

571 Cherry Avenue

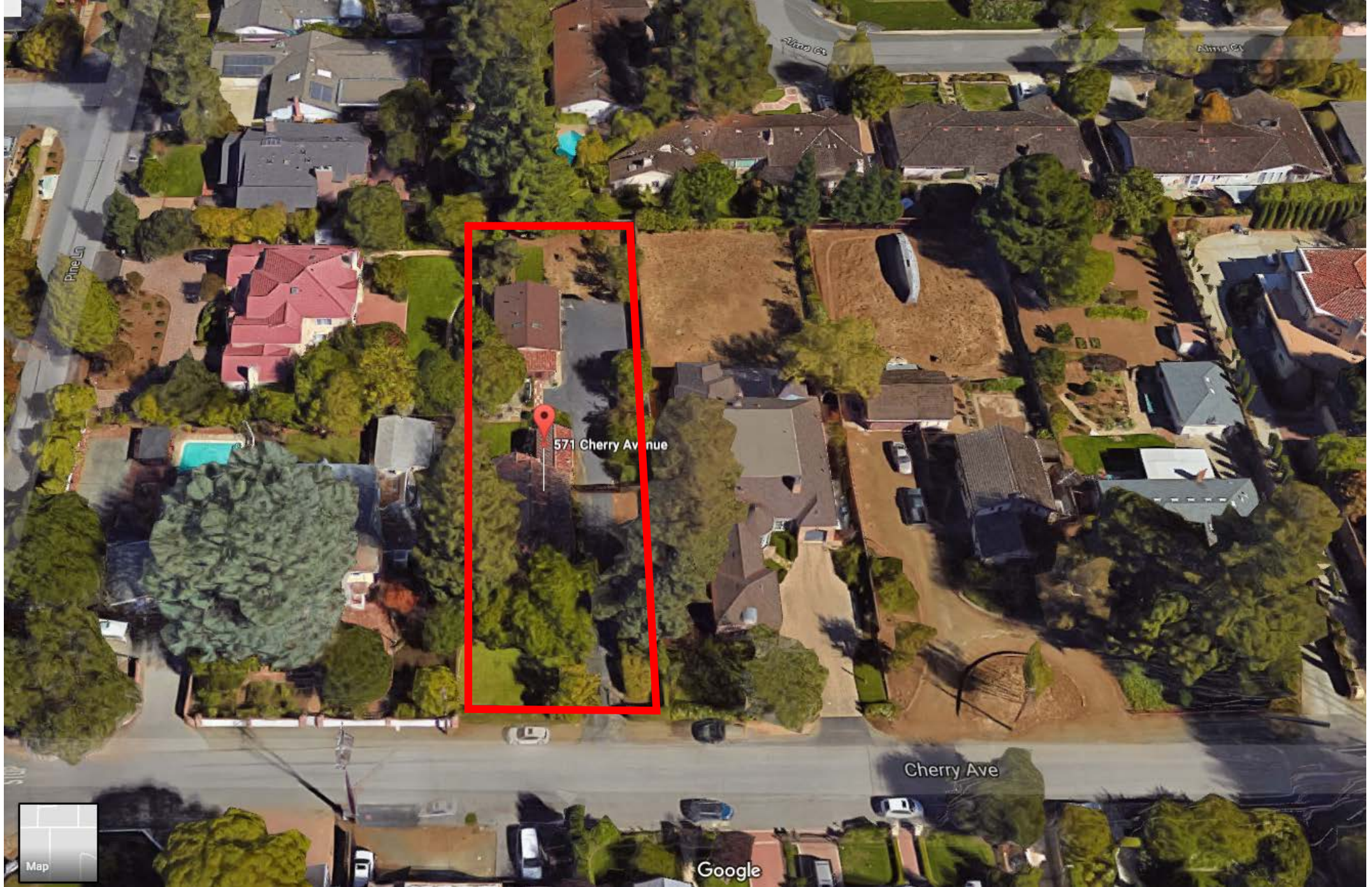
City Council

Tuesday, January 23, 2018
7:00 pm









Pine Ln

Alma Ct

Alma Ct

571 Cherry Avenue

Cherry Ave



Google



GENERAL NOTES

- A** VERIFICATION CONTRACTOR & ALL SUBCONTRACTORS SHALL VERIFY ALL GRADES, DIMENSIONS & CONDITIONS PRIOR TO START OF WORK
- B** DIMENSIONS DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS
- C** DISCREPANCIES FORCE DISCREPANCIES BETWEEN DRAWINGS & ACTUAL CONDITIONS ARE TO BE REPORTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF C.D.A. IMMEDIATELY.
- D** CONTRACT DOCUMENTS CONSTRUCTION DOCUMENTS TO POST DATE JOB COPY, VERIFY DOCUMENT DATE WITH C.D.A. PRIOR TO START OF WORK. CONTRACTOR TO ENSURE THAT ANY REVISED DOCUMENTS SHALL BE PROVIDED TO SUBCONTRACTORS IMMEDIATELY.

APPLICABLE CODES

THIS PROJECT SHALL COMPLY (AS REQUIRED) WITH THE:
 2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA RESIDENTIAL CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA FIRE CODE
 2016 CALIFORNIA ENERGY CODE

SITE PLAN NOTES

- 1** DRIVEWAY AC PAVING TO BE REF-ACED AFTER COMPLETION OF CONSTRUCTION
- 2** FLATWORK CONCRETE WALKWAYS, ALTERNATE BID FOR STONE PAVING
- 3** GRADING N/A
- 4** DRAINAGE SEE CIVIL DWGS BY OTHERS
- 5** STORM DRAINAGE SEE CIVIL DWGS BY OTHERS
- 6** DIMEN LATERAL TIE INTO EXISTING IN CRAWL SPACE
- 7** GAS & ELEC SERVICE (R-1) SERVICES TO REMAIN
- 8** SETBACKS AS PER PLAN
- 9** TREES PROTECT (E) DURING CONSTRUCTION
- 10** FENCES PROTECT (E) DURING CONSTRUCTION
- 11** LANDSCAPE PROTECT (F) @ FRONT YARD DURING CONSTRUCTION

TABULATIONS

EXISTING RESIDENCE	1,427.47 SQ.FT.
(E) ACCESSORY BLDG.(TO BE REMOVED)	764.18 SQ.FT.
EXISTING TO REMAIN	1,427.47 SQ.FT.
PROPOSED MAIN FLOOR ADDITION	2,113.14 SQ.FT.
PROPOSED GARAGE	219.37 SQ.FT.
TOTAL ADDITION	2,332.51 SQ.FT.
TOTAL PROPOSED	3,759.98 SQ.FT.

COVERAGE & F.A.R.

SITE PLAN	15,518.66	SQ. FT. = 35 AC.
COV: ALLOWABLE	5,431.53	SQ. FT. = 30.38 %
EXISTING	2,464.96	SQ. FT. = 15.88 %
PROPOSED	3,916.43	SQ. FT. = 25.28 %
FAR: ALLOWABLE	4,301.86	SQ. FT. = 27.82 %
EXISTING	2,211.65	SQ. FT. = 14.25 %
PROPOSED	3,759.98	SQ. FT. = 24.23 %

CONSULTANT DIRECTORY

SURVEYOR
 DOORE & ASSOCIATES
 2352 CHAPARRAL CIRCLE
 PLEASANT VALLEY, CA 94646
 (925) 432-6212
 T80

SOILS ENGINEER
 T80

CIVIL ENGINEER
 BESSEY & ASSOCIATES
 1733 WOODSIDE ROAD #125
 REDWOOD CITY, CA 94061
 (650) 368-0700
 T80

STRUCTURAL ENGINEER
 T80

ENERGY CONSULTANT
 T80

LANDSCAPE ARCHITECT
 T80

SHEET INDEX

- A - 1 SITE PLAN
BMP - SCC
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PROPERTY DESCRIPTION

OWNER GLORIA WANG & RUNZHEN HUANG

ADDRESS 571 CHERRY AVE.
LOS ALTOS, CA. 94022

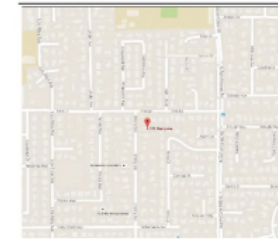
PARCEL 167-28-014

ACREAGE 0.365 ac.

ZONING R 1-10

PROJECT DESCRIPTION ADDITION AND INTERIOR REMODEL

VICINITY MAP



LOT CALCULATIONS

NET LOT AREA:	15,518.66 square feet (361)
FRONT YARD HARDSCAPE AREA	331.60 square feet (19.10 %)
Hardscape area in the front yard setback shall not exceed 50%.	
LANDSCAPING BREAKDOWN:	Total hardscape area (existing & proposed): 6,820.54 sq. ft. (44.53 %) Existing hardscape (existing & proposed): 3,916.43 sq. ft. (25.28 %) New hardscape area: 2,904.11 sq. ft. (19.25 %)

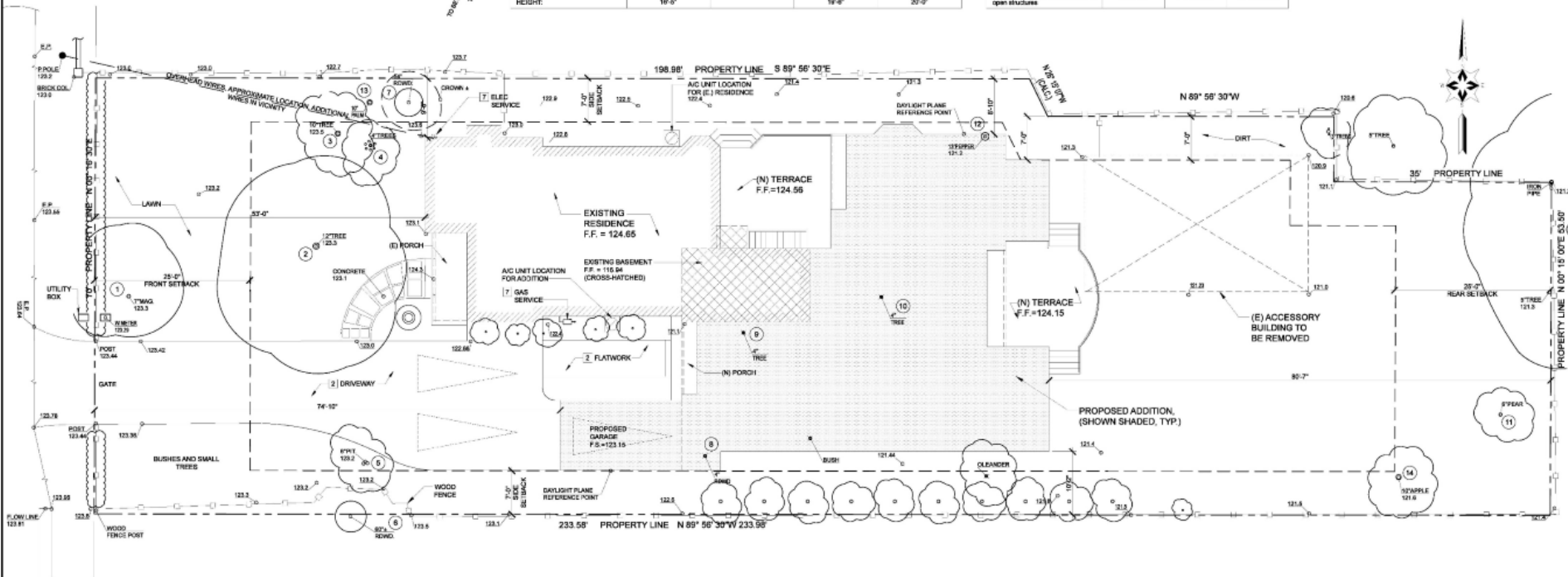
SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	2,211.65 sq. ft. (-784.10 sq. ft.)	+2,113.14 sq. ft.	3,540.61 sq. ft.
NON-HABITABLE AREA:	0.00 sq. ft.	219.37 sq. ft.	219.37 sq. ft.
Does not include covered porches or open structures			

TREE SCHEDULE

- 1 7" MACHONIA X X X
- 2 12" TREE X X X
- 3 18" TREE X X X
- 4 6" TREE X X X
- 5 8" PYRUS SPERM X X X
- 6 6" REDWOOD X X X
- 7 5" REDWOOD X X X
- 8 4" REDWOOD X X X
- 9 4" TREE X X X
- 10 4" TREE X X X
- 11 8" PINE X X X
- 12 10" PINE X X X
- 13 10" PALM X X X
- 14 10" APPLE X X X

X X X TO BE REMOVED TO REMAIN



SITE PLAN

1/8" = 1'-0"

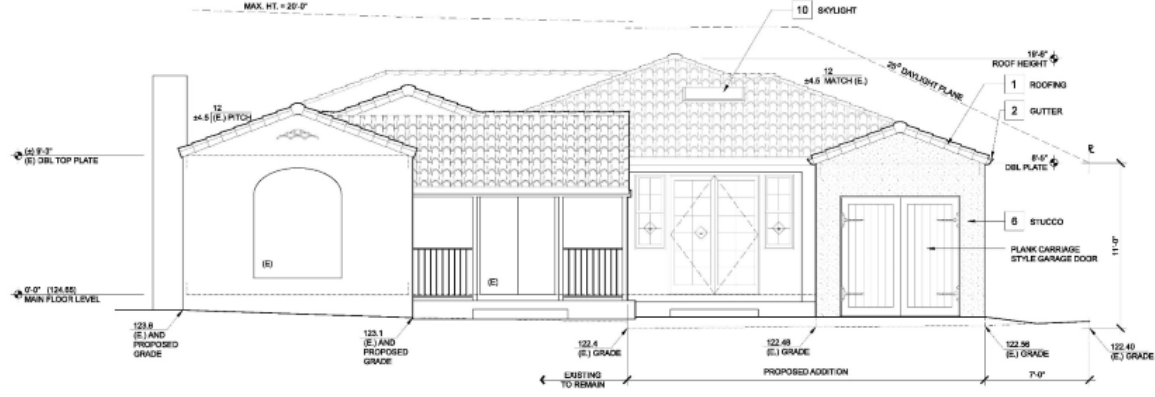
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CLIENT (JOB NO. 21613)
GLORIA WANG & RUNZHEN HUANG
 571 CHERRY AVE. LOS ALTOS, CA. 94022
 PHONE NO. (650) 426-8058

CHAPMAN DESIGN ASSOCIATES
 571 CHERRY AVE. LOS ALTOS, CA. 94022
 PHONE NO. (650) 941-6890

SHEET
A - 1



FRONT ELEVATION

1/4" = 1'-0"



REAR ELEVATION

1/4" = 1'-0"

GENERAL NOTES

- I STUCCO REQUIREMENTS: 1) 3 COAT & 1/2" MIN. THICK; 2) HAS 2 LAYERS OF GRADE 9 REINFORCING FABRIC; 3) 26 GA GALVANIZED WEEP SCREEN AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE OR 2" ABOVE CONCRETE OR PAVING (SEC. 2512.31, 2510.6 & 2512.1.2 CMC 2016)
- II FLEE CLEARANCE AS PER SECTION R308.18 CMC 2016, 2'-0" ABOVE COMBUSTIBLE CONSTRUCTION @ 12'-0" AWAY
- III CHIMNEY BRACING AS PER CH. 10 CMC 2016
- IV SHANK ARRESTOR PROVIDE AS PER SEC. R3603.4.1 CMC 2016
- V TEMPERED GLASS PROVIDE TEMPERED SAFETY GLASS @ HAZARDOUS LOCATIONS PER SEC. R308.4 CMC 2016

EXTERIOR MATERIAL NOTES

- 1 ROOFING LIGHT WEIGHT CEMENT SPANISH TILE WITH IMPREGATED RAFTER TAILS (ALT. BID FOR 3/4 RAFTER TAILS)
- 2 GUTTER G.L. HALF ROUND, PAINTED
- 3 DOWN SPOUTS G.L.ROUND, PAINTED
- 4 SIDING N/A
- 5 TRIM N/A
- 6 STUCCO SAND FINISH
- 7 VENEER N/A
- 8 WINDOWS DUAL GLAZED WOOD CASIMENTS
- 9 WINDOW TRIM ROLLED STUCCO WITH CAST STONE SILL
- 10 SKYLIGHTS "VELUX", WOPRA HALLMARK CERTIFICATION 426 OR EQ.
- 11 CHIMNEY EXISTING TO REMAIN

LEGEND

- ◊ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET (A-16) FOR FURTHER SPECIFICATIONS
- ◊ DOOR. SEE "DOOR SCHEDULE" ON SHEET (A-16) FOR FURTHER SPECIFICATIONS

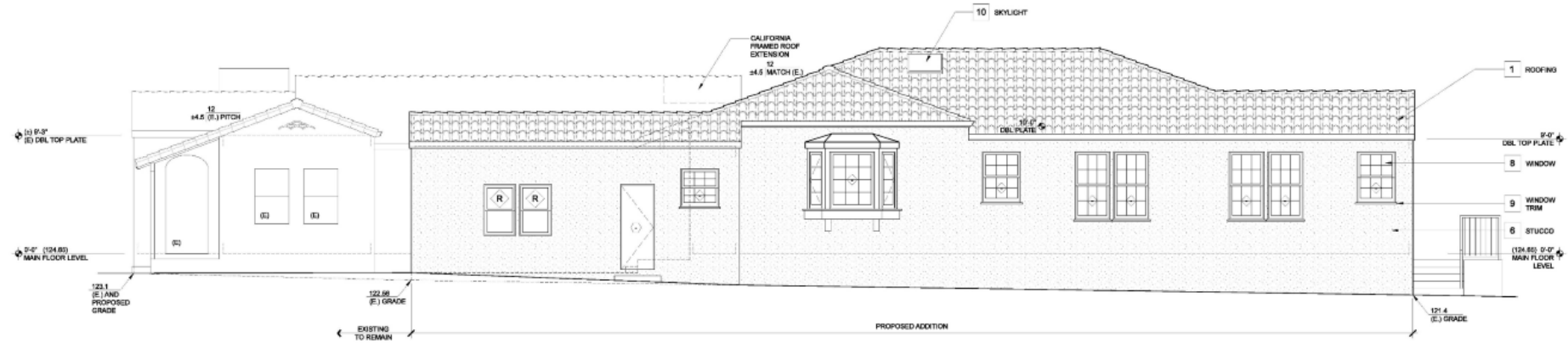
*** NOTE**

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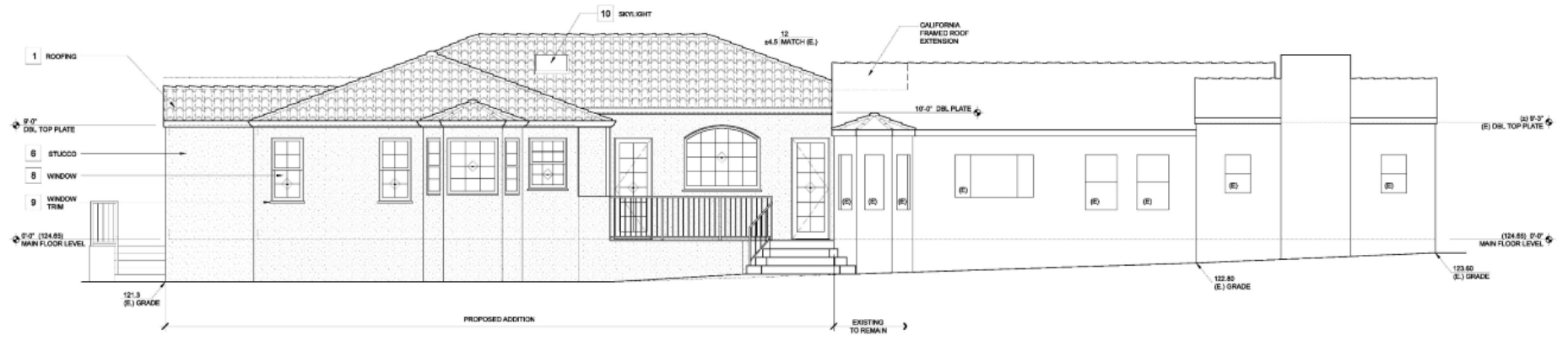
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SHEET

A - 5



RIGHT ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

LEGEND

◊ WINDOW. SEE "WINDOW SCHEDULE" ON SHEET (A-16) FOR FURTHER SPECIFICATIONS

⊕ DOOR. SEE "DOOR SCHEDULE" ON SHEET (A-16) FOR FURTHER SPECIFICATIONS

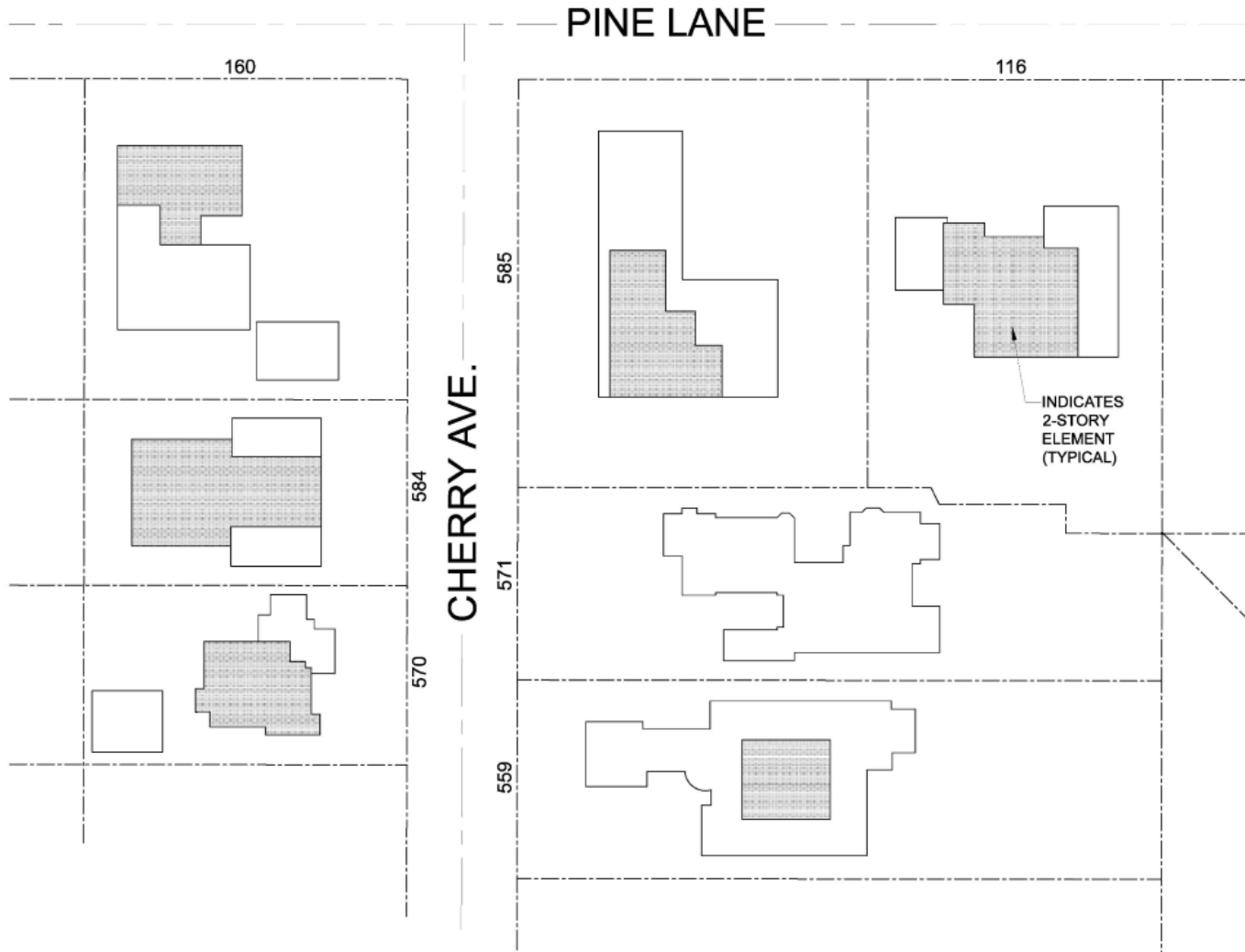
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LOS ALTO, CA 94022 (650) 941-6890

SHEET
A - 6



AERIAL MAP
1" = 20'-0"

NOTE
 THIS AERIAL MAP WAS
 PREPARED BY THE DESIGNER AND
 DOES NOT REPRESENT THE ACTUAL
 CONDITIONS OF THE SITE. THE
 DESIGNER HAS CONDUCTED A VISUAL
 SURVEY OF THE SITE AND HAS
 FOUND NO OBVIOUS DISCREPANCIES
 BETWEEN THE AERIAL PHOTOGRAPHY
 AND THE DESIGNER'S RECORD DRAWING.

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SHEET
A - 1B

EXISTING RESIDENCE - HABITALBE

- A** 15'-4" x 18'-10.5" = 289.42 s.f.
- B** 14'-3.0" x 12'-2" = 173.08 s.f.
- C** 27'-3.5" x 22'-4.0" = 610.65 s.f.
- D** = 159.89 s.f.
- E** 11'-8.75" x 20'-7.0" = 243.63 s.f.
= 1,427.47 s.f.

ADDITION - HABITALBE

- F** 11'-7.0" x 18'-3.0" = 212.64 s.f.
- G** 12'-2.25" x 6'-0" = 78.17 s.f.
- H** = 7.91 s.f.
- I** 9'-2.25" x 45'-0.0" = 420.71 s.f.
- J** 18'-10" x 7'-0" = 117.83 s.f.
- K** 7'-7.75" x 31'-0" = 240.21 s.f.
- L** 15'-9.0" x 28'-0" = 448.75 s.f.
- M** 9'-3.0" x 25'-1.0" = 158.08 s.f.
- N** 6'-7" x 3'-0" = 19.75 s.f.
- O** 13'-1" x 7'-0" = 91.08 s.f.
- P** 12'-4" x 20'-7.0" = 359.63 s.f.
- Q** = 9.80 s.f.
- = 2,113.14 s.f.

ADDITION - NON-HABITALBE

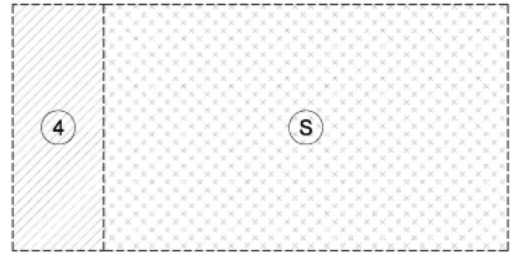
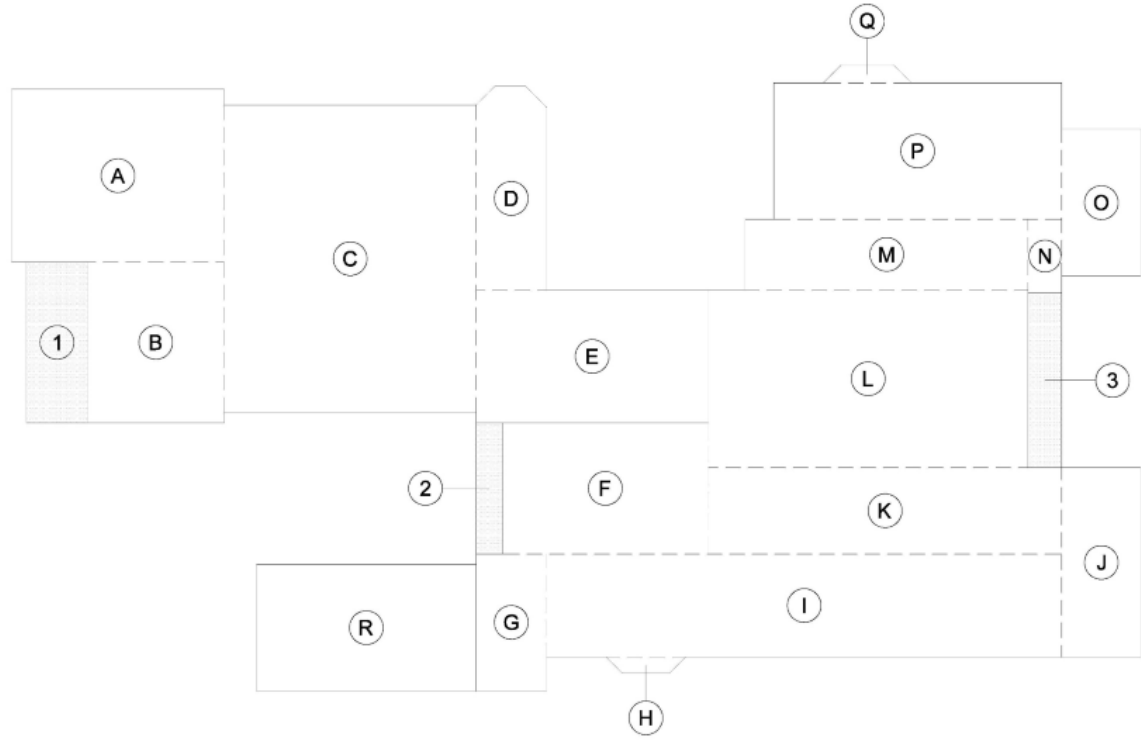
- R** 11'-3" x 19'-4" = 219.37 s.f.
= 2,332.51 s.f.

EXISTING COVERAGE (ADDITION)

- 1** 14'-3.0" x 2'-4.0" = 79.80 s.f.

PROPOSED COVERAGE (ADDITION)

- 2** 11'-7.0" x 2'-4" = 27.13 s.f.
- 3** 15'-4" x 3'-0" = 45.90 s.f.
= 79.83 s.f.



EXISTING ACCESSORY BUILDING TO BE DEMOLISHED

- S** 21'-10" x 35'-11" = 794.18 s.f.

EXISTING COVERAGE TO BE DEMOLISHED

- 4** 21'-10" x 8'-7" = 175.49 s.f.

*** NOTE**

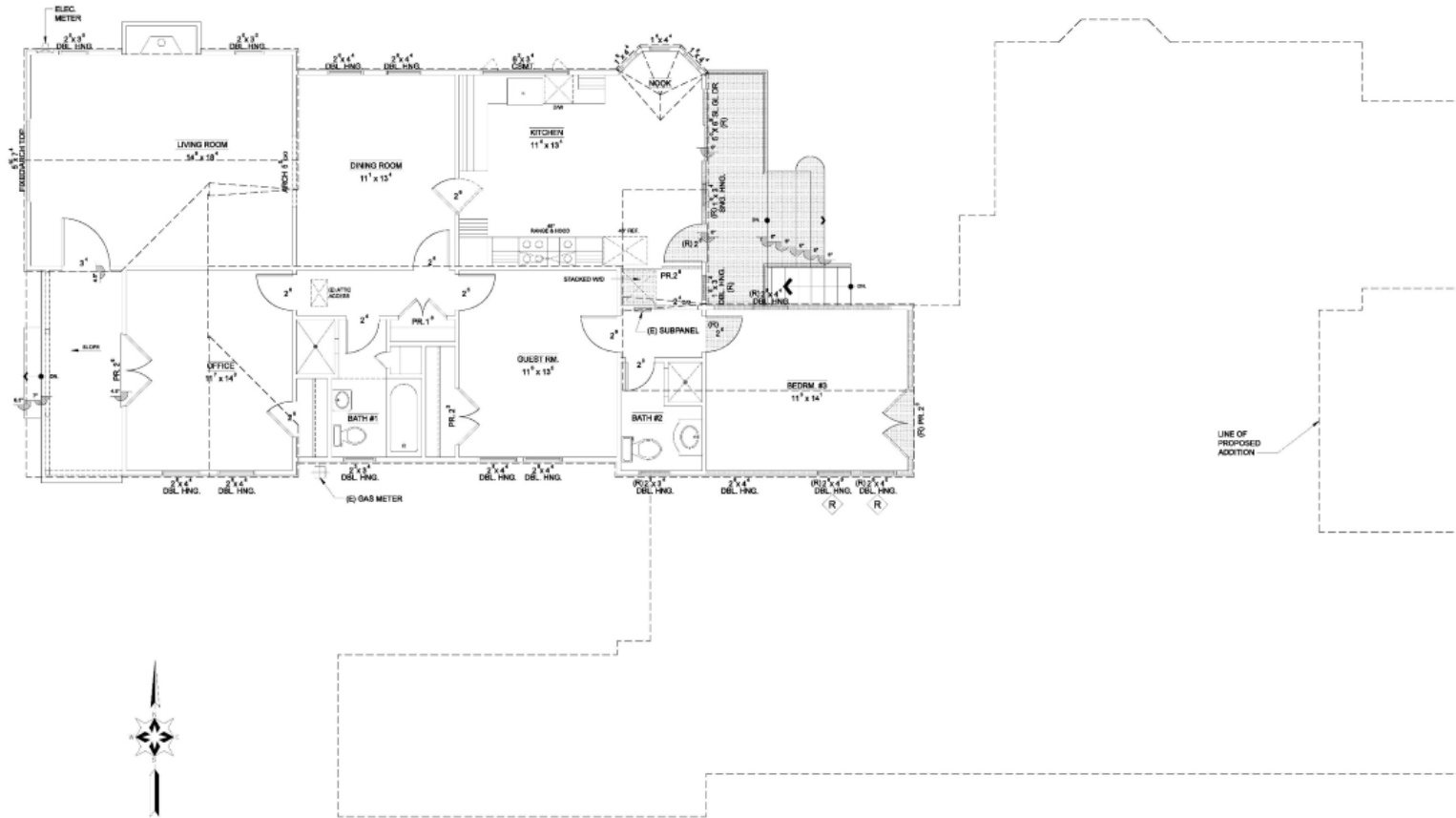
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400 S. BAYVIEW (650) 941-6890
LOS ALTO, CA. 94027

SHEET

A - 1A



MAIN FLOOR DEMOLITION PLAN

1/4" = 1'-0"

GENERAL NOTES

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WORKING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS
- 2 WINDOWS & SKYLIGHTS
- 3 CABINETRY
- 4 FLOOR COVERINGS
- 5 LIGHT FIXTURES
- 6 APPLIANCES
- 7 LANDSCAPE
- 8 PLUMBING
- 9 VENER
- 10 ELECTRICAL METER
- 11 GAS METER

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CABINETS, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

*** NOTE**

THIS SHEET IS TO BE USED IN CONJUNCTION WITH THE GENERAL NOTES AND DEMOLITION NOTES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL ADJACENT AREAS AND STRUCTURES FROM DAMAGE DURING DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL DEBRIS AT AN APPROVED DUMPING LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATING ANY HAZARDOUS MATERIALS FOUND AT THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SITE TO ITS ORIGINAL CONDITION OR BETTER.

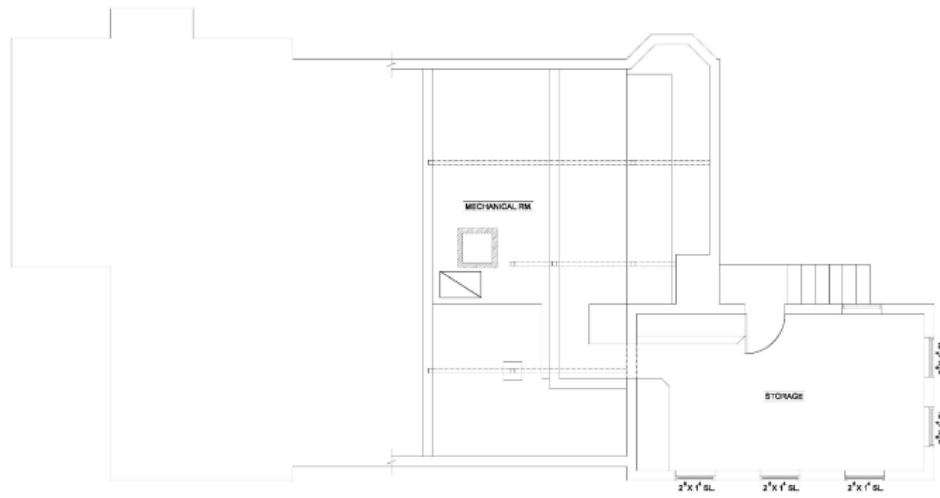
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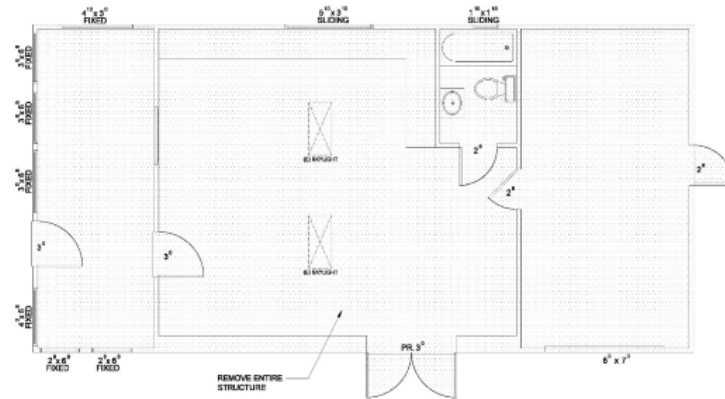
SHEET

A - 2



BASEMENT DEMOLITION PLAN

1/4" = 1'-0"



GARAGE DEMOLITION PLAN

1/4" = 1'-0"



GENERAL NOTES

- I PLUMBING CAP OFF, EXTEND OR RELOCATE AFFECTED WATER SUPPLY, DRAIN AND WASTE LINES AS REQUIRED
- II ELECTRICAL REPLACE (OR RELOCATE AS REQUIRED) ALL EXISTING WORKING DAMAGED OR REMOVED DURING CONSTRUCTION
- III DUCTWORK REPLACE, RELOCATE OR EXTEND (AS REQUIRED) ALL EXISTING DUCTWORK DAMAGED OR REMOVED DURING CONSTRUCTION
- IV BRACING CONTRACTOR TO PROVIDE BRACING (WHEN REQUIRED) FOR AREAS WHERE WALLS ARE REMOVED AND WHERE TEMPORARY SUPPORT IS REQUIRED
- V DISPOSAL ALL DEBRIS IS TO BE DISPOSED OF AT AN APPROVED DUMPING LOCATION
- VI HAZARDOUS MATERIALS IF LEAD PAINT, ASBESTOS, ETC., ARE FOUND AT THE JOB SITE, STOP WORK IMMEDIATELY AND CONTACT OWNER AND C.D.A. FOR INSTRUCTIONS

DEMOLITION NOTES

- 1 DOORS
- 2 WINDOWS & SKYLIGHTS
- 3 CABINETRY
- 4 FLOOR COVERINGS
- 5 LIGHT FIXTURES
- 6 APPLIANCES
- 7 LANDSCAPE
- 8 PLUMBING
- 9 VENER
- 10 ELECTRICAL METER
- 11 GAS METER

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS, CABINETS, FIXTURES, ETC. TO BE REMOVED
- (E) EXISTING TO REMAIN
- (R) EXISTING TO BE REMOVED
- EXISTING TO BE RELOCATED

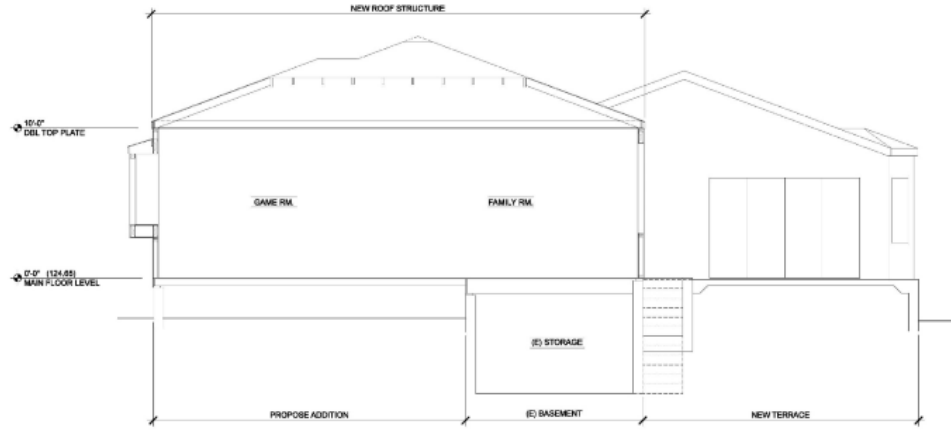
*** NOTE**
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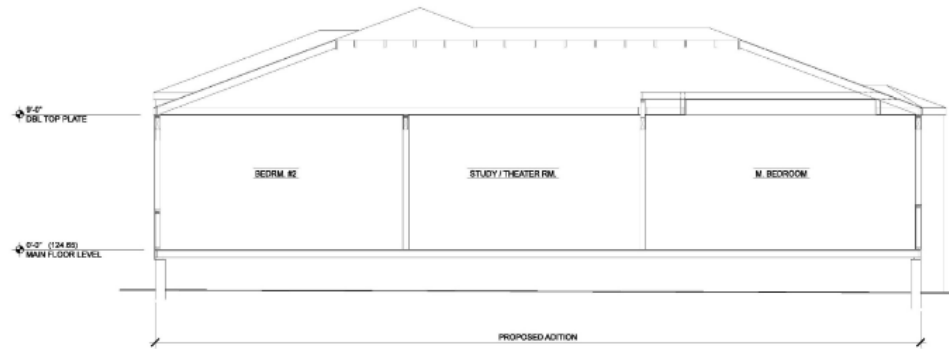
SHEET

A - 3



CROSS SECTION C-C

1/4" = 1'-0"



CROSS SECTION D-D

1/4" = 1'-0"

SECTION NOTES

- 1 ROOF ROOF MATERIAL (SEE ROOF PLAN FOR TYPE) @ 3/8" UNDERLAYMENT @ SHEATHING (SEE SHEATHING SCHEDULE F FOR TYPE) @ RAFTERS (SEE ROOF PLAN AND/OR ROOF FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 2 CEILING @ ATTIC CEILING JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING) w/ 1/2" SHEETROCK, TYPICAL U.O.N.
- 3 EXTERIOR WALL EXTERIOR FINISH (SEE EXTERIOR ELEVATIONS FOR TYPE) @ 2 LAYERS CLASS "D" BUILDING PAPER @ SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) @ 2x4 STUDS @ 16" o.c. @ 2x4 STUDS @ MAIN PLUMBING WALLS @ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK @ INSIDE FACE, TYPICAL U.O.N.
- 4 INTERIOR WALL 2x4 @ 2x4 STUDS @ 16" o.c. @ 2x4 STUDS @ MAIN PLUMBING WALLS W/ DOUBLE 2x4 TOP PLATE & 2x4 SOLE PLATE W/ 1/2" SHEET ROCK BOTH SIDES, TYPICAL U.O.N.
- 5 FLOOR FLOOR SHEATHING (SEE SHEATHING SCHEDULE FOR TYPE) @ FLOOR JOISTS (SEE FRAMING PLAN AND/OR FLOOR/CEILING FRAMING SCHEDULE FOR TYPE/SIZE & SPACING), TYPICAL U.O.N.
- 6 GARAGE SLAB SEE FOUNDATION PLAN

LEGEND

- ◊ WINDOW, SEE "WINDOW SCHEDULE" ON SHEET (A-16) FOR FURTHER SPECIFICATIONS
- ◊ DOOR, SEE "DOOR SCHEDULE" ON SHEET (A-16) FOR FURTHER SPECIFICATIONS

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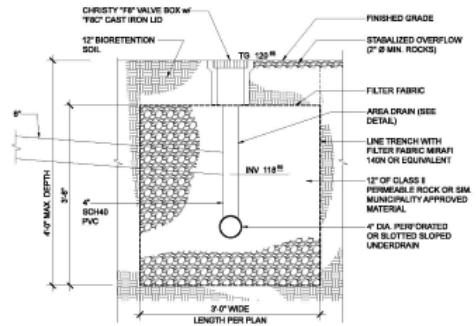
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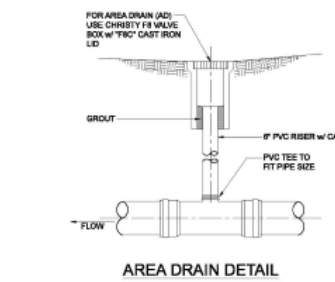
SHEET

A - 10

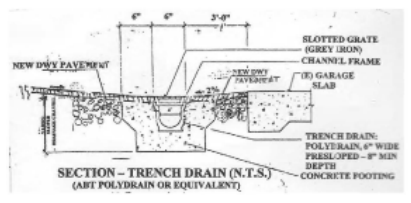


ON-SITE BIORETENTION TRENCH

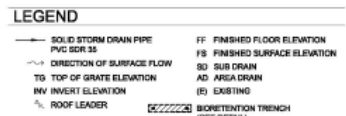
BIOREMEDIAL GRASS SWALE (NO SCALE)



AREA DRAIN DETAIL



SECTION - TRENCH DRAIN (N.T.S.) (AFT POLYDRAIN OR EQUIVALENT)

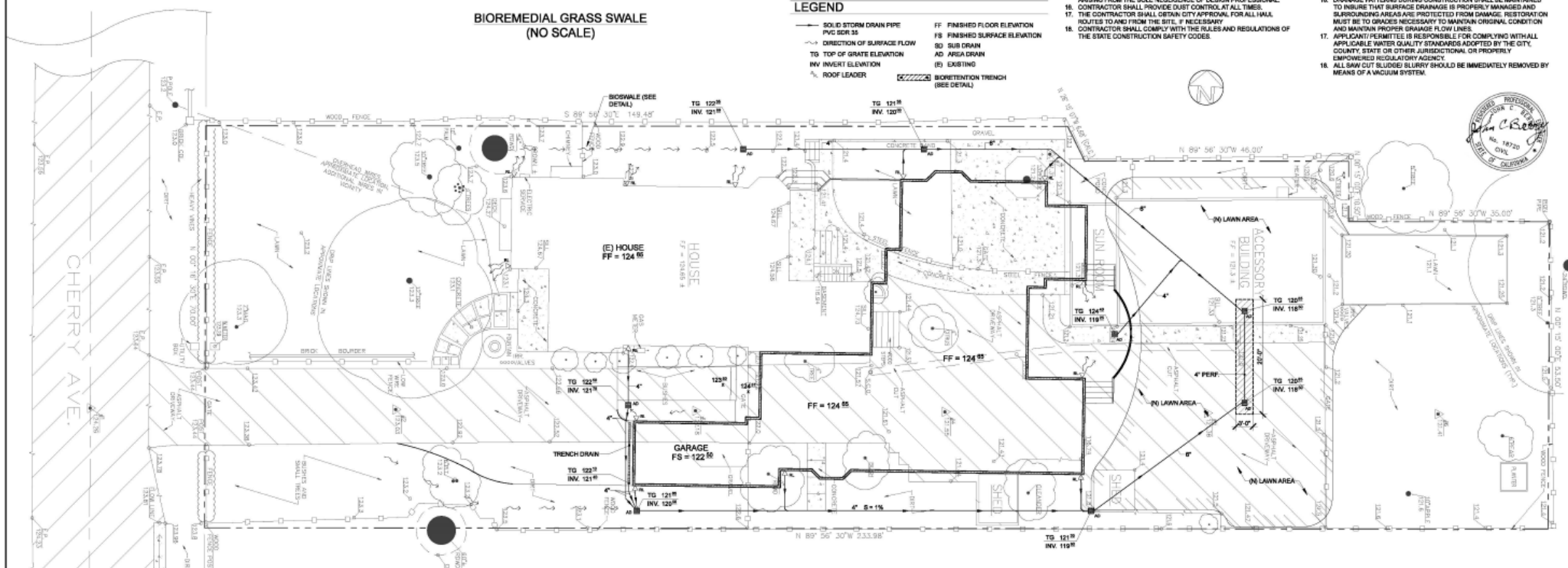


GENERAL NOTES:

- ALL DEBRIS RESULTING FROM DEMOLITION OF EXISTING STRUCTURES SHALL BE REMOVED FROM THE SITE AND MAY NOT BE USED AS FILL.
- PRIOR TO CONSTRUCTION, ALL VEGETATION AND ORGANICALLY CONTAMINATED SOILS SHALL BE CLEARED FROM THE AREA.
- SLOPES ARE TO BE GRADED TO WITHIN ± 2" OF THE ELEVATIONS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE GRADING OPERATIONS AS WELL AS FOR DISPOSING OF ANY EXCESS MATERIAL.
- CUT AND FILL SLOPES SHALL BE CONSTRUCTED NO STEEPER THAN 2:1.
- ALL HOLES RESULTING FROM REMOVAL OF TREE STUMPS AND ROOTS, SHALL BE OVER EXCAVATED INTO FIRM MATERIAL AND THEN BACK FILLED AND COMPACTED WITH NATIVE MATERIALS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY THE CITY ENGINEER UPON DISCOVERY OF ANY FIELD CONFLICTS.
- FILLS WILL NEED TO BE PLACED ONTO LEVEL CUT MADE THROUGH ALL TOPSOIL AND LOOSE SOFT SUBSOIL.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE DRAWING AND THE FIGURES WRITTEN THEREON, THE FIGURES SHALL BE TAKEN AS CORRECT AND SHALL GOVERN.
- ALL GRADING, INCLUDING CUTTING DRAINWAY TO SUB GRADE, SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF ANY OTHER IMPROVEMENTS. THE DESIGN ENGINEER ASSUMES NO LIABILITY FOR ADJUSTMENT TO, MODIFICATIONS OF, OR DEMOLITION AND RECONSTRUCTION OF ANY IMPROVEMENTS WHICH ARE CONSTRUCTED PRIOR TO THE COMPLETION OF EARTHWORK OPERATION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN ENGINEER OF ANY DIFFERENCES OF LOCATION OF EXISTING UTILITIES FROM THAT SHOWN OR OF ANY CONFLICTS BEFORE CONTINUING WORK IN THAT AREA.
- THE DESIGN ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION, EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITIES OR STRUCTURES WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES AND STRUCTURES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL KEEP EXISTING STREETS FREE FROM DIRT AND DEBRIS DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES AND WINTERIZATION MEASURES DURING RAINY SEASON OPERATION AND PROTECT ALL GRADED AREAS FROM EROSION.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AT ALL TIMES.
- THE CONTRACTOR SHALL OBTAIN CITY APPROVAL FOR ALL LANE CLOSURES TO AND FROM THE SITE. IT IS HEREBY
- CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY CODES.

GENERAL REQUIREMENTS FOR ALL JOBS

- THE NAMED APPLICANT SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY SUITS, CLAIMS OR ACTIONS BROUGHT BY ANY PERSON OR PERSONS FOR OR ON ACCOUNT OF ANY SUITS OR DAMAGES ARISING OR OCCASIONED FROM THE SUBJECTS OF THIS PERMIT.
- NO COMMENCEMENT OF ANY WORK UNDER THIS PERMIT SHALL CONSTITUTE ACCEPTANCE OF THE CONDITIONS AND REQUIREMENTS OF THIS PERMIT.
- THE CITY MAY REQUIRE MODIFICATIONS TO THIS PERMIT AS NEEDED BECAUSE OF SPECIAL FIELD CONDITIONS.
- NO OTHER WORK, OTHER THAN SPECIFICALLY MENTIONED, IS HEREBY AUTHORIZED. A COPY OF THIS PERMIT MUST BE KEPT ON THE SITE OF THE WORK TO BE SHOWN TO ANY AUTHORIZED REPRESENTATIVE OF THE CITY.
- THIS PERMIT DOES NOT AUTHORIZE EXCAVATION AND GRADING ON PRIVATE PROPERTY. THIS PERMIT DOES NOT RELEASE THE APPLICANT PERMITTEE FROM LIABILITIES CONTAINED IN OTHER AGREEMENTS OR CONTRACTS WITH THE CITY, OTHER AGENCIES OR PERSONS.
- THIS PERMIT DOES NOT SUPERSEDE OR REPLACE ANY PERMIT THAT MAY BE NEEDED FROM OTHER AGENCIES. PROPER PERMIT MUST BE OBTAINED FROM STATE, COUNTY AND ANY OTHER AGENCY INVOLVED.
- THIS PERMIT IS VALID FOR SIXTY (60) DAYS FROM THE APPROVAL DATE UNLESS OTHERWISE NOTED.
- CONSTRUCTION SITE SIGNS, DEVICES AND LIGHTS SHALL BE IN ACCORDANCE WITH CALTRANS STANDARDS.
- USE OF A FLASHING ARROW PANEL IS MANDATORY WHEN WORK LOCATION IS WITHIN A 35 MPH SPEED ZONE.
- TRAFFIC CONDITIONS AND ADEQUATE PROTECTION OF THE PUBLIC IN THE VICINITY OF THE JOB SITE SHALL BE THE RESPONSIBILITY OF THE APPLICANT. DURING CONSTRUCTION ACTIVITIES, TWO-WAY TRAFFIC SHALL BE MAINTAINED A MINIMUM OF ONE TRAFFIC LANE SHALL BE KEPT PASSABLE AND UNDER THE CONTROL OF COMPETENT FLAG PERSONS AT NIGHT, WEEKENDS, AND HOLIDAYS. A MINIMUM OF TWO 12-FOOT WIDE TRAVEL LANES SHALL BE SAFE AND PASSABLE.
- ANY DAMAGE TO PAINTED STREET PAVEMENT DELINEATIONS, MARKINGS, OR REFLECTORS AND PAINTED CURBS SHALL BE RESTORED AS APPROVED BY THE ENGINEER.
- EXCAVATIONS WITHIN THE ASPHALT STREET SECTION SHALL BE BACKFILLED BEFORE LEAVING THE WORK FOR THE NIGHT, UNLESS OTHERWISE AUTHORIZED BY THE CITY'S REPRESENTATIVE.
- TEMPORARY SURFACING SHALL BE PLACED ON THE TRENCH SURFACE OVERNIGHT.
- ALL TRENCH BACKFILL REQUIRES CERTIFIED COMPACTION TEST TO 80% DENSITY OR GREATER FOR EACH LIFT (MAXIMUM LIFT OF 12") OR USE CONTROLLED DENSITY FILL (CDF) AS APPROVED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ISSUE OF CAL O.S.H.A. SAFETY ORDERS. THE CITY HAS NOT CHECKED TRENCH SAFETY AND TRENCH SAFETY IS NOT IMPERD BY THIS PERMIT.
- LANDSCAPING IS NOT TO BE DISTURBED ANY MORE THAN ABSOLUTELY NECESSARY. RESTORATION SHALL BE TO PROPERTY OWNER'S SATISFACTION.
- DRAINAGE PATTERNS DURING CONSTRUCTION SHALL BE MAINTAINED TO INSURE THAT SURFACE DRAINAGE IS PROPERLY MANAGED AND SURROUNDING AREAS ARE PROTECTED FROM DAMAGE. RESTORATION MUST BE TO GRACES NECESSARY TO MAINTAIN ORIGINAL CONDITION AND MAINTAIN PROPER GRADE/FLOW LINES.
- APPLICANT PERMITTEE IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WATER QUALITY STANDARDS ADOPTED BY THE CITY, COUNTY, STATE OR OTHER JURISDICTIONAL OR PROPERLY EMPOWERED REGULATORY AGENCY.
- ALL SAW CUT SLUDGE SLURRY SHOULD BE IMMEDIATELY REMOVED BY MEANS OF A VACUUM SYSTEM.



NO.	DESCRIPTION	APPROVED BY	DATE

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DRAWN BY: DEREK T. BERRY	CHECKED BY: JOHN BERRY	SHEET
DESIGNED BY: JOHN BERRY	SCALE: 1/8" = 1'-0"	C - 1
DATE: 01-07-2017		