

# ALTOS II | 4898 EL CAMINO REAL | WORKSHOP SUBMITTAL | JANUARY 15, 2019

## PROJECT DAT SUMMARY

ADDRESS: 4898 EL CAMINO REAL  
LOS ALTOS, CA 94022  
APN: 170-03-085  
ZONING: COMMERCIAL THOROUGHFARE (CT)  
SITE AREA: 18,919 S.F. ( .434 ACRES )  
BASE DENSITY: 17 UNITS (38 du/ac)  
PROPOSED DENSITY: 23 UNITS (53 du/ac)  
OCCUPANCY: S2 / R2  
CONSTRUCTION: TYPE IA / IIIA

## BUILDING AREA SUMMARY

LOWER BASEMENT FLOOR: 16,198 S.F.  
UPPER BASEMENT FLOOR: 15,738 S.F.  
FIRST FLOOR: 9,414 S.F.  
SECOND FLOOR: 10,667 S.F.  
THIRD FLOOR: 10,206 S.F.  
FOURTH FLOOR: 10,206 S.F.  
FIFTH FLOOR: 10,004 S.F.  
  
TOTAL LIVING: 50,497 S.F.  
GARAGE: 31,936 S.F.

## PROJECT TEAM

**OWNER**  
CONTACT: ALEX COMSA  
4898 ECR LLC  
728 ADDISON AVE  
PALO ALTO, CA 94301  
PHONE: (650) 996-1114  
EMAIL: ALEX@COMSAGROUP.COM

**ARCHITECT**  
CONTACT: JEFF POTTS  
SDG ARCHITECTS INC.  
3361 WALNUT BLVD. SUITE 120  
BRENTWOOD, CA 94513  
PHONE: (925) 634-7000  
EMAIL: JPOTTS@STRAUSSDESIGN.COM

**CIVIL ENGINEER**  
CONTACT : PETER CARLINO  
LEA & BRAZE ENGINEERING, INC  
2495 INDUSTRIAL PARKWAY WEST  
HAYWARD, CA 94545  
PHONE: (510) 887-4086  
EMAIL: PCARLINO@LEABRAZE.COM

**LANDSCAPE ARCHITECT**  
CONTACT : SCOTT E. FEUER  
ENVIRONMENTAL FORESIGHT, INC.  
1700 N. BROADWAY, SUITE 401  
WALNUT CREEK, CA 94596  
PHONE: (925) 945-0300  
EMAIL: SFEUER@ENVIRONMENTALFORESIGHT.COM

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Los Altos, CA  
January 15, 2019

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## AFFORDABLE HOUSING / DENSITY BONUS

**AFFORDABLE HOUSING**  
LOT SIZE: 18,919 / 43560 = .434 ac  
ALLOWABLE DENSITY: .434 ac x 38 du/ac = 16.49 = 17 UNITS  
AFFORDABLE HOUSING PER LAMC  
17 UNITS x 15% BMR = 2.55 = 3 BMR  
BMR REQUIRED: 2 MODERATE + 1 (ANY LEVEL)

**DENSITY BONUS**  
AFFORDABLE UNITS: 4 UNITS (2 MODERATE / 2 VERY LOW)  
DENSITY BONUS: 2 VERY LOW / 17 = 11.8% = 35% DENSITY BONUS  
17 UNITS X 35% = 5.95 (6 UNITS) = 23 UNITS

**PROPOSED BUILDING CONFIGURATION**  
(21) 3 BEDROOM / 2 BATHROOM UNITS  
(2) 4 BEDROOM / 3.5 BATHROOM UNITS  
**PROPOSED BMR UNITS**  
(2) 3 BEDROOM / 2 BATHROOM UNITS (VERY LOW INCOME)  
(2) 3 BEDROOM / 2 BATHROOM UNITS (MODERATE)

## INCENTIVES (11.8% VERY LOW = 2 INCENTIVES)

- FRONT YARD SETBACK DECREASE BY 20%
- HEIGHT INCREASE

STANDARD	REQUESTED
25'	20'
45'	56'

## WAIVERS

- ELEVATOR TOWER HEIGHT INCREASE
  - 154 SF ROOF STRUCTURE INCREASE\*
- \*INCLUDES ELEVATORS, STAIRS, AND TRASH ENCLOSURE

12'	17'-6"
(4%) 401 SF	(5.5%) 555 SF

## PARKING STANDARDS

PARKING STANDARDS (PER LAMC 14.74.080 )

REQUIRED SPACES	
2 SPACES PER UNIT:	46 SPACES
1 GUEST SPACES PER 4 UNITS:	6 SPACES
TOTAL REQUIRED:	52 SPACES
PARKING PROVIDED	
STANDARD SPACES:	54 SPACES
ADA SPACES:	2 SPACES
TOTAL PROVIDED:	56 SPACES

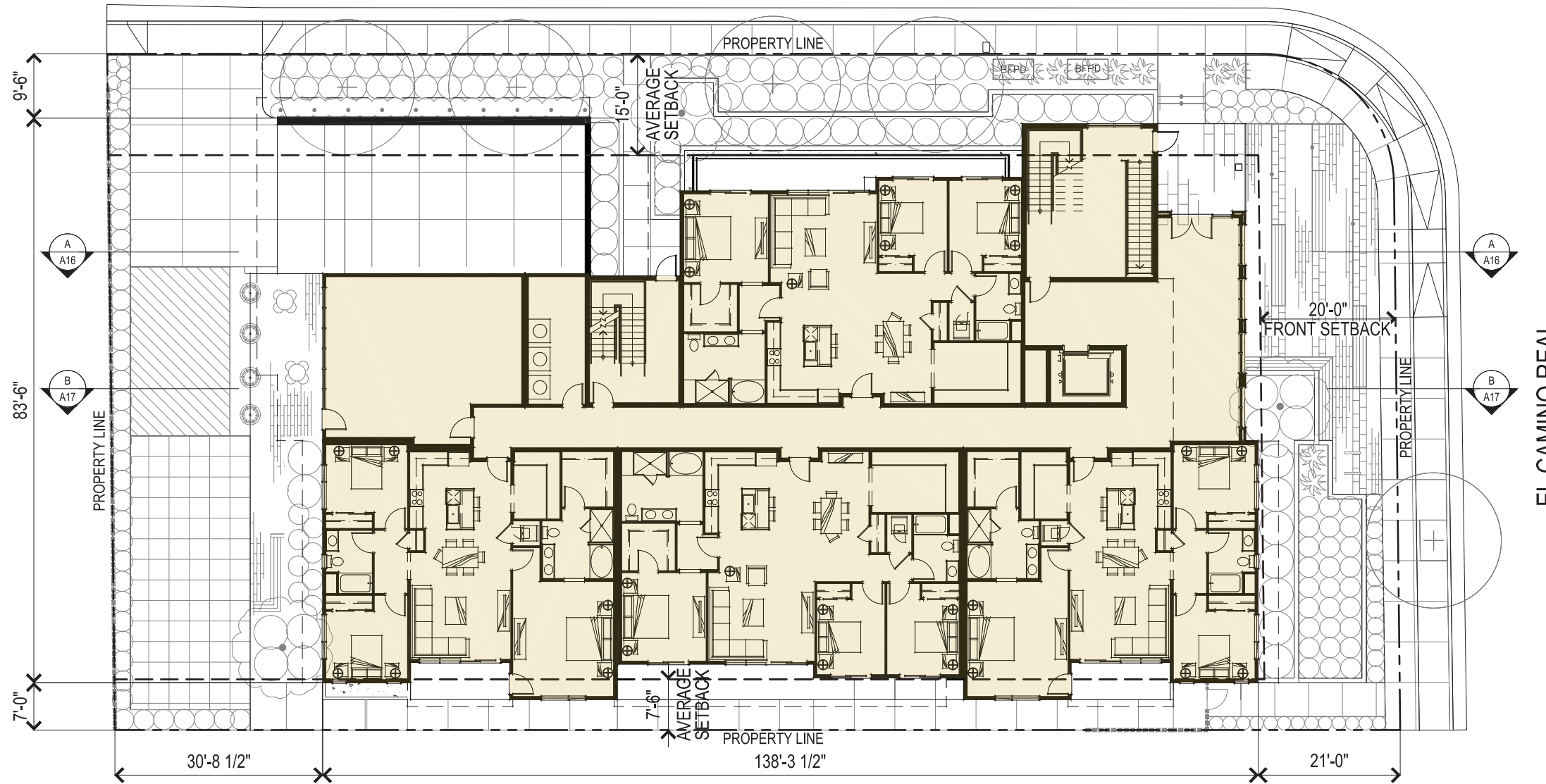
## DRAWING INDEX

COVER SHEET	A0
CONCEPTUAL SITE PLAN	A1
LOWER LEVEL BASEMENT	A2
UPPER LEVEL BASEMENT	A3
FIRST FLOOR PLAN	A4
SECOND FLOOR PLAN	A5
THIRD FLOOR PLAN	A6
FOURTH FLOOR PLAN	A7
FIFTH FLOOR PLAN	A8
ROOF PLAN	A9
PERSPECTIVE VIEW	A10
FRONT ELEVATION	A11
RIGHT ELEVATION	A12
REAR ELEVATION	A13
LEFT ELEVATION	A14
STREETSCAPE ELEVATIONS	A15
BUILDING SECTION A	A16
BUILDING SECTION B	A17
MATERIAL BOARD	A18
UNIT A FLOOR PLAN	A19
UNIT B1 FLOOR PLANS	A20
UNIT B2 FLOOR PLANS	A21
UNIT C FLOOR PLAN	A22
UNIT D FLOOR PLAN	A23
PRELIMINARY GROUND FLOOR LANDSCAPE PLAN	L-1
PRELIMINARY ROOF DECK LANDSCAPE PLAN	L-2
TITLE SHEET	C-1.0
PRELIMINARY SITE PLAN	C-1.1
PRELIMINARY GRADING AND DRAINAGE PLAN	C-2.0
PRELIMINARY UTILITY PLAN	C-3.0
TOPOGRAPHIC SURVEY	SU1
TREE EXHIBIT	EX-T

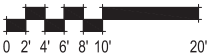


A0  
COVER SHEET

JORDAN AVE



EL CAMINO REAL



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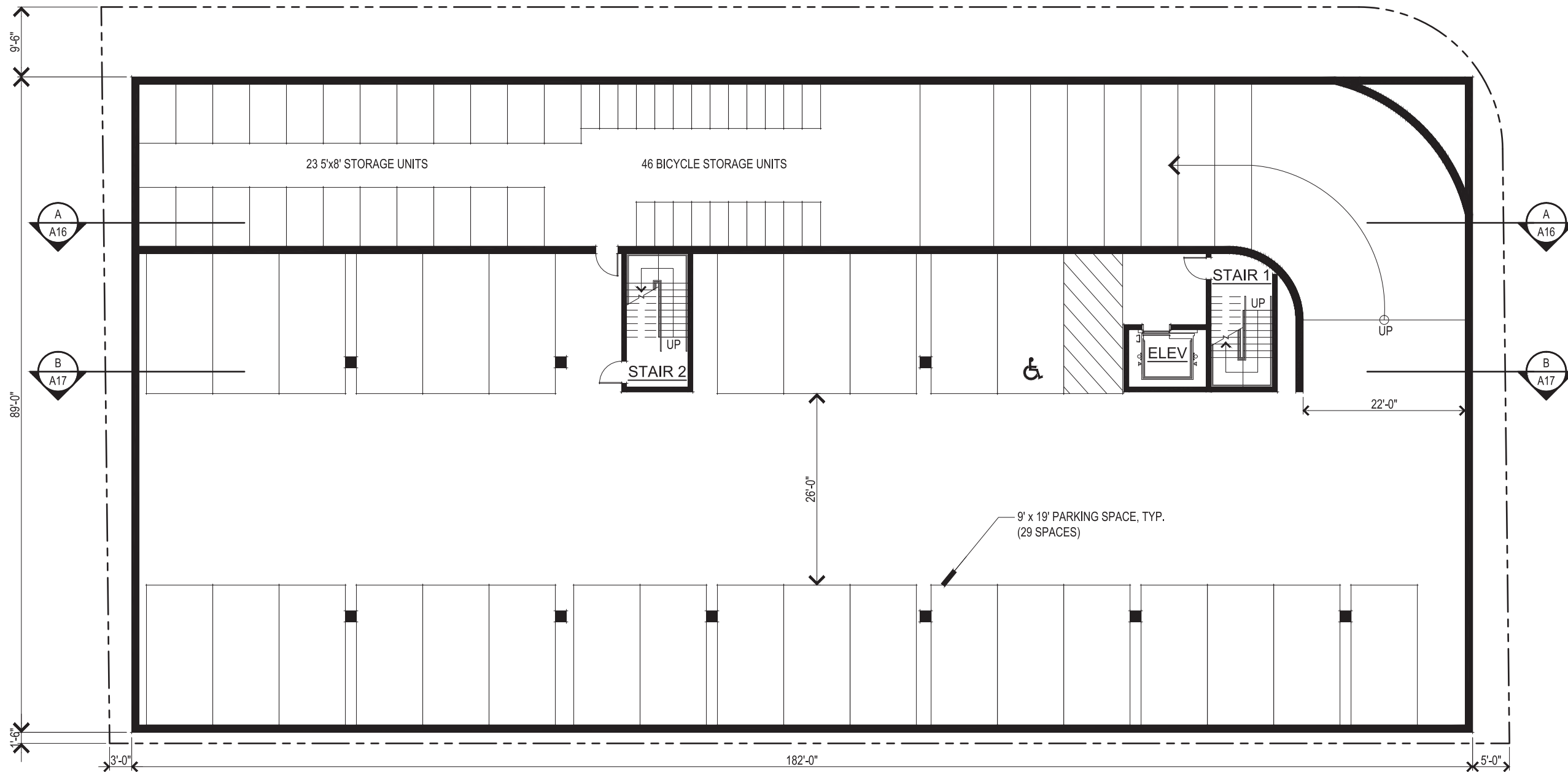
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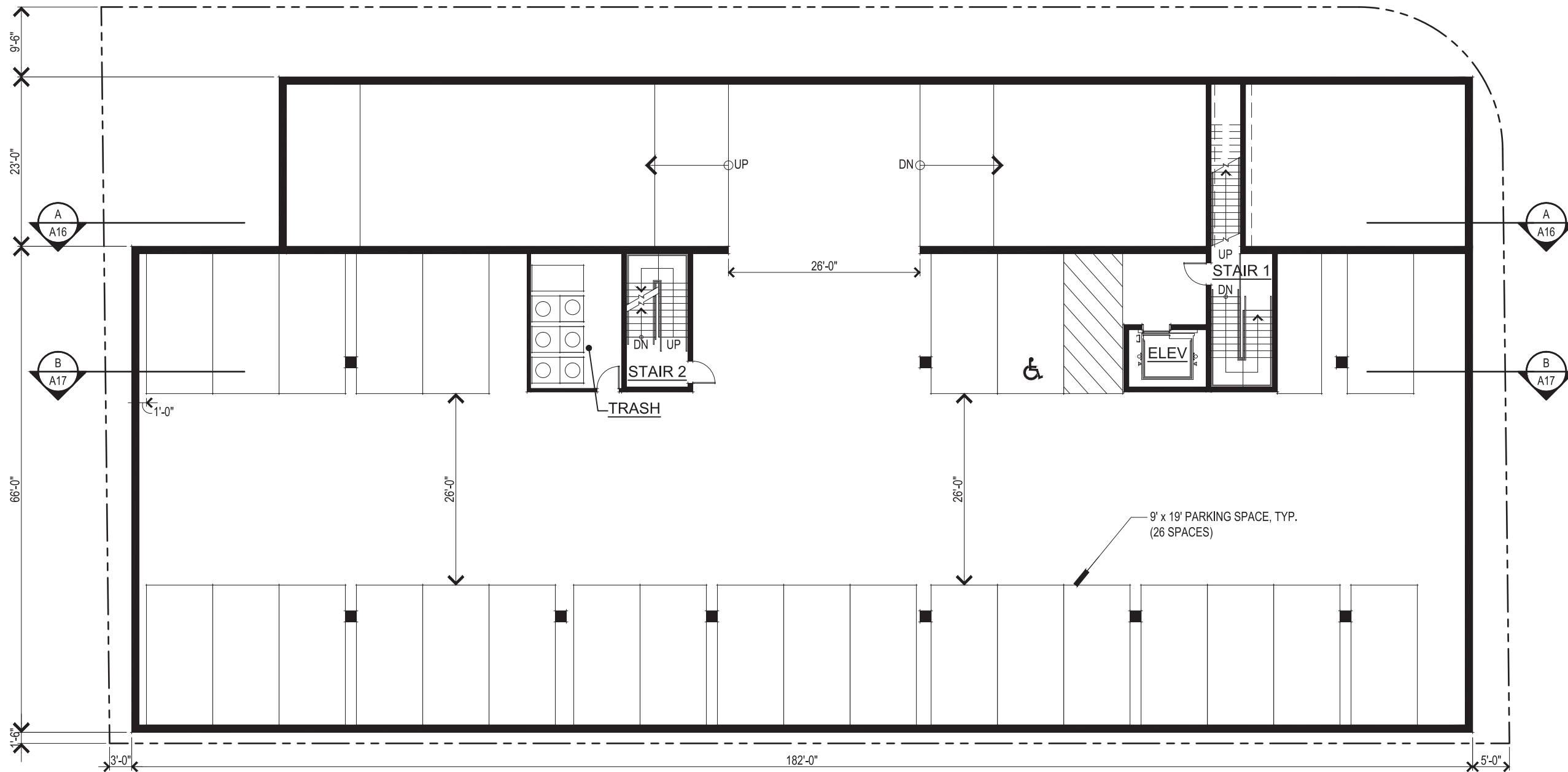
A1  
CONCEPTUAL SITE PLAN

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3361 Walnut Blvd, Suite 120  
Brentwood, CA 94513  
925.634.7000 | sdgarchitectsinc.com









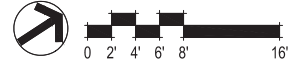
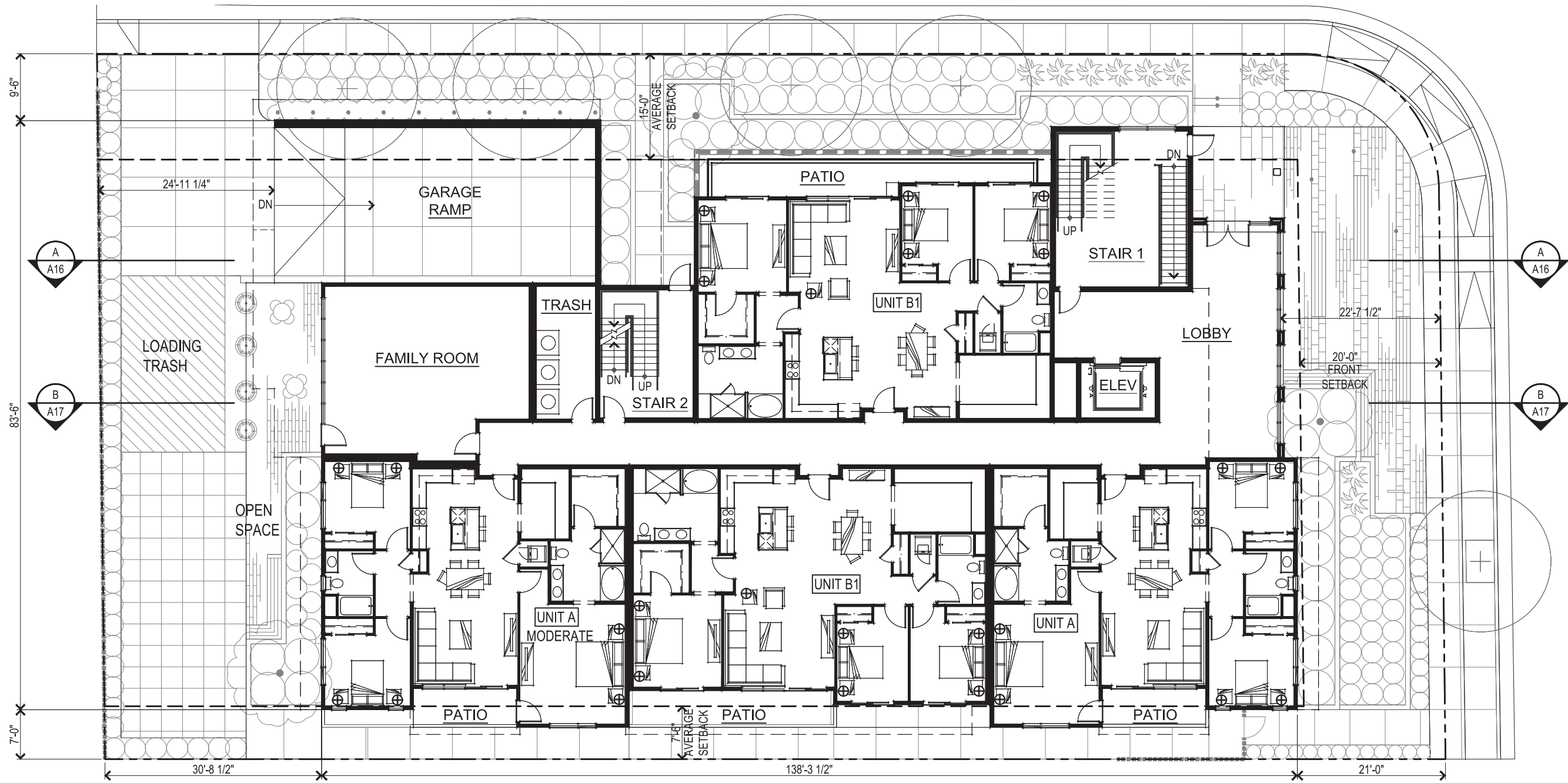
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**A3**  
 UPPER LEVEL BASEMENT

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A4  
 FIRST FLOOR PLAN

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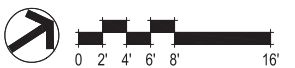
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A5  
 SECOND FLOOR PLAN

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A6  
 THIRD FLOOR PLAN

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A7  
 FOURTH FLOOR PLAN

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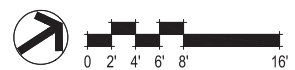
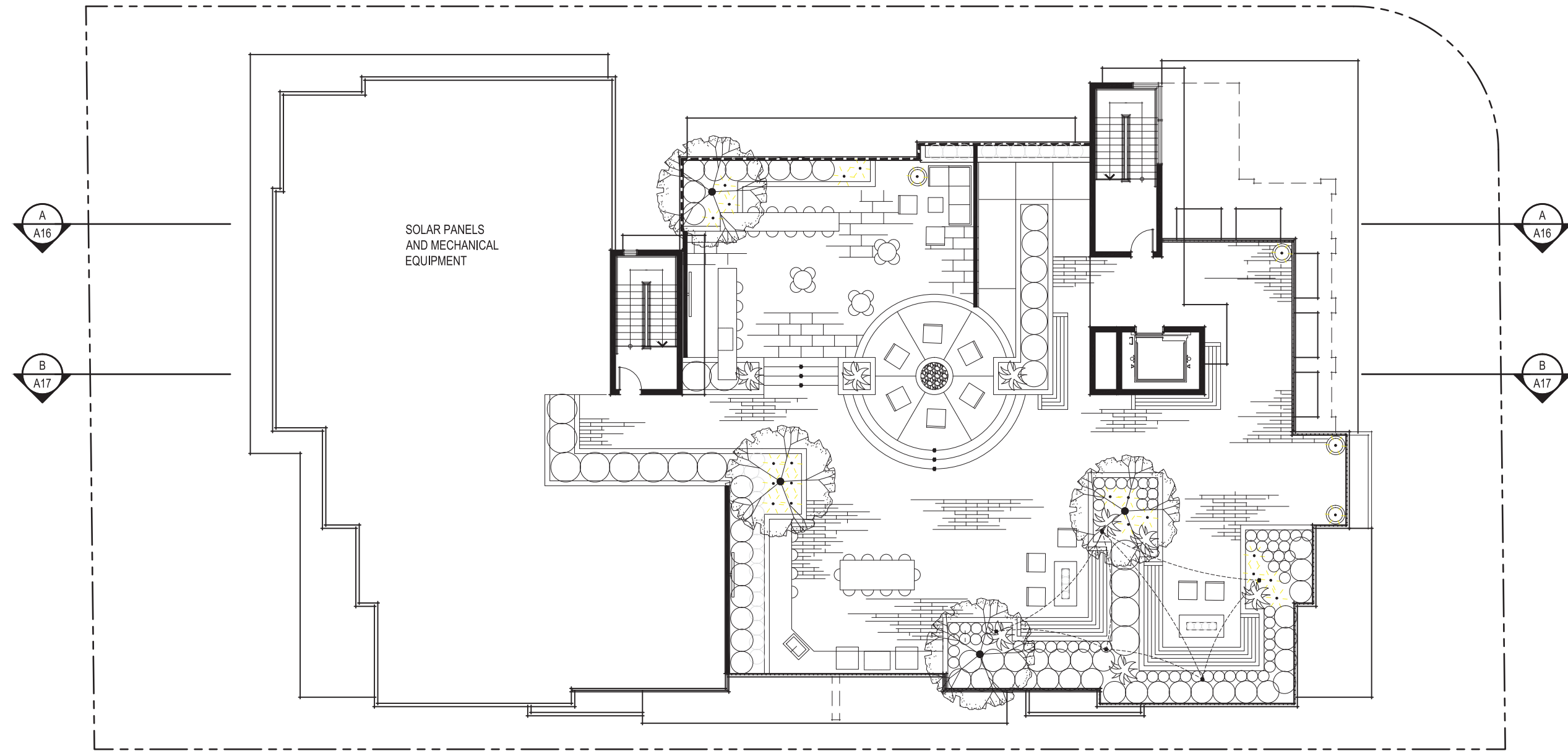
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A8  
 FIFTH FLOOR PLAN

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A9  
ROOF PLAN

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A10  
PERSPECTIVE VIEW

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A11  
 FRONT ELEVATION

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T.O. ELEVATOR TOWER  
 73'-4 1/4"  
 T.O. STAIR TOWER  
 67'-10 1/4"  
 ROOF  
 55'-10 1/4"  
 FIFTH FLOOR  
 44'-6"  
 FOURTH FLOOR  
 31'-1 3/4"  
 THIRD FLOOR  
 21'-9 1/2"  
 SECOND FLOOR  
 10'-5 1/4"  
 FIRST FLOOR  
 0"

PROPERTY LINE



ARCHITECTURAL METAL PANELS  
 GLASS BALCONY GUARD  
 SAND TEXTURE STUCCO FINISH  
 EQUITONE TE60 EXTERIOR CLADDING  
 STONE BASE

PROPERTY LINE



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A12  
 RIGHT ELEVATION

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T.O. ELEVATOR TOWER  
73'-4 1/4"

T.O. STAIR TOWER  
67'-10 1/4"

ROOF  
55'-10 1/4"

FIFTH FLOOR  
44'-6"

FOURTH FLOOR  
31'-1 3/4"

THIRD FLOOR  
21'-9 1/2"

SECOND FLOOR  
10'-5 1/4"

FIRST FLOOR  
0"



GLASS BALCONY GUARD

SAND TEXTURE  
STUCCO FINISH

EQUITONE TE60  
EXTERIOR CLADDING



T.O. ELEVATOR TOWER  
 73'-4 1/4"  
 T.O. STAIR TOWER  
 67'-10 1/4"  
 ROOF  
 55'-10 1/4"  
 FIFTH FLOOR  
 44'-6"  
 FOURTH FLOOR  
 31'-1 3/4"  
 THIRD FLOOR  
 21'-9 1/2"  
 SECOND FLOOR  
 10'-5 1/4"  
 FIRST FLOOR  
 0"

PROPERTY LINE



GLASS BALCONY GUARD  
 SAND TEXTURE  
 STUCCO FINISH  
 EQUITONE TE60  
 EXTERIOR CLADDING  
 STONE BASE  
 PROPERTY LINE



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A14  
 LEFT ELEVATION

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JORDAN AVENUE VIEW



EL CAMINO REAL VIEW

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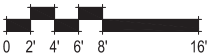
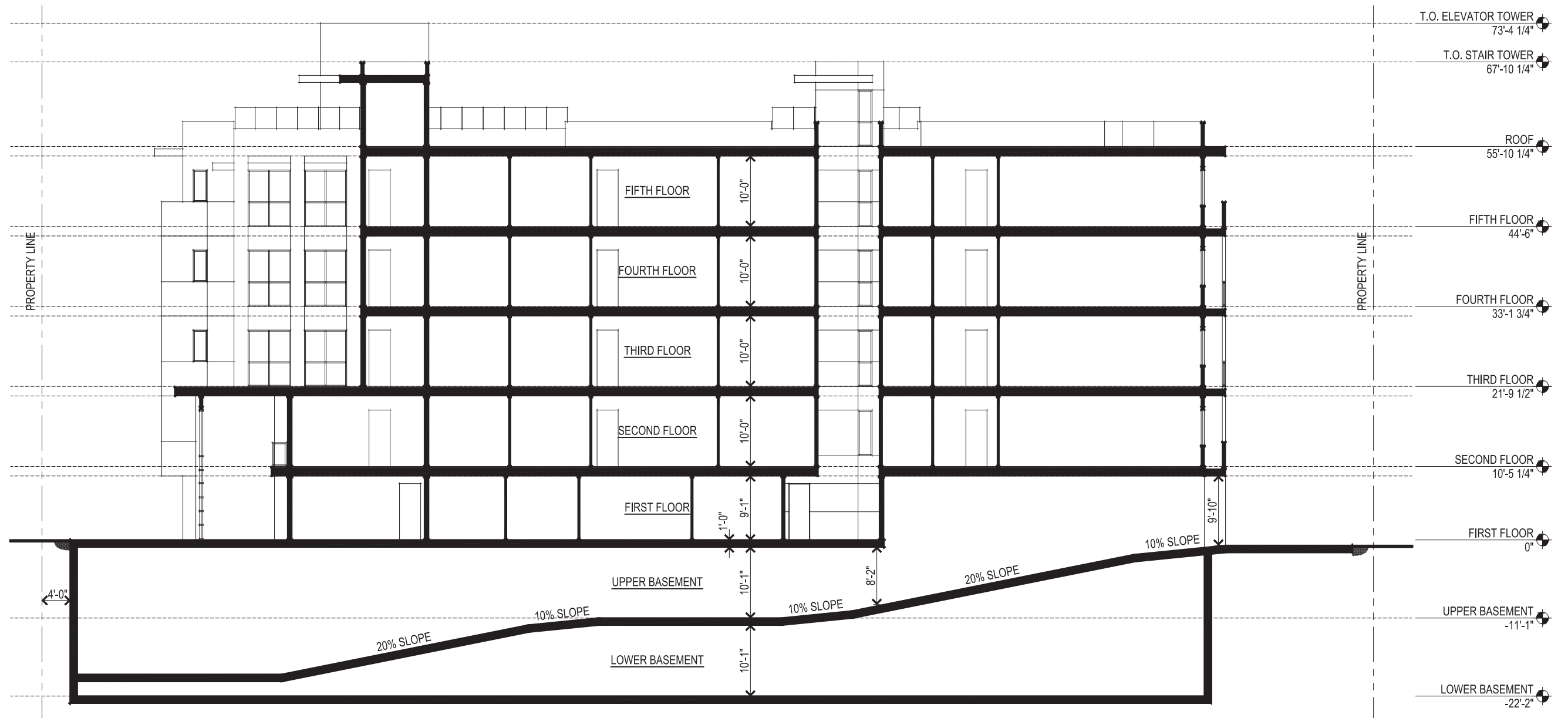
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A15  
STREETSCAPE ELEVATIONS

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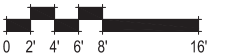
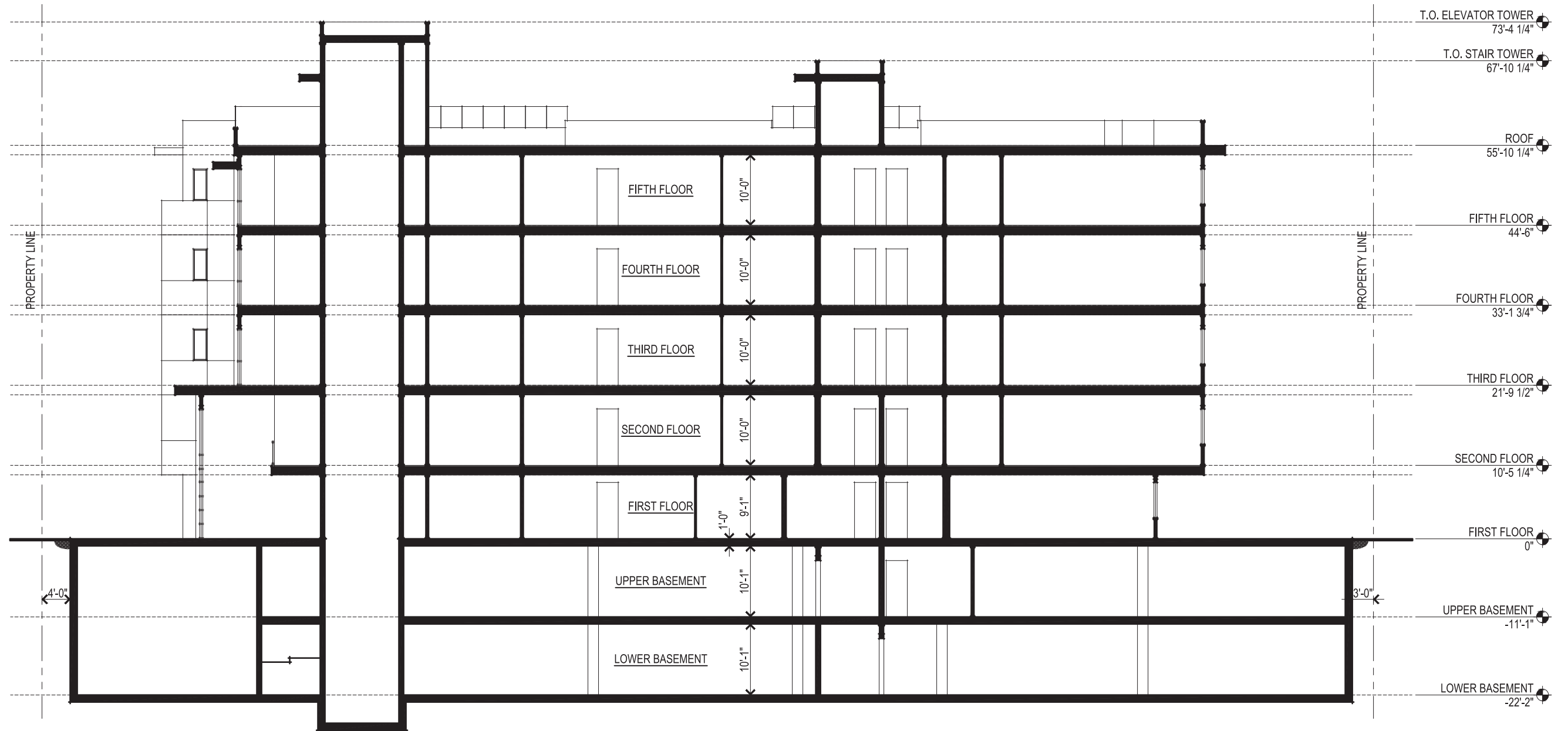
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A16  
 BUILDING SECTION A

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A17  
 BUILDING SECTION B

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**Body 1**  
SW 7005 - Pure White



**Body 2**  
SW 9110 - Malabar



**Accent**  
SW 7655 Stamped Concrete



**Architectural  
Metal Panels**  
RUSTIC RED

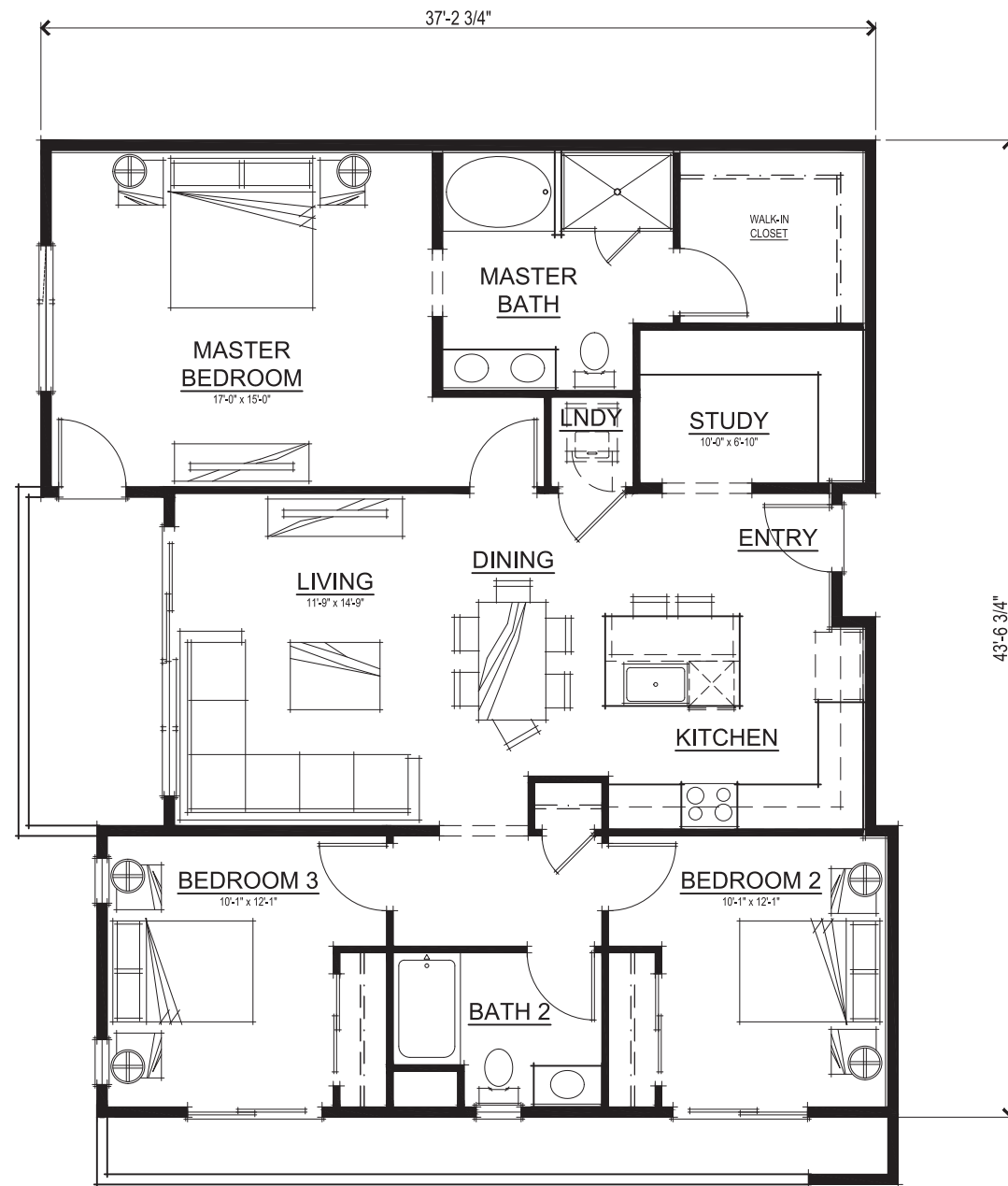


**Equitone**  
TE60

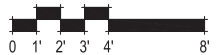


**Eldorado Stone**  
STORMCLOUD VANTAGE 30

*Note: All colors and textures are representative samples only, pending verification of actual material suppliers and manufacturers for this particular project.*



SQUARE FOOTAGE	
LIVING	1513 SQ. FT.



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A19  
 UNIT A FLOOR PLAN

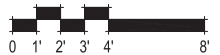
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SQUARE FOOTAGE	
LIVING	1668 SQ. FT.



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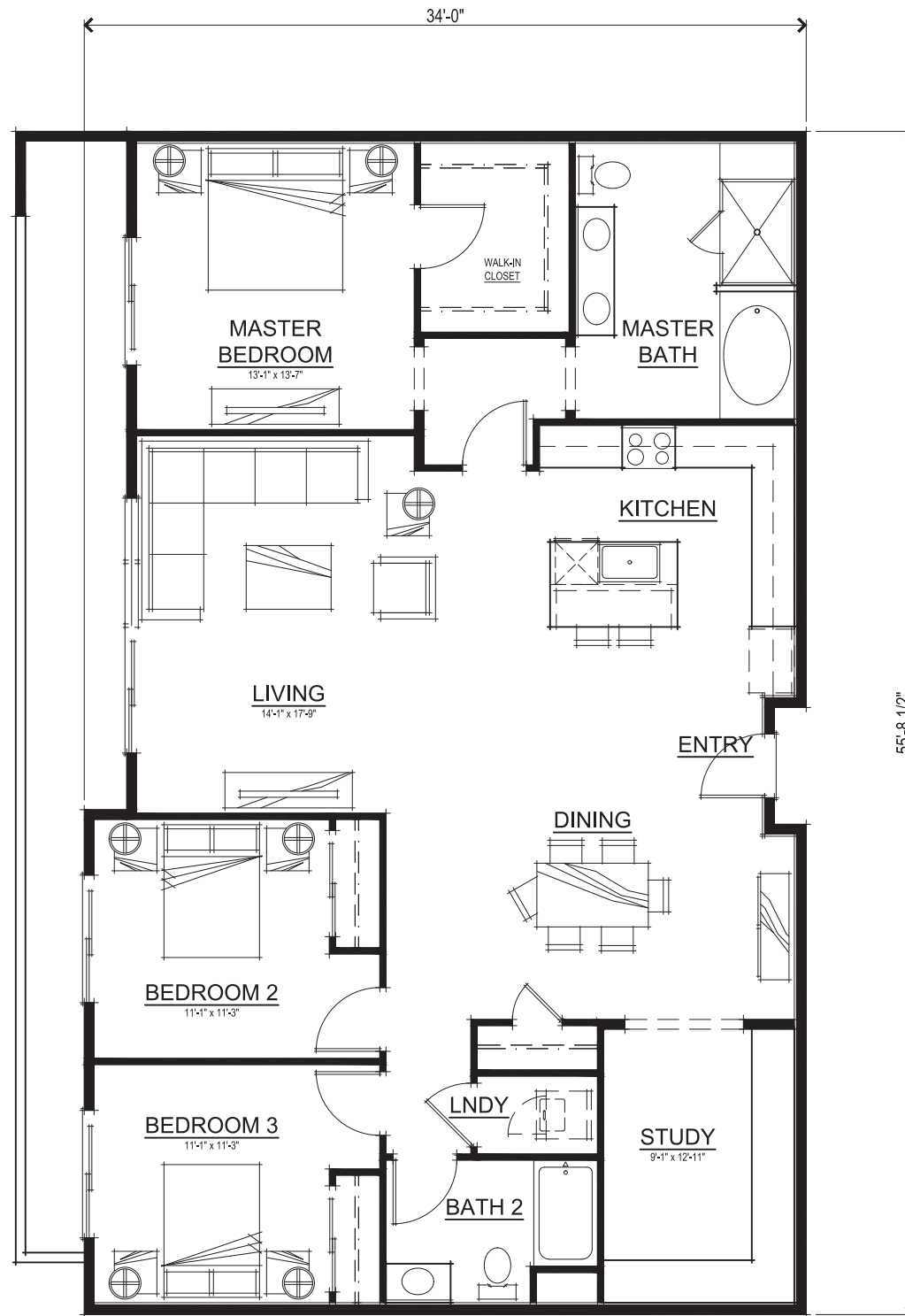
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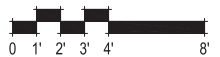
A20  
 UNIT B1 FLOOR PLANS

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SQUARE FOOTAGE	
LIVING	1822 SQ. FT.



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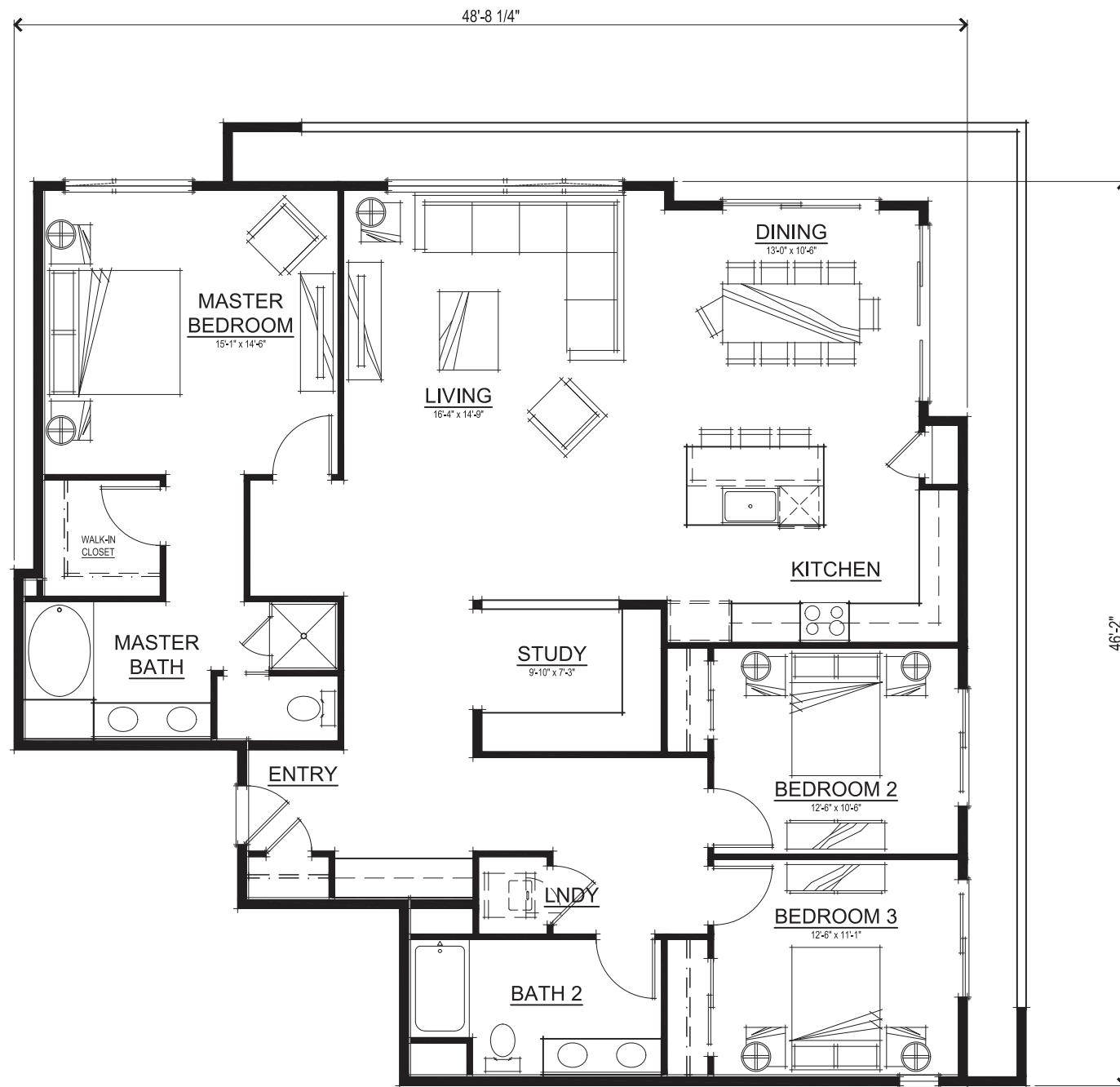
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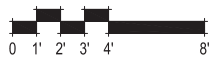
A21  
 UNIT B2 FLOOR PLANS

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SQUARE FOOTAGE	
LIVING	1920 SQ. FT.



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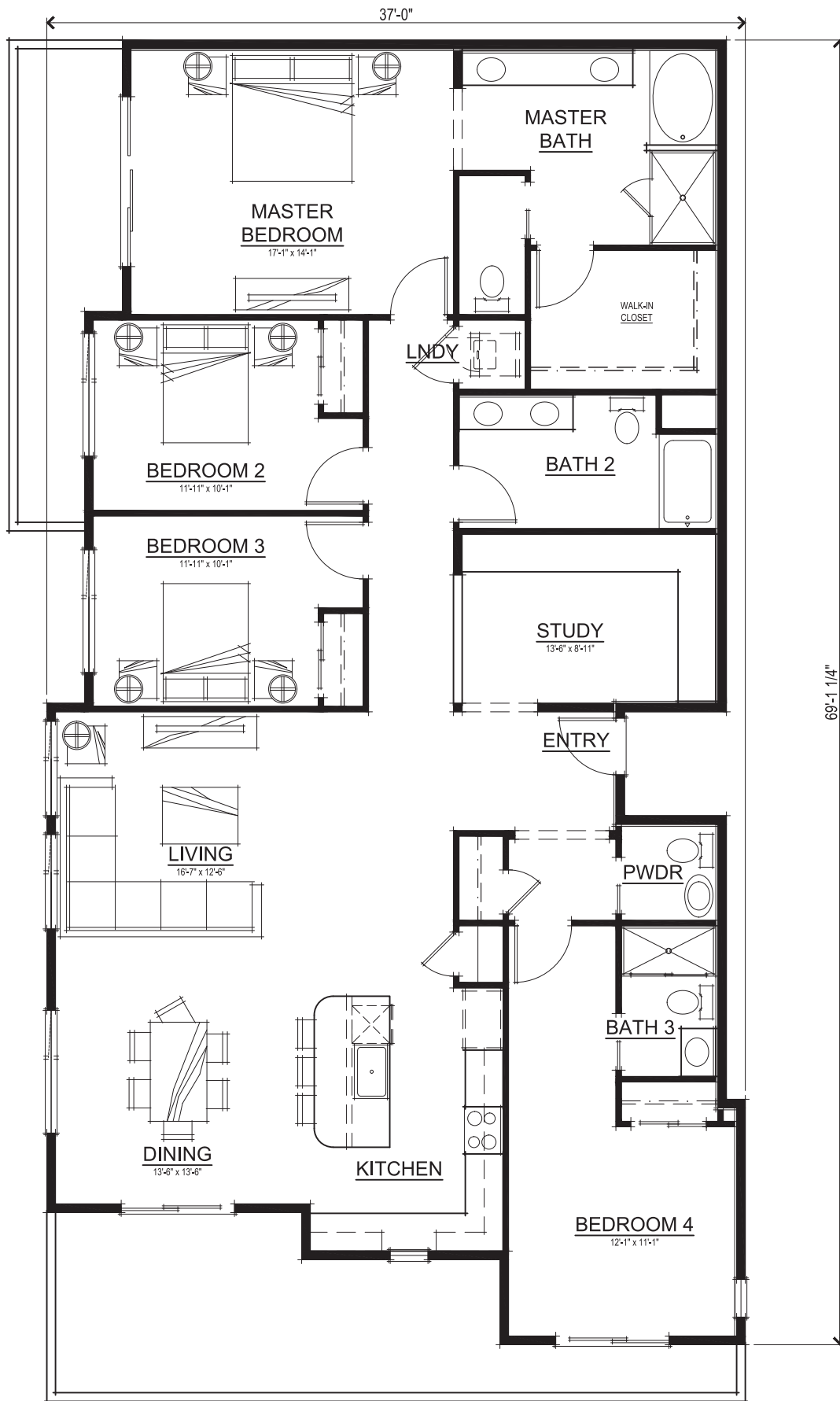
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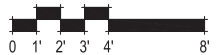
A22  
 UNIT C FLOOR PLAN

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SQUARE FOOTAGE	
LIVING	2230 SQ. FT.



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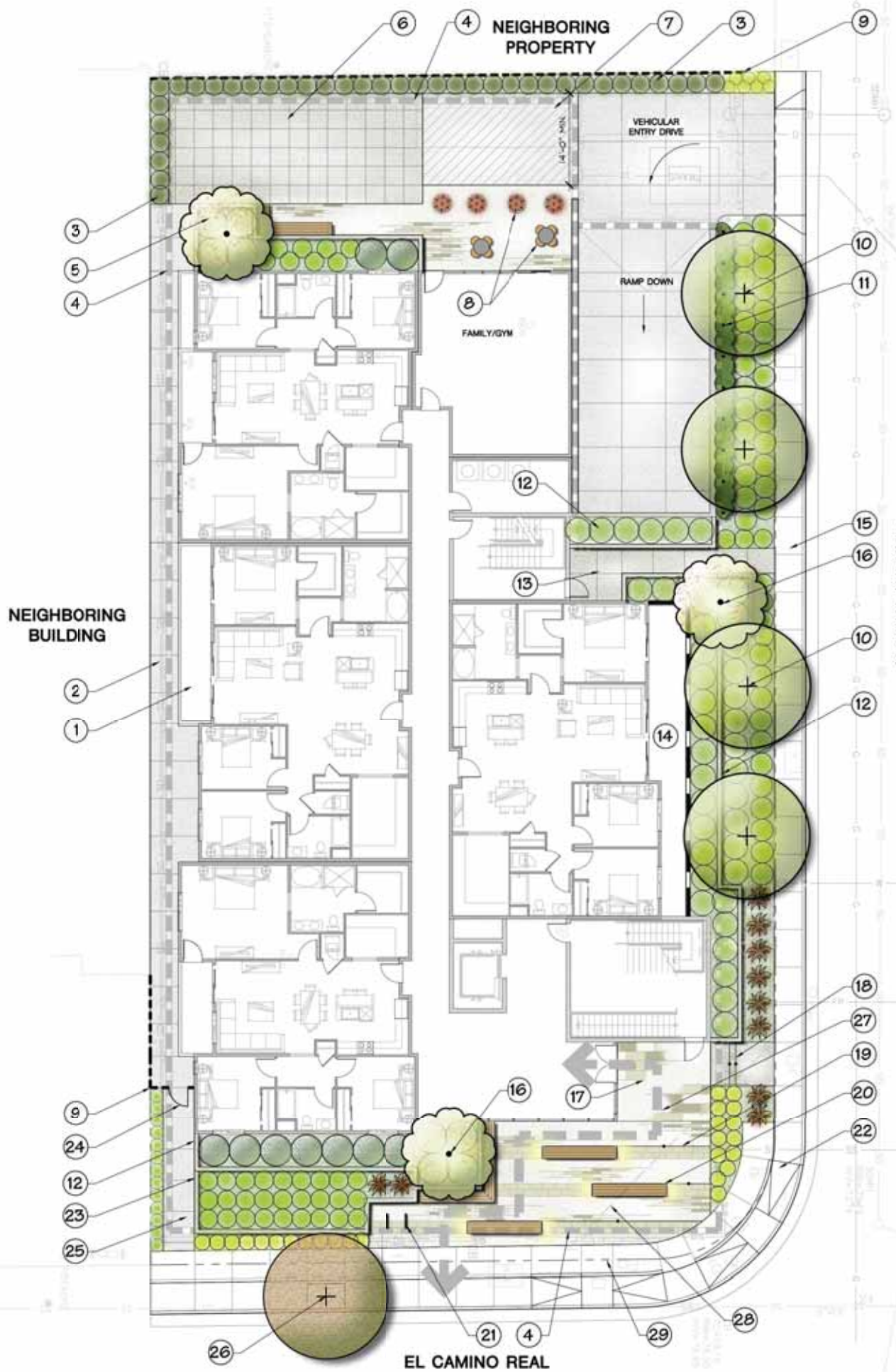
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A23  
 UNIT D FLOOR PLAN

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### PROGRAM AMENITY LEGEND

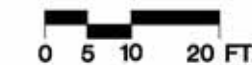
- ① PRIVATE PATIO W/ 6' HT. FENCE
- ② FIRE ACCESS WALK (CONCRETE PAVING)
- ③ 3-4' HT. UPRIGHT SCREEN SHRUBS, TYPICAL
- ④ BELOW GRADE PARKING STRUCTURE SHOWN DASHED, TYPICAL
- ⑤ 36" HT. RAISED PLANTER BUFFER. BUFFER PLANTING AT UNITS W/ ACCENT TREE AND CANTILEVERED BENCH SEATING
- ⑥ COLORED SCORED CONCRETE PAVING/ EASEMENT ACCESS AREA (INFORMAL PLAY)
- ⑦ VEHICULAR LOADING ZONE
- ⑧ CASUAL/ MOVABLE SEATING W/ LINEAR PAVERS & DECORATIVE POTS
- ⑨ 6' HT. WOOD FENCE AT PROPERTY LINE, TYPICAL
- ⑩ NEW STREET TREES, TYPICAL (LOPHOSTEMON CONFERTUS / BRISBAN BOX - 24" BOX)
- ⑪ ACCENT WALL PLANTING ESPALIERS/VINES FOR GREEN WALL, TYPICAL
- ⑫ 36" HT. RAISED PLANTER WALL (ON STRUCTURE), TYPICAL
- ⑬ ACCESS WALK TO SIDEWALK (CONCRETE)
- ⑭ PRIVATE PATIOS (3' HT. WOOD FENCE ON 3' RAISED PLANTER WALL)
- ⑮ SCORED CONCRETE SIDEWALK, TYPICAL
- ⑯ ACCENT FLOWERING TREE AT RAISED PLANTERS, TYPICAL
- ⑰ LARGE FORMAT PAVERS (ON STRUCTURE)
- ⑱ COLORED CONCRETE STEPS WITH ADA HANDRAILS
- ⑲ THREE STAGGERED GRAND STEPS W/ PAVER PLAZA, TYPICAL
- ⑳ BUILT-IN LIT BENCH FEATURES W/ LARGE FORMAT PAVER BANDS & LINEAR PAVER FIELD (ON STRUCTURE), TYPICAL
- ㉑ BIKE RACKS (4 BIKES TOTAL)
- ㉒ ADA SIDEWALK RAMP, S.C.D.
- ㉓ 24" HT. RAISED PLANTER (ON STRUCTURE)
- ㉔ FIRE ACCESS GATE
- ㉕ FIRE ACCESS WALK (CONCRETE)
- ㉖ NEW STREET TREE IN TREE GRATE (PISTAGIA C. 'KEITH DAVEY' / CHINESE PISTACHE - 24" BOX)
- ㉗ ADA PATH OF TRAVEL SHOWN AS DASHED, TYPICAL
- ㉘ SIGHT TRIANGLE SHOWN AS DASHED
- ㉙ PROPERTY LINE, TYPICAL

**ALTOS II**  
 Los Altos, 4898 ECR LLC  
**PRELIMINARY LANDSCAPE SITE PLAN**

NOT FOR CONSTRUCTION



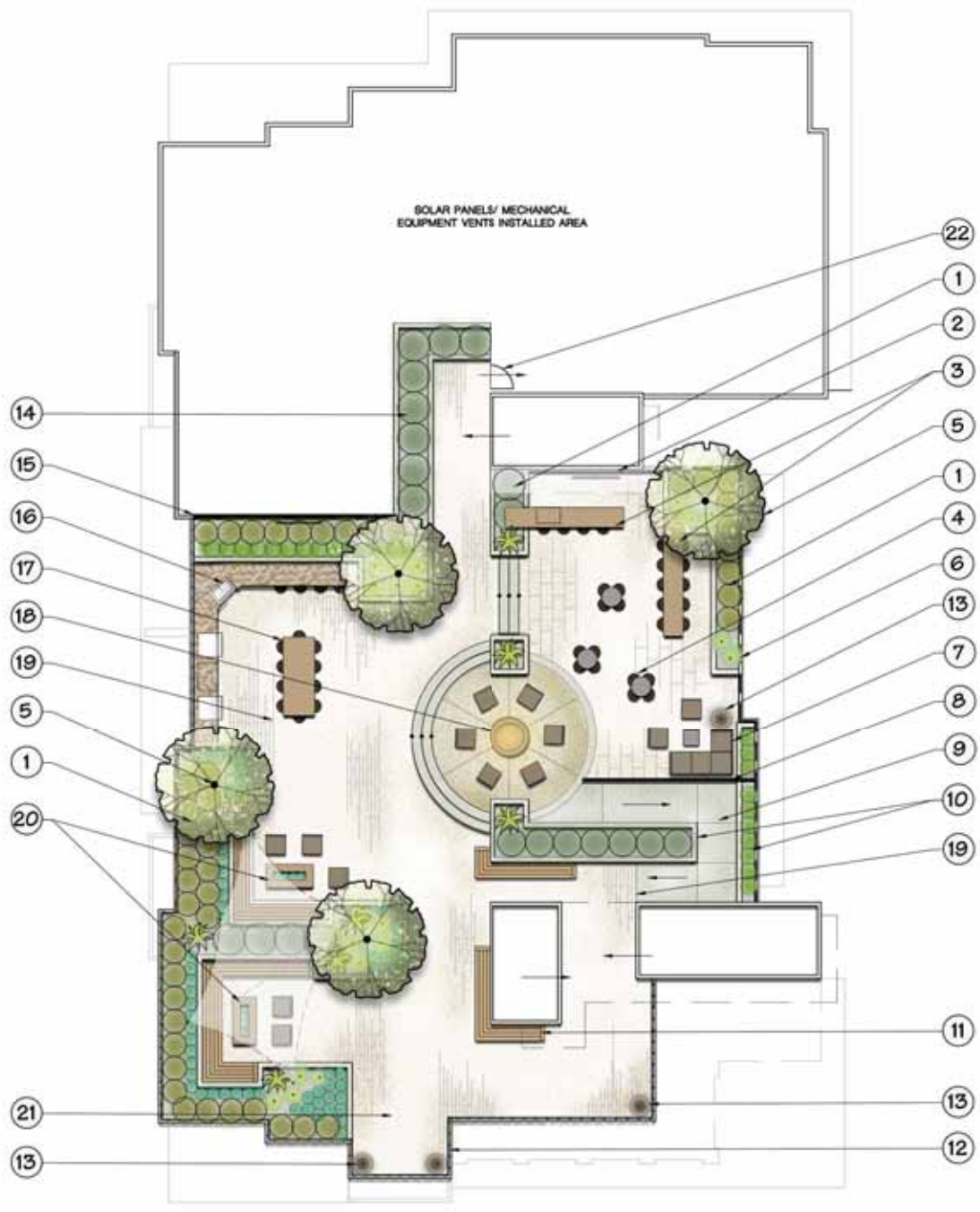
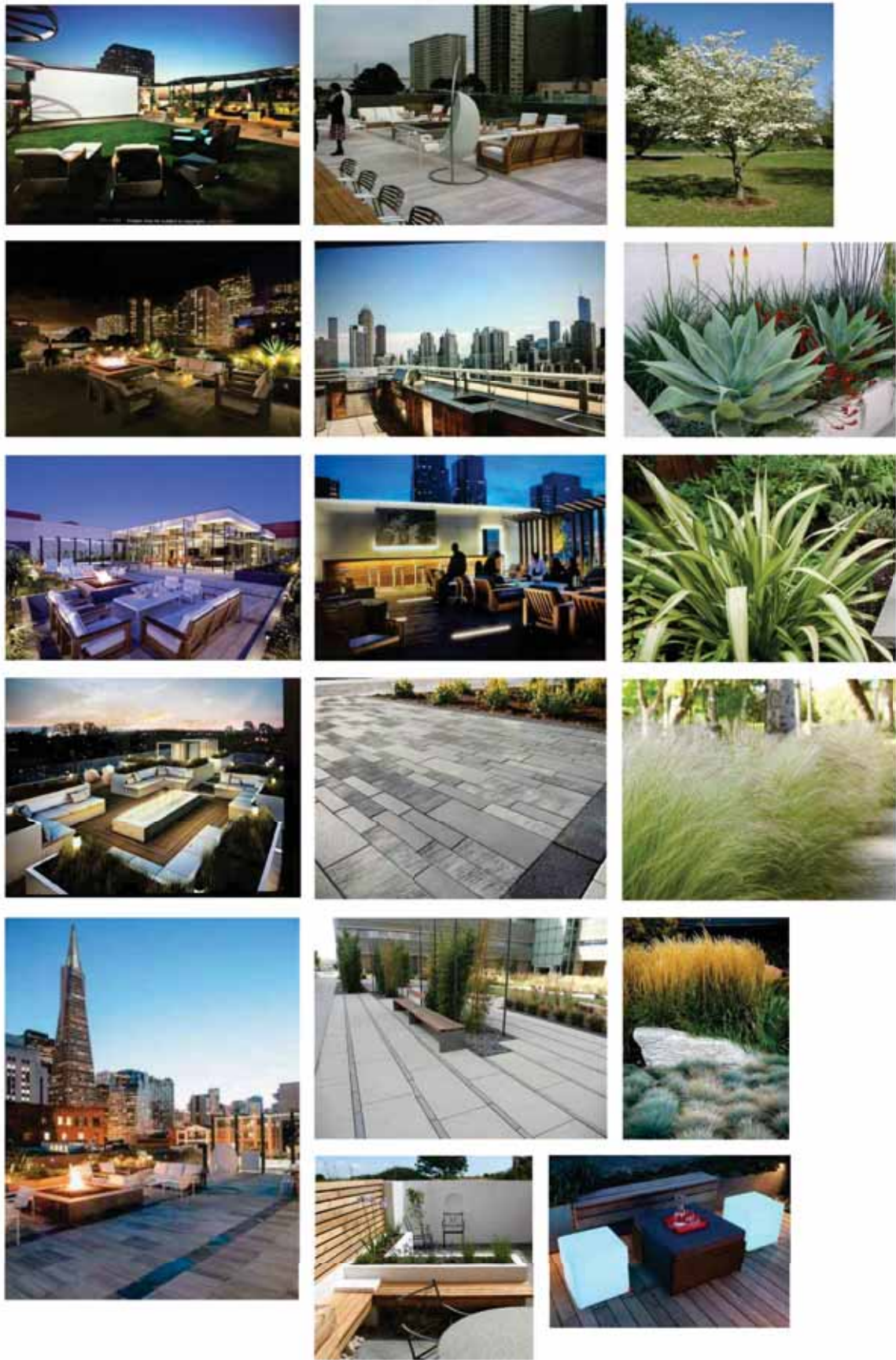
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 Landscape Architecture  
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 T (925) 945-0300 F (925) 945-6688  
 www.environmentalforesight.com



DATE: 01/16/19  
 JOB# 18026.01







**PROGRAM AMENITY LEGEND**

- ① 36" RAISED PLANTER, TYPICAL
- ② OUTDOOR FLAT TV BACKDROP W/ HORIZONTAL WOOD FEATURE WALL
- ③ BAR COUNTER TABLES AND CHAIRS CANTILEVERED TO RAISED PLANTERS
- ④ BISTRO TABLE SEATING NICHE WITH LARGE FORMAT PRECAST PAVERS, TYPICAL
- ⑤ SMALL ACCENT TREE & UNDERSTORY PLANTING, TYPICAL
- ⑥ 7' HT. GLASS RAIL AT PREVAILING WIND SIDE, TYPICAL
- ⑦ LOUNGE SEATING AND TABLE, TYPICAL
- ⑧ HORIZONTAL WOOD FEATURE WALL
- ⑨ ADA ACCESSIBLE CONCRETE WALK (NO HANDRAILS REQUIRED)
- ⑩ 36" HT. RAISED PLANTER W/ CANTILEVERED BENCH FEATURE, TYPICAL
- ⑪ ELEVATOR SHAFT W/ CANTILEVERED BENCH FEATURE
- ⑫ 42" HT. GLASS GUARDRAIL, TYPICAL
- ⑬ DECORATIVE POTS AT CORNERS, TYPICAL
- ⑭ 36" HT. RAISED PLANTER W/ UPRIGHT SCREEN VEGETATION TO BUFFER SOLAR PANELS (LOW VEGETATION BEFORE TV SCREEN)
- ⑮ HORIZONTAL WOOD FEATURE WALL W/ OUTDOOR TV
- ⑯ BBQ GRILLS (2) W/ SINK AND REFRIGERATOR AND BAR COUNTER WITH CHAIRS
- ⑰ RAISED BAR STOOL SEATING COUNTER
- ⑱ RAISED STEPS (15" TOTAL) TO CENTRAL FOCAL FIRE PIT COMMUNAL SEATING AREA W/ COLORED CONCRETE PAVING
- ⑲ LINEAR MODULAR PRECAST PAVERS, TYPICAL
- ⑳ CANTILEVERED BENCH SEATING W/ PLANTED COFFEE TABLE W/ SHADE SAILS ABOVE
- ㉑ LINEAR MODULAR PRECAST PAVERS @ VIEWING OVERLOOK, TYPICAL
- ㉒ ROOF MAINTENANCE ACCESS GATE

**LANDSCAPE AREA TABULATION**

ROOF DECK	AREA IN S.F.
LANDSCAPE AREA	1,109
HARDSCAPE AREA*	4,647
<b>TOTAL</b>	<b>5,756</b>

ON SITE (GROUND LEVEL)	AREA IN S.F.
LANDSCAPE AREA	2,979
HARDSCAPE AREA**	11,080
<b>TOTAL</b>	<b>14,059</b>

\*NOTE: SOLAR PANEL AREA AND ELEVATOR FOOTPRINTS ARE EXCLUDED FROM THE HARDSCAPE AREA ON ROOF DECK.  
\*\*NOTE: BUILDING FOOTPRINTS ARE EXCLUDED FROM THE HARDSCAPE AREA ON-SITE AT GROUND LEVEL.

**PRELIMINARY ROOF DECK LANDSCAPE PLAN**

**ALTOS II**  
Los Altos, 4898 ECR LLC

NOT FOR CONSTRUCTION

**ENVIRONMENTAL FORESIGHT, INC.**  
Landscape Architecture  
1700 N. Broadway, Suite 401  
Walnut Creek, CA 94596  
T (925) 945-0300 F (925) 945-6688  
www.environmentalforesight.com

DATE: 01/16/19  
JOB# 18026.01

L-2  
2 of 2





**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 SACRAMENTO REGION  
 307 DOUGLAS BLVD., # 300  
 ROSEVILLE, CA 95661  
 HAYWARD, CALIFORNIA 94545  
 (P) (510) 887-1306  
 (F) (510) 887-1338  
 (C) (510) 887-1338  
 WWW.LEA-BRAZE.COM

**ALDOS II DEVELOPMENT**  
**4898 EL CAMINO REAL**  
**LOS ALTOS, CALIFORNIA**  
 SANTA CLARA COUNTY  
 APN: 170-03-085

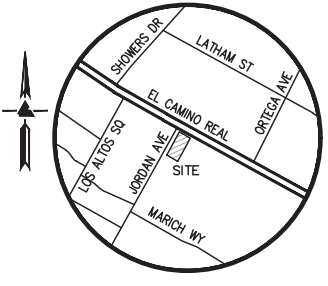
**TITLE SHEET**

REVISIONS	BY
JOB NO:	2181308
DATE:	01/15/19
SCALE:	1" = 20'
DESIGN BY:	TB
PM:	CA
SHEET NO:	C-1.0
01 OF 04 SHEETS	

# ALTOS II

## 4898 EL CAMINO REAL

### LOS ALTOS, CALIFORNIA



VICINITY MAP  
NO SCALE

**OWNER'S INFORMATION**

OWNER:  
 ALTOS II DEVELOPMENT  
 4898 ECR LLC  
 728 ADDISON AVENUE  
 PALO ALTO, CA 94301

APN: 170-03-085

**REFERENCES**

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC. ENTITLED: "TOPOGRAPHIC SURVEY" 4898 EL CAMINO REAL LOS ALTOS, CA DATED: 2/17/2019 JOB#: 2171299
  - SITE PLAN BY SDG ARCHITECTS, INC. ENTITLED: "CONCEPTUAL SITE PLAN" 4898 EL CAMINO REAL LOS ALTOS, CA
  - LANDSCAPE PLANS BY ENVIRONMENTAL INSIGHT, INC. ENTITLED: "LANDSCAPE PLAN" 4898 EL CAMINO REAL LOS ALTOS, CA

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

**PROJECT DATA**

TRACT NO.	
RECORD OWNER(S)/ SUBDIVIDERS:	ALTOS II DEVELOPMENT 4898 ECR LLC 728 ADDISON AVENUE PALO ALTO, CA 94301
CIVIL ENGINEER:	LEA & BRAZE ENGINEERING INC. 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 (510) 887-4086 CONTACT: PETE CARLINO
UNIT COUNT:	23 RESIDENTIAL UNITS
ASSESSOR'S PARCEL NO.	171-03-085
UTILITIES SERVICES:	WATER SUPPLY: CAL WATER SEWAGE DISPOSAL: CITY OF LOS ALTOS GAS & ELECTRICAL: PG&E TELEPHONE: AT&T CABLE: COMCAST STORM DRAIN: CITY OF LOS ALTOS

**PROJECT DESCRIPTION/IMPROVEMENTS**

CONSTRUCTION OF A NEW MULTIFAMILY RESIDENTIAL CONDOMINIUMS.

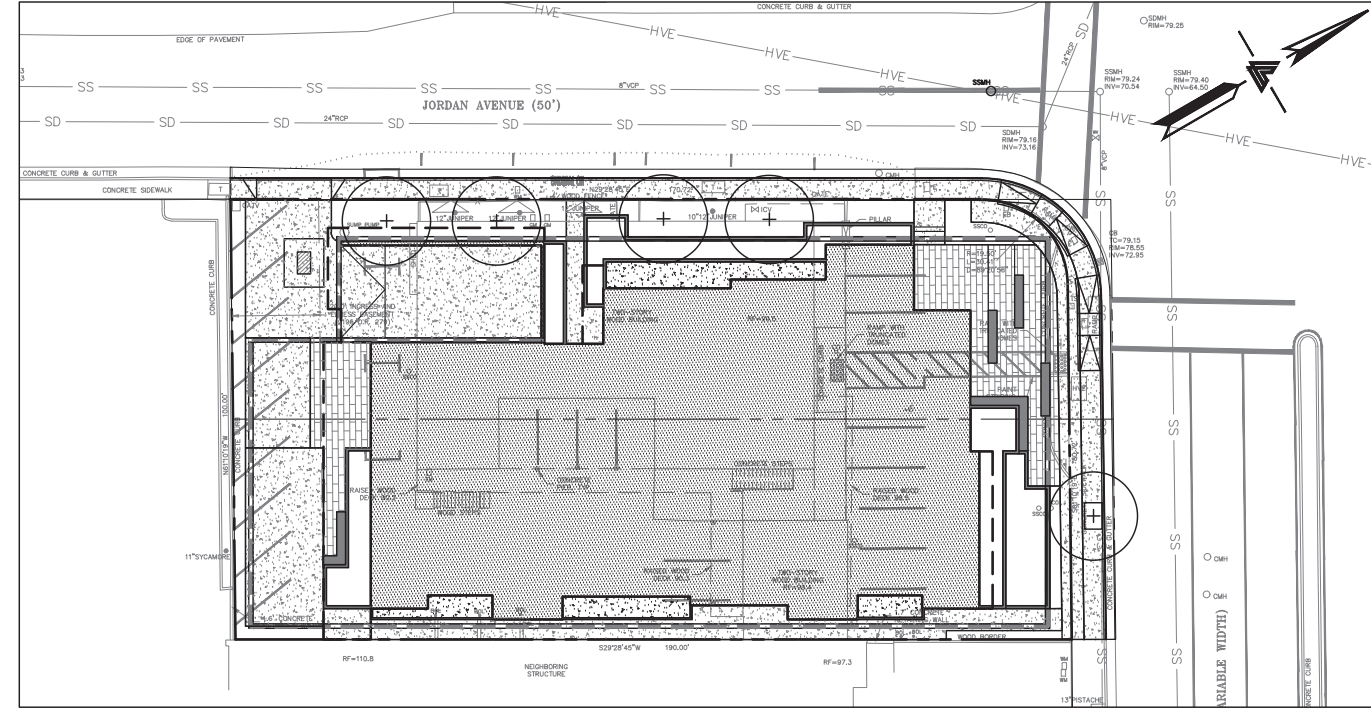
**UNIT COUNT**

23 RESIDENTIAL UNITS

**SHEET INDEX**

- C-1.0 TITLE SHEET
- C-1.1 PRELIMINARY SITE PLAN
- C-2.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C-3.0 PRELIMINARY UTILITY PLAN
- SU-1 TOPOGRAPHIC SURVEY

EXISTING	PROPOSED	DESCRIPTION
		BOUNDARY
		PROPERTY LINE
		RETAINING WALL
		LANDSCAPE RETAINING WALL
	RW RW	RAINWATER TIGHTLINE
	SUB	SUBDRAIN LINE
	TL	TIGHTLINE
	SD SD	STORM DRAIN LINE
	SS SS	SANITARY SEWER LINE
	W W	WATER LINE
	G G	GAS LINE
	P P	PRESSURE LINE
	JT JT	JOINT TRENCH
		SET BACK LINE
		CONCRETE VALLEY GUTTER
		EARTHEN SWALE
	CB CB	CATCH BASIN
	JB JB	JUNCTION BOX
	AD	AREA DRAIN
		CURB INLET
	SDMH SDMH	STORM DRAIN MANHOLE
		FIRE HYDRANT
	SSMH SSMH	SANITARY SEWER MANHOLE
	222.57 INV	STREET SIGN
		SPOT ELEVATION
		FLOW DIRECTION
	D	DEMOLISH/REMOVE
		BENCHMARK
		CONTOURS
	XX TREE	TREE TO BE REMOVED



KEY MAP  
1" = 20'

**ABBREVIATIONS**

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LF	LINEAR FEET
ACC	ACCESSIBLE	MAX	MAXIMUM
AD	AREA DRAIN	MH	MANHOLE
BC	BEGINNING OF CURVE	MIN	MINIMUM
B & D	BEARING & DISTANCE	MON.	MONUMENT
BM	BENCHMARK	MRO	METERED RELEASE OUTLET
BUB	BUBBLER BOX	N	NEW
BW/FG	BOTTOM OF WALL/FINISH GRADE	NO.	NUMBER
CB	CATCH BASIN	NTS	NOT TO SCALE
C & G	CURB AND GUTTER	O.C.	ON CENTER
C	CENTER LINE	O/	OVER
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	(PA)	PLANTING AREA
CO	CLEANOUT	PED	PEDESTRIAN
COTG	CLEANOUT TO GRADE	PIV	POST INDICATOR VALVE
CONC	CONCRETE	PSS	PUBLIC SERVICES EASEMENT
CONST	CONSTRUCT or -TION	P	PROPERTY LINE
CONC COR	CONCRETE CORNER	PP	POWER POLE
CY	CUBIC YARD	PUE	PUBLIC UTILITY EASEMENT
D	DIAMETER	PVC	POLYVINYL CHLORIDE
DJ	DROP INLET	R	RADIUS
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
EA	EACH	RIM	RIM ELEVATION
EC	END OF CURVE	RW	RAINWATER
EG	EXISTING GRADE	R/W	RIGHT OF WAY
EL	ELEVATIONS	S	SLOPE
EP	EDGE OF PAVEMENT	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EQ	EQUIPMENT	SAN	SANITARY
(E)	EXISTING	SD	STORM DRAIN
FC	FACE OF CURB	SDMH	STORM DRAIN MANHOLE
FF	FINISHED FLOOR	SHT	SHEET
FG	FINISHED GRADE	S.L.D.	SEE LANDSCAPE DRAWINGS SPECIFICATION
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLOW LINE	SSCO	SANITARY SEWER CLEANOUT
FS	FINISHED SURFACE	SSMH	SANITARY SEWER MANHOLE
G	GAGE OR GAUGE	ST	STREET
GA	GRADE BREAK	STA	STATION
GB	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STD	STANDARD
HDPPE	HORIZONTAL	STRUCT	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TYP	TYPICAL
JP	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W	WITH
		W, WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

**NOTES**

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

**BENCHMARK**

CITY OF MOUNTAIN VIEW BENCHMARK IV-03 BRONZE DISK STAMPED "IV-03" SET IN THE TOP OF CURB AT THE NORTHEAST RETURN OF ORTEGA AVENUE AT EL CAMINO REAL. ELEVATION = 80.40' (NAVD 88 DATUM)

**GENERAL NOTES:**

- DEMOLISH AND REMOVE ALL (E) IMPROVEMENTS AS NECESSARY FOR NEW CONSTRUCTION.
- STREET LIGHTING WILL BE PROVIDED PER CITY OF LOS ALTOS' STANDARD SPECIFICATIONS (AS REQUIRED)

**EASEMENT NOTE**

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, ORDER NO. FWPS-2984180678-MC. DATED AS OF OCTOBER 11, 2018

**SITE BENCHMARK**

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 79.48' (NAVD 88 DATUM)



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 SACRAMENTO REGION  
 BAY AREA REGION  
 2485 INDUSTRIAL PKWY WEST  
 HAYWARD, CALIFORNIA 94545  
 (P) (916) 966-1338  
 (F) (916) 887-3006  
 WWW.LEABRAZE.COM

**ALTOS II DEVELOPMENT**  
**4898 EL CAMINO REAL**  
**LOS ALTOS, CALIFORNIA**

**PRELIMINARY**  
**SITE PLAN**

REVISIONS	BY

JOB NO: 2181308

DATE: 01/15/19

SCALE: 1" = 10'

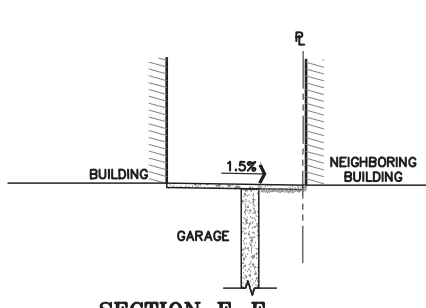
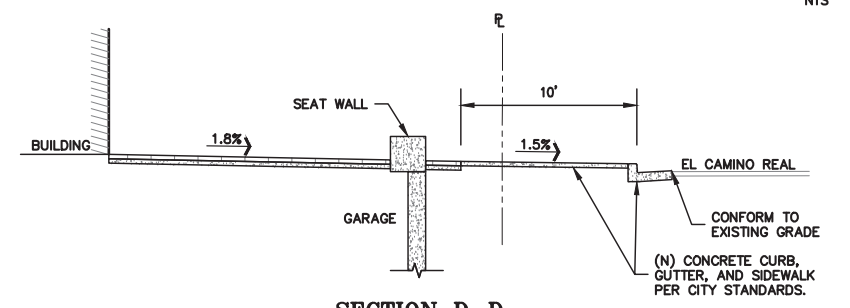
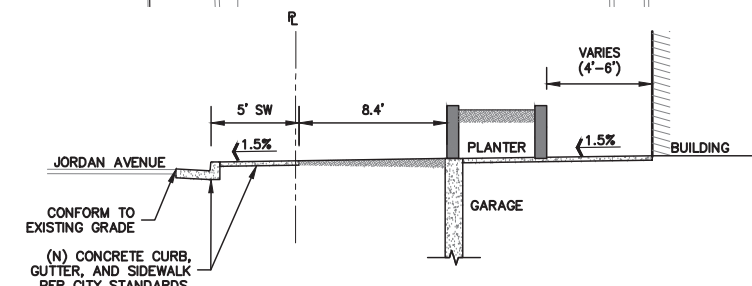
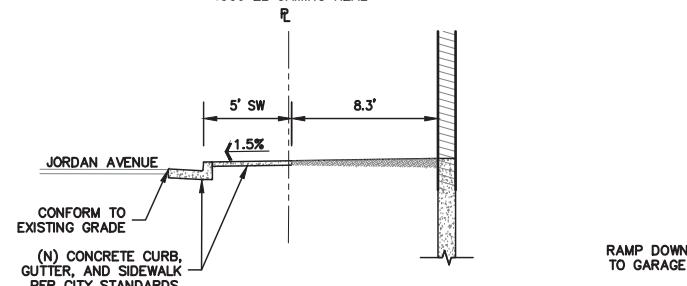
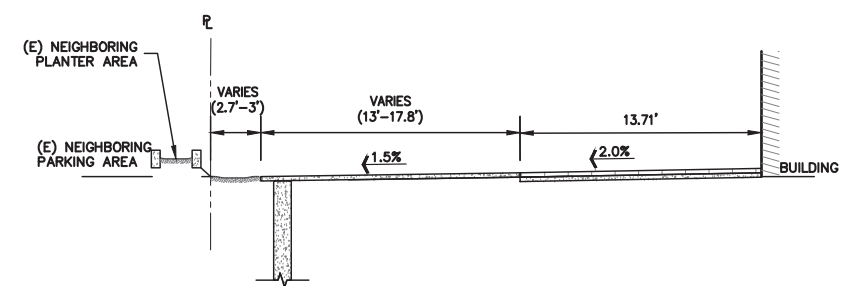
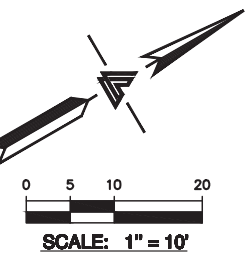
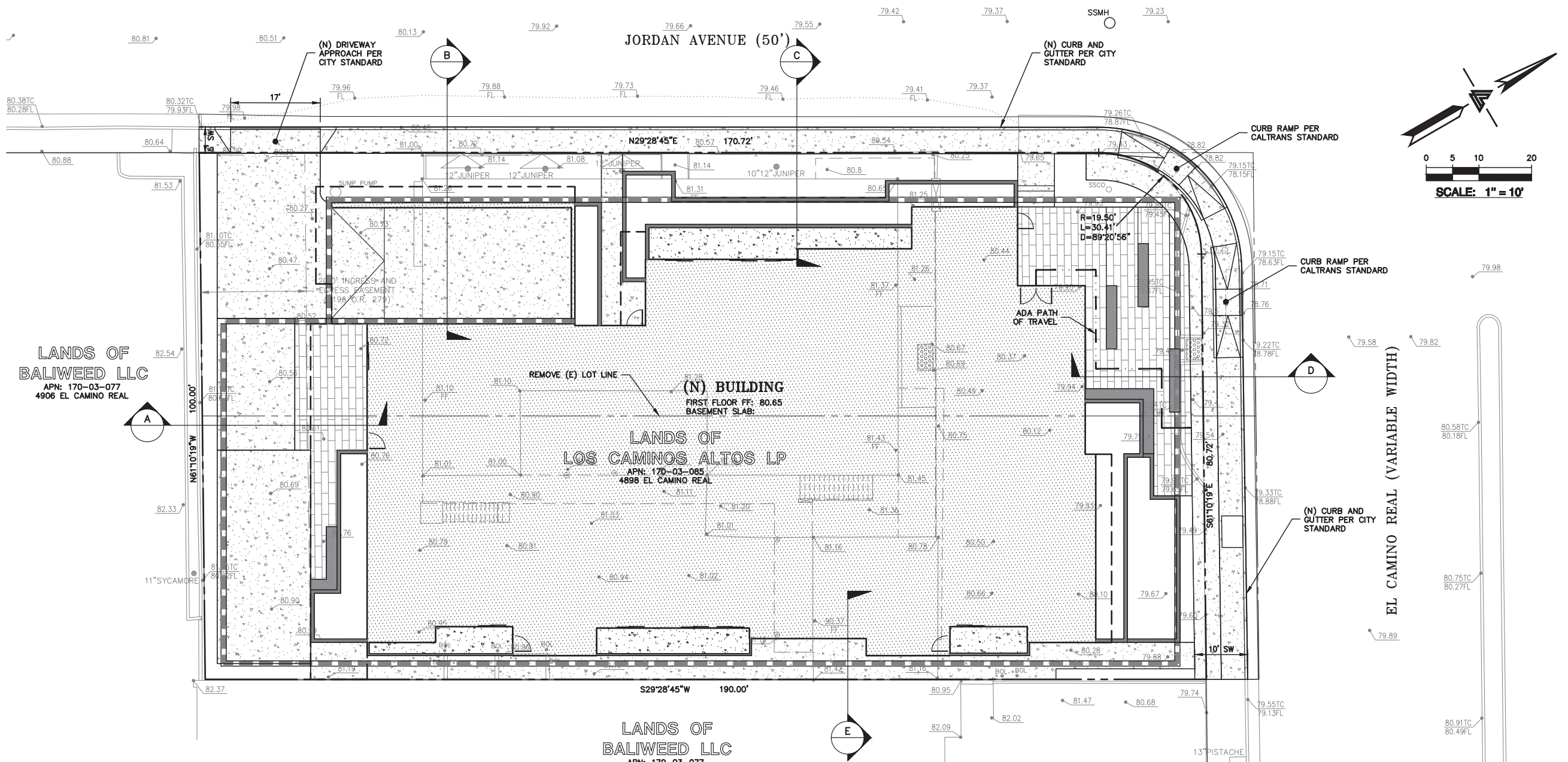
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SHEET NO:

**C-1.1**

02 OF 04 SHEETS

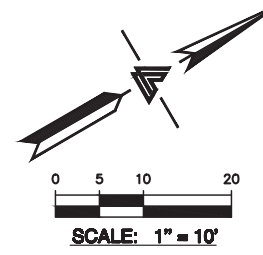
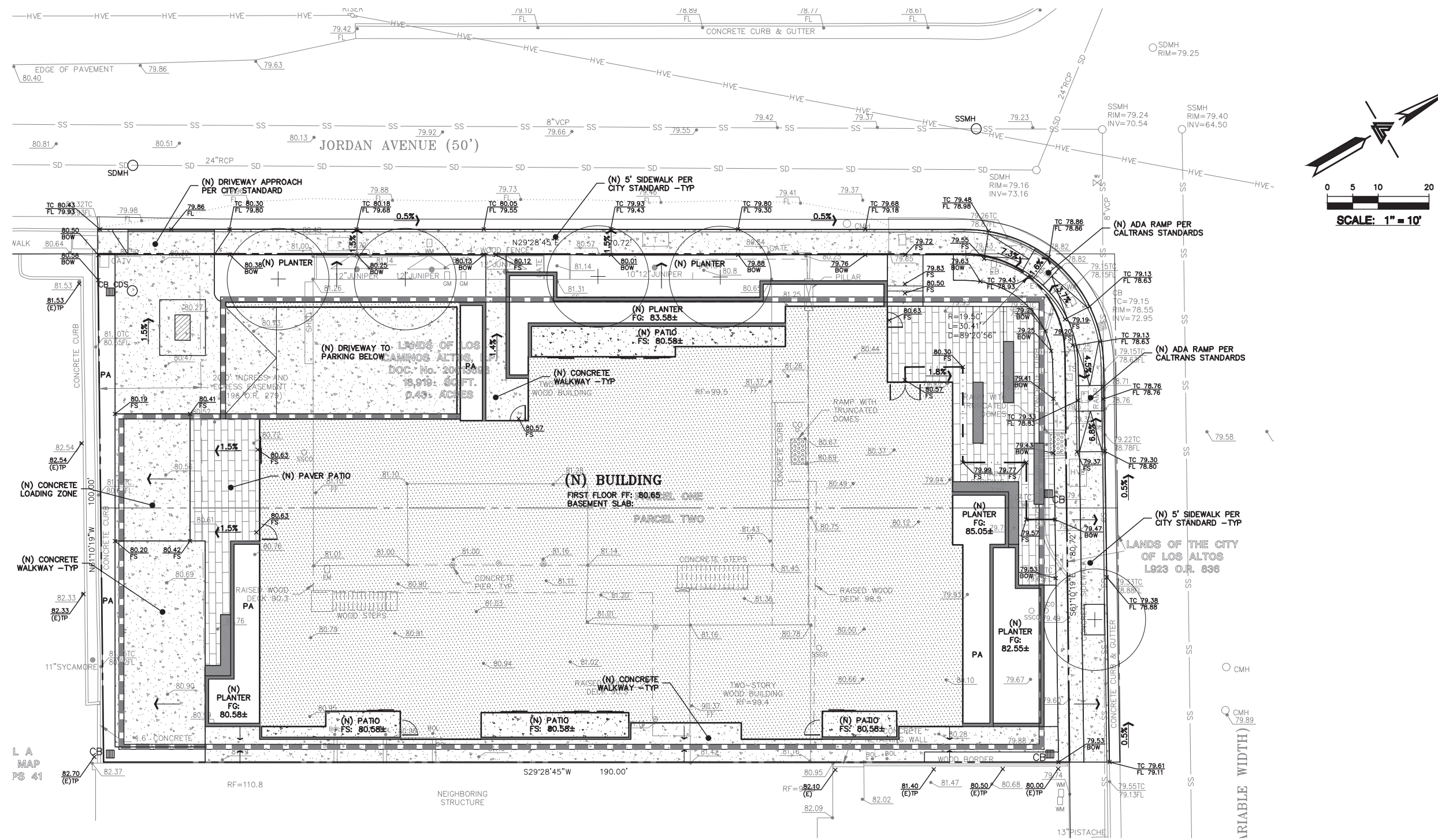


**LANDS OF BALIWEED LLC**  
 APN: 170-03-077  
 4906 EL CAMINO REAL

**LANDS OF LOS CAMINOS ALTOS LP**  
 APN: 170-03-085  
 4898 EL CAMINO REAL

**LANDS OF BALIWEED LLC**  
 APN: 170-03-077  
 4906 EL CAMINO REAL





**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS  
 SACRAMENTO REGION  
 307 DOUGLAS BLVD., # 300  
 ROSEVILLE, CA 95661  
 BAY AREA REGION  
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 (S) (916) 966-1336  
 (F) (916) 887-3006  
 (C) (916) 979-7383  
 WWW.LEABRAZE.COM

**ALTOS II DEVELOPMENT**  
**4898 EL CAMINO REAL**  
**LOS ALTOS, CALIFORNIA**

SANTA CLARA COUNTY  
 APN: 170-03-085

**PRELIMINARY**  
**GRADING &**  
**DRAINAGE PLAN**

REVISIONS	BY

JOB NO: 2181308  
 DATE: 01/15/19  
 SCALE: 1" = 10'  
 DESIGN BY: TB  
 PM: CA  
 SHEET NO:

**C-2.0**  
 03 OF 04 SHEETS



**LEA & BRAZE ENGINEERING, INC.**  
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 BAY AREA REGION  
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 HAYWARD, CALIFORNIA 94545  
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 (C) (916) 979-7383  
 WWW.LEA-BRAZE.COM

**ALTOS II DEVELOPMENT  
 4898 EL CAMINO REAL  
 LOS ALTOS, CALIFORNIA**

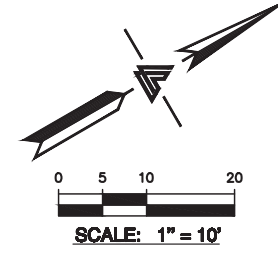
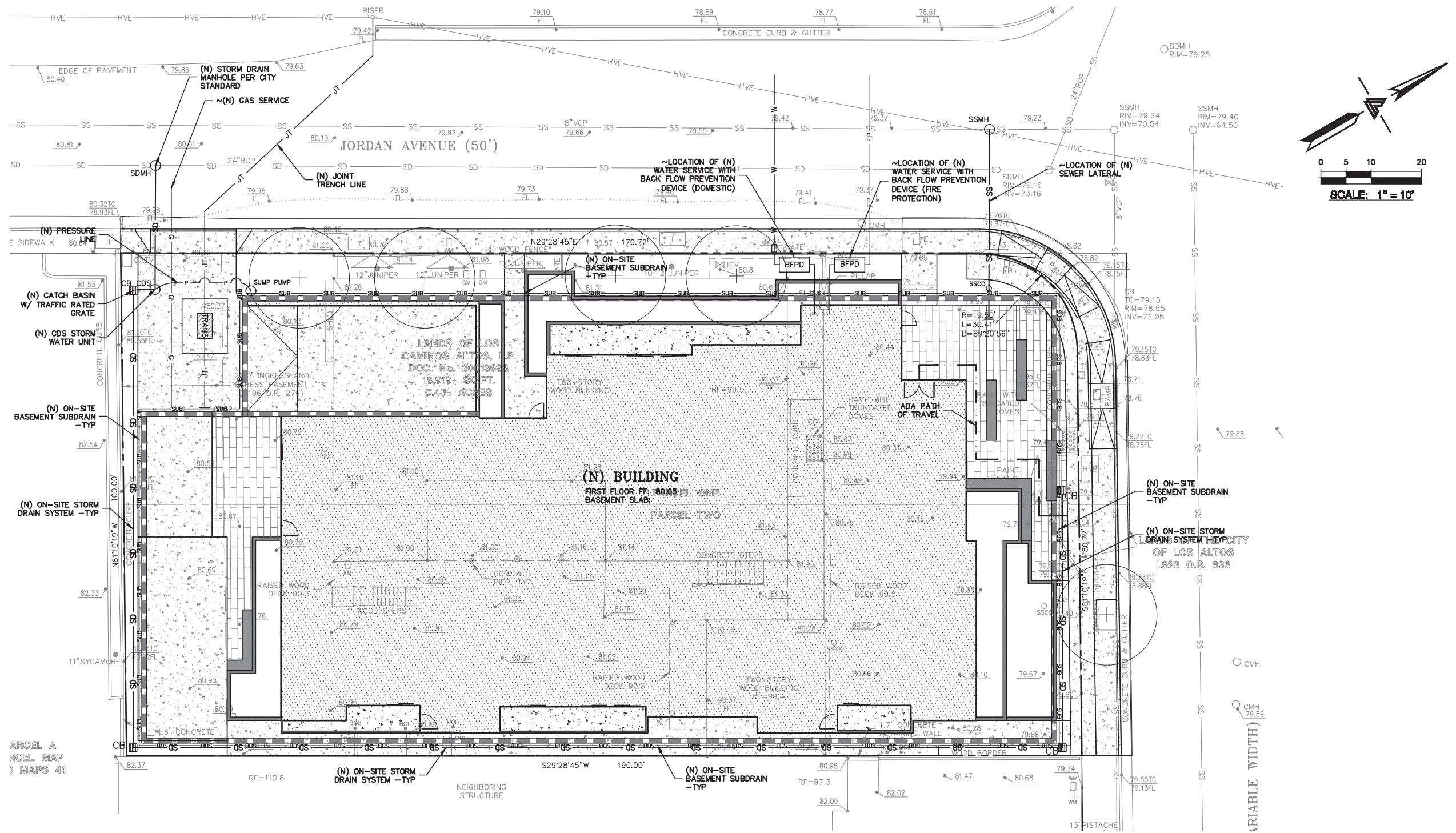
SANTA CLARA COUNTY  
 APN: 170-03-085

**PRELIMINARY  
 UTILITY PLAN**

REVISIONS	BY

JOB NO: 2181308  
 DATE: 01/15/19  
 SCALE: 1" = 10'  
 DESIGN BY: TB  
 PM: CA  
 SHEET NO:

**C-3.0**  
 04 OF 04 SHEETS



PARCEL A  
 RCEL MAP  
 ) MAPS 41





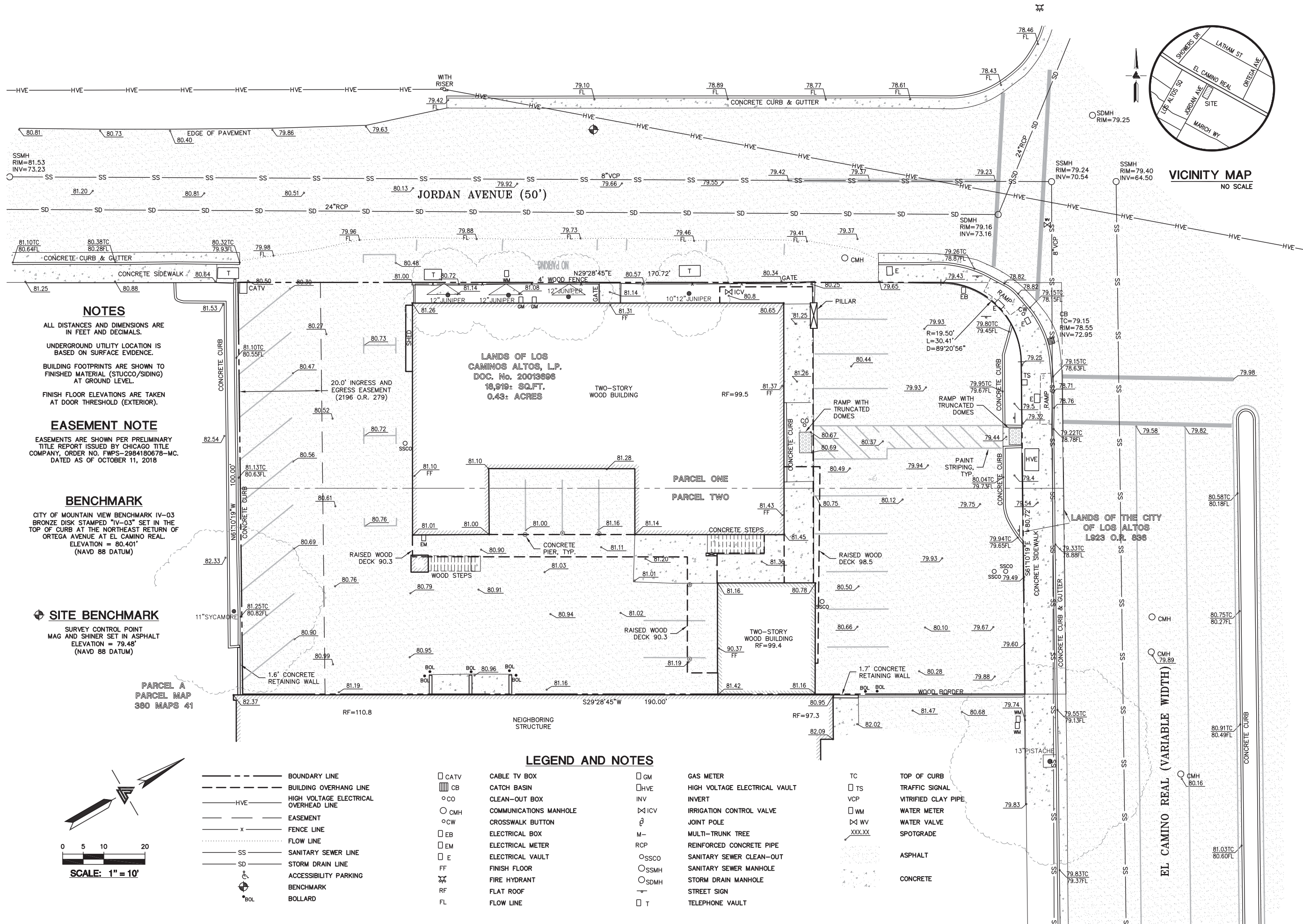
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS · LAND SURVEYORS  
 SACRAMENTO REGION  
 307 DOUGLAS BLVD., # 300  
 ROSELIE, CA 95661  
 BAY AREA REGION  
 2495 INDUSTRIAL PKWY WEST  
 HAYWARD, CALIFORNIA 94545  
 (916) 887-7393  
 (916) 887-7398  
 WWW.LEA-BRAZE.COM

**4898 EL CAMINO REAL  
 LOS ALTOS  
 CALIFORNIA**

**TOPOGRAPHIC  
 SURVEY**

REVISIONS	BY
JOB NO:	2181307
DATE:	10-26-18
SCALE:	1" = 10'
FIELD BY:	DR
DRAWN BY:	DB
SHEET NO:	

**SU1**



**NOTES**  
 ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
 UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.  
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.  
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).  
**EASEMENT NOTE**  
 EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY CHICAGO TITLE COMPANY, ORDER NO. FWPS-2984180678-MC, DATED AS OF OCTOBER 11, 2018.  
**BENCHMARK**  
 CITY OF MOUNTAIN VIEW BENCHMARK IV-03 BRONZE DISK STAMPED "IV-03" SET IN THE TOP OF CURB AT THE NORTHEAST RETURN OF ORTEGA AVENUE AT EL CAMINO REAL. ELEVATION = 80.401' (NAVD 88 DATUM)  
**SITE BENCHMARK**  
 SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT. ELEVATION = 79.48' (NAVD 88 DATUM)

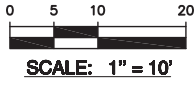
**VICINITY MAP**  
NO SCALE

**LANDS OF LOS CAMINOS ALTOS, L.P.**  
 DOC. No. 20013696  
 18,919± SQ.FT.  
 0.43± ACRES

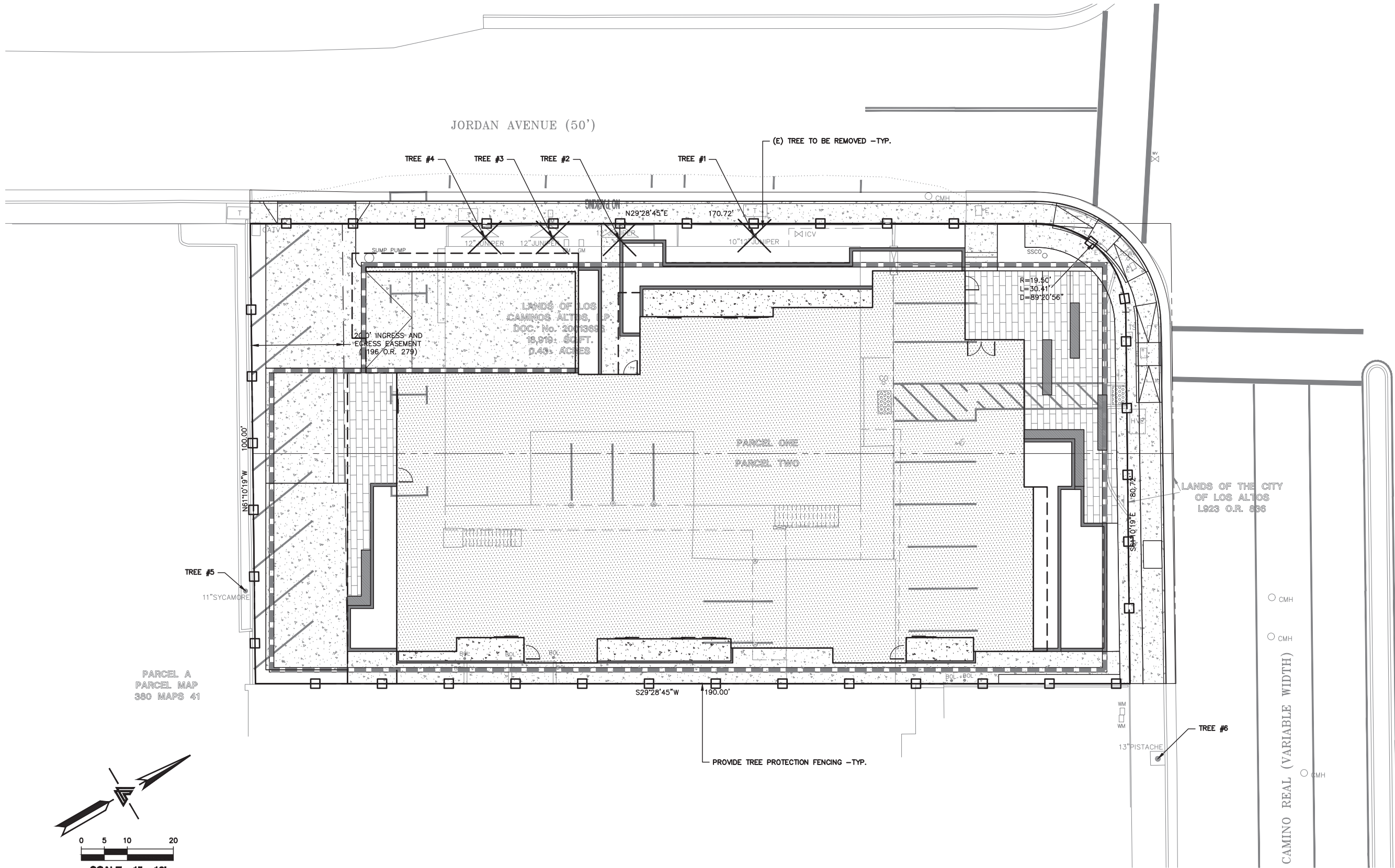
**LANDS OF THE CITY OF LOS ALTOS**  
 L923 O.R. 836

**LEGEND AND NOTES**

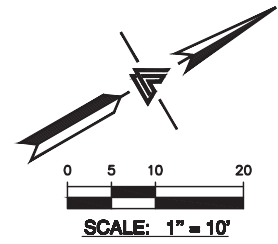
- BOUNDARY LINE
- - - BUILDING OVERHANG LINE
- HVE HIGH VOLTAGE ELECTRICAL OVERHEAD LINE
- - - EASEMENT
- x - FENCE LINE
- - - FLOW LINE
- SS SANITARY SEWER LINE
- SD STORM DRAIN LINE
- AP ACCESSIBILITY PARKING
- ⊕ BENCHMARK
- BOL BOLLARD
- CATV CABLE TV BOX
- ▣ CB CATCH BASIN
- CO CLEAN-OUT BOX
- CMH COMMUNICATIONS MANHOLE
- CW CROSSWALK BUTTON
- EB ELECTRICAL BOX
- EM ELECTRICAL METER
- E ELECTRICAL VAULT
- FF FINISH FLOOR
- ⊘ FIRE HYDRANT
- RF FLAT ROOF
- FL FLOW LINE
- GM GAS METER
- HVE HIGH VOLTAGE ELECTRICAL VAULT
- INV INVERT
- ⊗ ICV IRRIGATION CONTROL VALVE
- ⊕ JOINT POLE
- M- MULTI-TRUNK TREE
- RCP REINFORCED CONCRETE PIPE
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- ⊖ STREET SIGN
- T TELEPHONE VAULT
- TC TOP OF CURB
- TS TRAFFIC SIGNAL
- VCP VITRIFIED CLAY PIPE
- WM WATER METER
- ⊗ WV WATER VALVE
- XXX.XX SPOTGRADE
- ASPH ASPHALT
- CONCRETE CONCRETE







PARCEL A  
PARCEL MAP  
380 MAPS 41



TREE INVENTORY	
SIZE/DESCRIPTION	STATUS
13" PISTACHE (#6)	TO REMAIN
11" SYCAMORE (#5)	TO REMAIN
12" JUNIPER (#4)	TO BE REMOVED
12" JUNIPER (#3)	TO BE REMOVED
12" JUNIPER (#2)	TO BE REMOVED
10"12" JUNIPER (#1)	TO BE REMOVED

**LEA & BRAZE ENGINEERING, INC.**  
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 WWW.LEABRAZE.COM

ALTOS II DEVELOPMENT  
 4898 EL CAMINO REAL  
 LOS ALTOS, CALIFORNIA

SANTA CLARA COUNTY APN: 170-03-085

TREE EXHIBIT

REVISIONS	BY

JOB NO: 2181308  
 DATE: 01-14-19  
 SCALE: 1" = 10'  
 DRAWN BY: TB/MM  
 PM: CA  
 SHEET NO:

**EX-T**