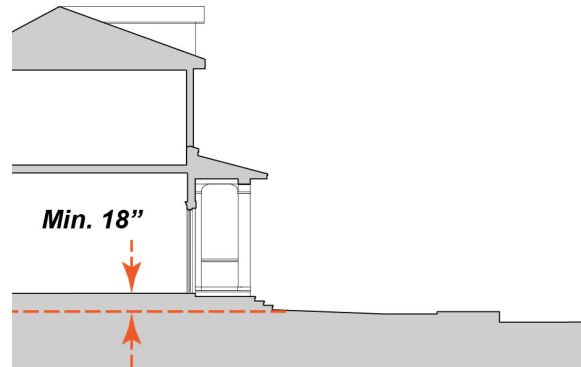
3. **Building Entrances.** Building entrances must incorporate one of the following entry features:

- a. Stoop
- b. Porch
- c. Dooryard
- d. Gallery
- e. Arcade
- f. Forecourt
- g. Terrace

4. **Primary Entrance Location(s).** Locate primary entrance on the front ROW and/or interior courtyard.



5. **Ground Level Finish Floor Elevation.** Minimum 18 inches above the abutting right-of-way elevation.



6. **Ground Floor Floor-to-Ceiling Height.** Minimum 12 inches taller than typical upper floor floor-to-ceiling height.

D. **Window Design.**

1. Facades shall be designed to include square or vertically oriented windows and openings. Windows may be grouped but the overall shape of the grouping is required to be square or vertical, except on shopfronts.
2. All windows must have a sill.
3. Window openings surrounded by masonry finish materials shall include a lintel that is taller than the sill/apron and proportional to the load it appears to carry.
4. Vinyl sliding windows are prohibited on facades visible from a right-of-way.

E. **Building Materials.**

1. Primary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco or EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)
    - i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
    - ii. Wood siding shall be painted.
  - c. Stone
  - d. Brick
  - e. Tile
2. Secondary cladding materials allowed:
  - a. Stucco (minimum 2-coat stucco, synthetic stucco not allowed, EIFS not allowed)
  - b. Siding (lap, vertical, or shingle)

- i. Wood or cement fiberboard only; vinyl and aluminum not allowed.
- ii. Vinyl and aluminum siding are not permitted.
- c. Stone (building base only)
- d. Brick (building base only)
- e. Tile
- f. Ribbed metal
- g. Cor-ten steel
- h. Concrete Masonry Units (building base only, and not allowed on any façade facing a right-of-way or a single-family zone)
- i. Concrete (building base only, board-form only, cast concrete not permitted)

**F. Landscaping and Paving.**

- 1. Landscaping must be placed on each side of a driveway at grade or in raised planters.
- 2. Low walls and/or hedges must screen the parking along the sidewalk. When walls are used, the materials and design must be compatible with and not obscure the architectural style of the building.
- 3. A minimum 75 percent of on-site paving material must be pervious/permeable.

**G. Screening.**

- 1. Service, trash, and utility areas must be screened from view of the right-of-way.
- 2. Screening must be architecturally consistent with primary building in terms of materials, colors, and style.

## **Common to All Multi-Family and Residential Mixed-Use Districts**

---

**A. Architectural Integrity.**

- 1. Where a building exhibits a particular style, the following building elements should be reflective of that style to create a design that is internally consistent: materials, entry design, window design, roof design, and color.
- 2. Where a building in the CRS or CD/R3 zone is designed to appear as separate buildings to reflect the underlying 25-foot lot line module, each portion that appears as a separate building shall exhibit architectural integrity.

**B. Durability.** Exterior finish materials shall have an expected lifespan of no less than 30 years.

- 1. Features to direct rainwater away from exterior walls shall include one or more of the following:
  - a. Cornice, with drip at outer edge of corona [12" min. projection]
  - b. Projecting eaves [12" min. projection]

- c. Scuppers, with or without downspouts [12" min. Projection if no downspouts are used]
  - d. Gutters, with downspouts or rain chains.
    - i. Downspouts shall be one color and shall not change colors to match the wall behind them.
    - ii. Downspouts shall be round or rectangular, made of copper or metal.
    - iii. Downspouts shall not break façade profiles (such as a cornice) but shall wrap around projecting profile.
2. Exterior timber shall be protected from decay by one or more of the following:
    - a. Material properties (e.g., cedar)
    - b. Staining and sealing
    - c. Painting
  3. Exterior ferrous metals shall be protected from corrosion by one or more of the following:
    - a. Metallurgical properties (e.g., galvanized, stainless, or weathering steel)
    - b. Painting or other impermeable coating.
- C. **Windows.** All windows must be recessed a minimum of 2 inches from the outer wall surface.
- D. **Materials.** Materials shall appear only in places and configurations appropriate to their structural properties.
1. Where walls use masonry finish materials (e.g. stone, brick, CMU), any openings spanned by the material must be either:
    - a. Arched, with each arch defined by a continuous series of voussoirs and a single keystone at the apex; or
    - b. Rectangular, with a continuous lintel spanning the opening and extending beyond by 4"-6" at each end. Vertical dimension of the lintel shall be no less than 1/8 of the clear span. Steel lintels are exempt from this minimum vertical dimension.
  2. When used, exterior timber posts, beams, rafters, purlins, brackets, etc. shall be joined according to structural principles.
  3. Where a change in material is desired, all façade materials shall turn the corner and terminate into a vertical element of the façade composition.
  4. **Materials Defining Building Elements.**
    - a. *Base.* For multistory buildings, the base of the building shall be defined by a distinct material selected from among the following: Stone, brick, concrete, CMU, tile, or stucco ("base material").
    - b. *Body.* Typical materials for the main body of the building include wood, fiber cement, brick, stone, or stucco. If brick is used, it must extend vertically to the base; if stone is used, it must extend vertically to the foundation.

- c. *Parapet.* Parapets shall terminate in a parapet cap of stone, concrete, tile, metal, or molded stucco.
- d. *Bays.* Horizontal changes in finish material shall occur at the boundaries between bays rather than within a bay.
- e. *Arcades.* Arcades shall be supported by columns or piers in concrete/cast stone, fiberglass, or stucco. Archivolts and impostes shall be expressed using similar materials/appearance.
- f. *Structural elements.* Structural elements visible on the building exterior (e.g. rafters, purlins, posts, beams, balconies, brackets, trusses, columns, arches, etc.), even when ornamental, shall be sized and spaced according to their corresponding structural role, and materials shall be selected accordingly (see A. Architectural Integrity).

5. ***Materials Allowed for Building Details/Ornament.***

- a. Wood
- b. Metal (wrought iron, copper, aluminum, tin)
- c. Glass fiber reinforced concrete (GFRC)/fiberglass
- d. Terra Cotta
- e. Tile
- f. Plaster

E. **Colors.**

- 1. A maximum of 4 colors shall be applied to be the building façade:
  - a. 1 primary color comprising 50 percent or more of the façade.
  - b. 1 secondary color comprising no more than 30% of the façade.
  - c. 1 tertiary color comprising no more than 20% of the façade.
  - d. 1 accent color for use on trim and architectural details.
- 2. Materials with intrinsic, naturally-occurring coloration shall not count towards this maximum. Such materials are limited to copper, Corten steel, unpainted wood, tile, and brick. Materials with prefinished color (stucco, cement fiberboard, colorized metal) shall count towards the maximum.
- 3. Changes in color may occur:
  - a. To articulate changes between base, body, and top portions of a façade, which must be separated by a cornice or profile or a change in material and must remain consistent across the length of the façade bay.
  - b. When a portion of the elevation is articulated as a separate building with a break in the roof form and a step back in the façade plane 5 feet or greater or step up in façade height at least 10 feet.
  - c. On attached elements, such as bay windows, orioles, and balconies.

- F. **Habitable Outdoor Space.** Habitable outdoor space supported by the building structure shall be either uncovered or sheltered according to one of the following patterns:
1. **Pergola:** Posts supporting beams with brackets, which in turn support purlins and/or rafters. Posts shall be no narrower in any dimension than 3.5" or 1/20 of the unbraced post length, whichever is greater.
  2. **Trabeation:** Posts or columns supporting beams with or without brackets, which in turn support either an additional floor level (for multi-story porches/balconies) or a full roof system based on rafters and/or purlins with decking and finish material. Posts shall be no narrower in any dimension than 3.5" or 1/20 of the unbraced post length, whichever is greater. The distance between posts shall be no wider than the total post height.
  3. **Arcuation:** Encompassed by walls that are penetrated by arched openings bounded by either columns or piers. The ratio of column diameter [at lowest part of shaft] to column height shall be no less than 1:10 and no greater than 1:7. Width of piers at corners [abutments] shall be no less than 1/3 of the opening width; piers between multiple arched openings may be narrower.
  4. **Rectilinear:** Bounded by square/rectangular piers framing rectilinear wall openings. If lintels are expressed on the facade, they shall extend over the piers by 4"-6" at each end. Piers shall be no narrower in any dimension than 15.5" or 1/6 of the opening width, whichever is greater. Piers at corners shall be wider than piers between openings.
  5. **Fabric Shading:** Shaded by fabric elements such as awnings or stretched canvas, secured to the building structure, sheltered by Main Roof Form, supported by other building volumes.
    - a. Cantilevered balconies shall be secured architecturally to the wall below by brackets.
    - b. Bracket material shall be consistent with that of the balcony's floor structure.
- G. **On-site landscaping**
1. Trees planted on the southside of the building must be deciduous
  2. Vegetation shall be installed along all exposed east and west facing walls.
  3. Groundcovers shall be planted over a minimum 50 percent of landscaped areas to prevent ground reflection and keep surfaces cool.
- H. **Screening.**
1. Rooftop mechanical equipment must be screened from public view.
  2. Barbed wire, chain-link, and razorwire are not permitted.

